



**AGENDA**  
**REGULAR ZONING BOARD MEETING**  
**Public Meeting Room, Village Hall**  
**Thursday, April 18, 2019**  
**7:00 p.m.**

*Reasonable accommodations or auxiliary aids will be provided to enable persons with disabilities to effectively participate in any public meetings. Please contact the Village Administrative Office (847.883.8600) 48 hours in advance if you need any special services or accommodations.*

**CALL TO ORDER**

**1.0 ROLL CALL**

**2.0 APPROVAL OF MINUTES**

- 2.1 Approval of the Minutes of the Regular Zoning Board Meeting Held on January 8, 2019

**3.0 GENERAL BUSINESS**

- 3.1 A Public Hearing regarding a Rezoning of 2 Hotz Road Property from R1 Single-Family Residential to E Small Scale Office for Lincolnshire Animal Hospital, 420 Half Day Road and 2 Hotz Road (Lincolnshire Animal Hospital)
- 3.2 A Public Hearing regarding a Major Special Use Amendment to Lincolnshire Animal Hospital Special Use Permit Granted by Ordinance #09-3083-06 for the Property at 420 Half Day Road to Add 2 Hotz Road Property to 420 Half Day Road Property Governed by Special Use and to Allow Parking Expansion onto 2 Hotz Road Property for Animal Hospital Operations for Lincolnshire Animal Hospital, 420 Half Day Road and 2 Hotz Road (Lincolnshire Animal Hospital)
- 3.3 A Public Hearing regarding a Variation from Code Section 6-11-2(B)(4) to Locate Parking Spaces in a Front and Corner Side Yard for Lincolnshire Animal Hospital, 420 Half Day Road and 2 Hotz Road (Lincolnshire Animal Hospital)
- 3.4 A Public Hearing regarding a Variation from Code Section 6-15-3(A)(1)(a)(i) to Locate a Yard Fence in a Required Corner Side Yard Setback for Lincolnshire Animal Hospital, 420 Half Day Road and 2 Hotz Road (Lincolnshire Animal Hospital)

**4.0 UNFINISHED BUSINESS**

**5.0 NEW BUSINESS**

**6.0 CITIZEN COMMENTS**

**7.0 ADJOURNMENT**

The Zoning Board will not proceed past 10:30 p.m. unless a motion is made and approved by a majority of the Zoning Board members to extend the meeting one-half hour to 11:00 p.m. Any agenda items or other business that are not addressed within this time frame will be continued to the next regularly scheduled Zoning Board Meeting.



**UNAPPROVED** Minutes of the **REGULAR MEETING OF THE ZONING BOARD** held on Tuesday, January 8, 2019 in the Public Meeting Room in the Village Hall, One Olde Half Day Road, Lincolnshire, IL

**PRESENT:** Chair Bichkoff and Members Hashemi, Udoni, Kalina, and Hersh

**STAFF PRESENT:** Ben Gilbertson, Assistant Village Manager/Community & Economic Development Director  
Tonya Zozulya, Planning and Development Manager

**ABSENT:** Trustee Liaison McDonough.

**CALL TO ORDER:** **Chair Bichkoff** called the meeting to order at 7:00 P.M.

### 1.0 ROLL CALL

The roll was called by **Ben Gilbertson, Assistant Village Manager/Community and Economic Development Director (AVM/CED)**; **Chair Bichkoff** declared a quorum to be present.

### 2.0 APPROVAL OF MINUTES

2.1 Approval of the Minutes of the Regular Zoning Board Meeting Held on November 13, 2018.

**Chair Bickhoff** noted scrivener's errors and provided those to staff.

**Member Udoni** moved and **Member Hersh** seconded the motion to approve the minutes as noted and amended by Chair Bichkoff. Motion passed by voice vote.

### 3.0 ITEMS OF GENERAL BUSINESS

3.1 Consideration of Text Amendments Regarding Single-Family Residential Bulk Regulations in Title 6, Chapters 5A (R1, R2 and R3 Single-Family Residence Districts) and 5B (R2A Single-Family Residence District) of the Lincolnshire Village Code (Village of Lincolnshire)

**AVM/CED Gilbertson** provided background and an overview of this agenda item, noting the most recent deliberation by the Zoning Board was September 2018. At that meeting, it was the consensus of the Zoning Board, having taken into consideration current Floor Area Ratio (F.A.R.) regulations, to recommend against additional text amendments to the Zoning Code for bulk regulations in residential districts; however, a formal motion from the Zoning Board to make a non-recommendation to the Village Board was not made.

**Member Hashemi**, noting the presence of an audience, requested staff to provide additional background on the item. **AVM/CED Gilbertson** provided history on bulk regulations, how the issue came to the Village Board's attention as well as how they saw a need to address bulk regulations through zoning and architectural requirements. He further described the Zoning Board's concerns of

the analysis presented at the February 2018 public hearing and the possible consequences of reducing FAR requirements, noting the reduction in F.A.R may preclude owners of older, smaller homes from constructing future additions. **Member Kalina** and **Chair Bichkoff** further articulated the Zoning Board's prior concern, stating F.A.R. revisions were not necessary and unsubstantiated, adding the consensus of the Zoning Board was current regulations are sufficient.

**Member Hashemi** stated she has had conversations with residents in which they indicated the decision to propose changes to the current regulations are not based on fact. She added concerns about perceived impacts on property values.

**Tonya Zozulya, Planning and Development Manager (PDM)** requested the Zoning Board provide details of their recommendation and outline their reasoning when they make their formal motion.

**Member Hashemi** drew attention to the number of meetings dedicated to zoning bulk regulations, staff time, and resources dedicated to this. She said the Village would have been better served looking for new business to come to the Village.

**Member Hersh** asked if there were other reasons for the Village Board's concerns. **AVM/CED Gilbertson** stated the Village Board also had concerns regarding teardowns in older areas of town and preservation of "neighborhood character."

**Chair Bichkoff**, noting the presence of an audience, elected to take Citizen Comments on this agenda item rather than wait until the end of the meeting.

**Darek Zarnovski** of 72 Cumberland stated he has lived in his home for 17 years. He expressed concern this was the first time he was aware of the proposed changes and noted the lack of notification to residents in Lincolnshire regarding these discussions. As an architect, he noted current design trends are not for larger homes, as they are expensive to build.

There was lengthy discussion amongst the Zoning Board that homes in the R3 District would be most impacted by the proposed F.A.R., making many existing homes non-compliant and not allowing for future additions. **PDM Zozulya**, in response to a question from **Mr. Zarnovski**, said there are many regulations beyond F.A.R. in the residential zoning code that currently control for bulk regulations. Members of the Zoning Board reaffirmed their position that current regulations are sufficient and there was no need to make the code more restrictive.

**Member Udoni** moved, seconded by **Member Hersh**, having conducted and concluded a Public Hearing on February 13, 2018 and considered the proposed amendments on September 12 and January 8, 2019, to approve and recommend amendments to the Village Code regarding bulk regulations in Title 6, Chapters 5A and 5B.

Roll Call Vote: **Ayes** - None

**Nayes** - Chair Bichkoff, Members Kalina, Udoni, Hersh and Hashemi.

**Motion Failed.**

Chair Bichkoff reaffirmed the Zoning Board's position based on consideration of the matter over several meetings and inability to find an argument in favor of the proposed amendments and noted the following concerns:

- Proposed regulations would disproportionately affect the R3 district.
- Current regulations in place are sufficient to address bulk.

3.2 Approval of 2019 Zoning Board Calendar and Meeting Schedule (Village of Lincolnshire)

**AVM/CED Gilbertson** stated the Illinois Open Meetings Act requires advisory boards to approve their meeting schedule and calendar prior to or at the first meeting of the year. **AVM/CED Gilbertson** reviewed the 2019 dates for the Zoning Board meeting schedule.

**Member Udoni** moved and **Member Kalina** seconded approval of the 2019 Zoning Board meeting dates as prepared by staff. The Motion passed unanimously by voice vote.

4.0 UNFINISHED BUSINESS – None.

5.0 NEW BUSINESS – None.

6.0 CITIZENS COMMENTS

**Sandra Saltiel**, 26 Regent Lane, inquired about the 325 Marriot Drive building under construction, asking how the Village allowed the construction of a warehouse so close to Route 22. **Member Hashemi** stated the Zoning Board and Village Board approved a rezoning of this property, adding the office vacancy rate in the area was not conducive for another office building. She stated the Zoning Board, Architectural Review Board, and Village Board made sure that additional improvements to the building exterior and landscape were included to enhance the site. **Chair Bichkoff**, in response to **Sandra Saltiel's** comments about the appearance of the building, noted that this will be a corporate headquarters and having seen the renderings, it will look much different. He further noted this site has been on the market for over 30 years, and the Village believed this would be a productive use for the site. **AVM/CED Gilbertson** provided background on the review of the building and landscape design, including the requirement to add a landscape berm along the north elevation, screening of the docks along the east elevation, and a significant investment in the landscape plan. Staff stated they would provide residents with additional information via email.

**Scott Mackenzie**, 23 Londonderry Lane, inquired about the property referred to as the TSJ/Top Golf project, asking what happened to the Top Golf. **Chair Bichkoff** stated this proposal was never referred to the Zoning Board as it is under the purview of the Village Board, but that the Top Golf proposal was removed from the project. **Scott Mackenzie** said it would have been a good source of tax revenue for the Village. **AVM/CED Gilbertson** said there was much feedback from the community about Top Golf's plan, with residents indicating concerns for traffic and lighting. He added the Village Board retains review authority over the use of the property as it is zoned B-2 Planned Unit Development, with the only known user of the property at this time being The St. James.

**Jill Raizin**, 8 Farrington Circle, inquired about the repaving schedule for Farrington Circle. **AVM/CED Gilbertson** stated the Village uses a pavement rating system to evaluate road conditions to prioritize repaving and replacement. **PDM Zozulya** said she would provide Ms. Raizin with contact information for Public Works staff.

**7.0 ADJOURNMENT**

There being no further business, **Chair Bichkoff** requested a motion to adjourn.

**Member Kalina** moved, and **Member Udoni seconded** the motion to adjourn.

**Motion passed unanimously by voice vote.**

Meeting adjourned at 7:53 p.m.

Minutes submitted by Carol Lustig, Administrative Assistant, Community & Economic Development Department

**REQUEST FOR BOARD ACTION**  
**Zoning Board**  
**April 18, 2019**

**Subject:** Rezoning of 2 Hotz Road & Major Special Use Amendment with Variations for Lincolnshire Animal Hospital – 420 Half Day Road

- Action Requested:**
- 3.1 A Public Hearing regarding a Rezoning of 2 Hotz Road Property from R1 Single-Family Residential to E Small Scale Office
  - 3.2 A Public Hearing regarding a Major Special Use Amendment to Lincolnshire Animal Hospital Special Use Permit Granted by Ordinance #09-3083-06 for the Property at 420 Half Day Road to Add 2 Hotz Road Property to 420 Half Day Road Property Governed by Special Use and to Allow Parking Expansion onto 2 Hotz Road Property for Animal Hospital Operations
  - 3.3 A Public Hearing regarding a Variation from Code Section 6-11-2(B)(4) to Locate Parking Spaces in a Front and Corner Side Yard
  - 3.4 A Public Hearing regarding a Variation from Code Section 6-15-3(A)(1)(a)(i) to Locate a Yard Fence in a Required Corner Side Yard Setback

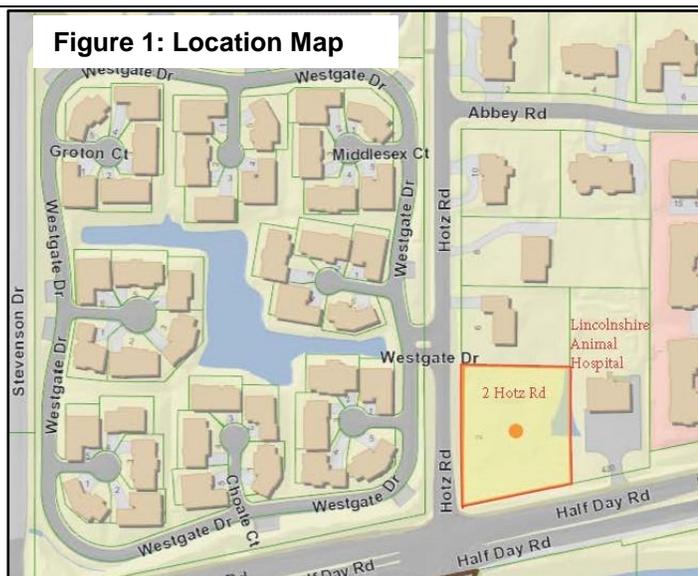
**Petitioner:** Lincolnshire Animal Hospital

**Originated By/Contact:** Tonya Zozulya, Planning & Development Manager

**Advisory Board Review:** Zoning Board & Architectural Review Board

**Background:**

- Lincolnshire Animal Hospital (hospital), the petitioner and 2 Hotz contract purchaser, seeks the following (see attached Documents 2 and 3):
  - A Rezoning of the 2 Hotz Road property from R1 Single-Family Residence to E Small Scale Office.
  - A Major Special Use amendment to the Lincolnshire Animal Hospital Special Use Permit granted by Ordinance No. 09-3083-06 for the property at 420



Half Day Road to allow parking expansion onto the 2 Hotz Road property for Animal Hospital operations.

- A variation from Code Section 6-11-2(B)(4) to locate parking spaces in front and corner side yards.
- A variation from Code Section 6-15-3(A)(1)(a)(i) to locate a yard fence in a required corner side yard setback.
- The 2 Hotz Road property is 37,000-square-feet and is located at the northeast corner of Illinois Route 22 (Half Day Road) and Hotz Road (see Figure 1 above and Document 1). The property was annexed into the Village in 1995 by Ordinance #95-1409-39 with an R1 Single-Family zoning (the default zoning designation in the Village for newly annexed properties). The site has been the subject of several prior development proposals, including townhome, single-family home, and small-scale office developments. None of the proposals reached the formal approval stage. Development of the site has been hampered by wetland and poor drainage conditions. The current zoning of the property would only allow one single-family home to be built, and the lot is considered legally nonconforming in the R1 District as it is smaller than the minimum required size of 80,000 square feet.
- The adjacent hospital property (420 Half Day Road) was developed as an animal clinic in 1974 in unincorporated Lake County. In 1995, the property was involuntarily annexed into Lincolnshire and zoned R1 Single-Family Residential. In 1996, the property owner petitioned for and was granted Eb Office District zoning, along with a Special Use permit for the animal clinic by Ordinance #96-1434-18 (Note: the Eb zoning became E Small Scale office in 2014 when the Ea and Eb Office subdistricts were combined into a single E Small Scale Office District). In 2005, the hospital applied for a Special Use Amendment to allow for the building and parking lot expansion but did not pursue the project after obtaining a Village Board referral. In 2008, the hospital submitted a new Special Use amendment request for a building/parking addition as well as construction of an outdoor dog run and received approvals in 2009 by Ordinance #09-3083-06 (see attached Document 4).
- The Village Board (Board) held a Preliminary Evaluation regarding the request at its March 11, 2019 Committee of the Whole meeting. The Board expressed support for the request and referred it to the Zoning Board for public hearings and recommendation on the above-referenced zoning requests, as well as the Architectural Review Board (ARB) for design review and recommendation (note: at the time of the Preliminary Evaluation, the parking and fence variations were not known; therefore, the Village Board did not comment on them). The ARB review is scheduled for April 23, 2019.
- A newspaper notice of the Zoning Board Public Hearing was published in the April 3, 2019 Daily Herald. Additionally, the petitioner provided a certified notice to property owners within a 250' radius of the 2 Hotz and 420 Half Day properties and submitted a notarized Notification Affidavit. The petitioner also provided courtesy notices to the Westgate and Beaconsfield Homeowners Association (HOA) Presidents.
- Staff has received a verbal statement from the Westgate HOA President expressing support for the parking expansion. No other public comments have been received to date since the

public hearing notice publication. Property owners will have the opportunity to attend the April 18<sup>th</sup> public hearing and provide testimony.

- The 2 Hotz Road rezoning request is supported by current owner Ernest J. Frey.
- Attached are draft ordinances prepared by the Village Attorney (see Document 7).

### **Item 3.1 - A Public Hearing regarding a Rezoning of 2 Hotz Road Property from R1 Single-Family Residential to E Small Scale Office**

- The hospital property is zoned E Small Scale Office and the 2 Hotz property is zoned R1 Single-Family Residential. The 2 Hotz property needs to be rezoned to E Small Scale Office for it to be incorporated into the hospital operations. The intent of the Zoning Code for the E Small Scale Office District is as follows: "The E District is intended to provide low density office and service uses to serve as transitional areas between residential areas and more intense commercial sectors of Lincolnshire. This district is characterized by lands developed in tranquil residential-like settings as opposed to more intensely developed commercial centers."

Adjacent uses and zoning classifications include:

- To the north: single-family home (zoned R1 Single-Family Residential)
  - To the south: telephone distribution facility (zoned O/Id Office Industrial)
  - To the east: Lincolnshire Animal Hospital (zoned E Small Scale Office)
  - To the west: Westgate subdivision (zoned R3 Single-Family Residential with a Planned Unit Development designation)
- The 2 Hotz Road lot size and dimensions will comply with E Small Scale Office zoning district requirements (see attached Document 5). Additionally, the Floor Area Ratio (FAR) and parking counts for the combined property will also comply.
  - The Comprehensive Plan (Plan) recommends a professional office land use development for this property, which is consistent with the Animal Hospital proposal (see attached Document 6). The Plan also encourages tree preservation along the north part of the property for screening.
  - The petitioner submitted the attached responses to the required Rezoning Findings of Fact Standards. The Zoning Board must review the responses and find that each standard has been satisfactorily addressed in order to provide a favorable recommendation to the Village Board.

### **Item 3.2 - A Public Hearing regarding a Major Special Use Amendment to Lincolnshire Animal Hospital Special Use Permit Granted by Ordinance #09-3083-06 for the Property at 420 Half Day Road to Add 2 Hotz Road Property to 420 Half Day Road Property Governed by Special Use and to Allow Parking Expansion onto 2 Hotz Road Property for Animal Hospital Operations**

- The proposed parking expansion requires a Major Amendment to the Animal Hospital Special Use Ordinance # 09-3083-06 to add the 2 Hotz property to the 420 Half Day Road property Special Use and due to the increased intensity of the Animal Hospital operations from

construction of 25 additional spaces for hospital clients and staff per Section 6-14-11. The hospital is not proposing any other changes to the Special Use permit and will continue to meet previously approved conditions.

- The hospital has 23 employees, with no more than 16 on-site at any given time. They are proposing to eliminate boarding operations and reconfigure the floor space for new treatment areas and two additional exam rooms (increasing the exam room count from five to seven).
- There are currently 21 parking spaces on the hospital property, and the parking expansion will result in an additional 25 spaces, for a total of 46 spaces (some of the existing spaces will be removed to make room for the access drive). The number of proposed spaces exceeds the code requirement of 1 space per employee and 2 spaces per exam room (a total of 30 spaces). The hours of operation will remain the same (8 am - 6 pm Monday through Friday and 8 am - 12 pm on Saturday. The hospital will remain closed on Sunday).
- The hospital proposes to install 12 36"-tall bollard lights and 2 15'-tall light poles with downward-pointing fixtures, which will comply with the Code's outdoor lighting requirements and will minimize impacts on adjacent properties to the north and west. One of the two new light poles will replace an existing 25' tall wooden light pole on the 420 Half Day Road property.
- The petitioner will not be required to consolidate the 2 Hotz and 420 Half Day properties into one single property through the subdivision process because parking is permitted to be on a separate lot, provided it is accessory to the primary use. However, the two lots will be treated as one property for zoning purposes (including setbacks).
- The parking lot will be placed horizontally in the middle portion of the lot with adjacent trees left undisturbed and impacting only a small portion of the wetlands (0.14 acres out of 0.4 acres of on-site wetlands). The proposed placement requires a variation (see Item 3.3 below for details). The existing vegetation will screen the parking from Half Day Road. Two-way access is proposed via a new curb cut off Hotz Road. Cross access is also provided to connect to the existing hospital parking lot. No new access will be created off Route 22 (Half Day Road). The nearest Westgate of Lincolnshire Subdivision homes to the west will be approximately 130' from the proposed lot and the 6 Hotz Road home to the north-125.'
- The petitioner is proposing an 8'-tall solid decorative cedar fence along the north property line of 2 Hotz Road and along a portion of the 420 Half Day property to screen parking lot impacts from the 6 Hotz property to the north. The 6 Hotz resident requested a fence in that location. The placement of the new fence in the northwest corner of 2 Hotz requires a variation (see Item 3.4 below for details). The new fence is permitted at the proposed height and opacity as it is designed to separate a residential property to the north (6 Hotz Road) from the proposed parking lot which is considered an incompatible use by Village code. The 420 Hotz property is currently improved with an 8' tall solid fence along the north property line and a portion of the west property line which was installed in 2009 with the previous Special Use amendment. The petitioner intends to replace the existing fence in conjunction with the new fence and the entire fence will have the same specifications and design.

- The petitioner is proposing landscaping along the entire length of the fence. Additional landscaping is proposed in parking islands and along Hotz Road. The landscape, lighting, and fence design plans will be reviewed by the ARB.
- The petitioner has contacted the adjacent single-family home owners to the north/west as well as the Westgate Subdivision to the west and the Beaconsfield Subdivision to the east to discuss their proposal, given that the 2009 Special use amendment generated a number of concerns from adjacent residents. The preliminary comments received are summarized in the attached petitioner's cover letter (see Document 2). The neighbors are generally supportive of the parking expansion; however, they also request consideration of enhanced privacy through the appropriate placement of the Hotz Road curb cut, fencing, and landscaping. The Beaconsfield Homeowners Association is in the process of reviewing the plans and has not provided feedback to date.
- No on-site detention is proposed with the addition of the parking lot. The petitioner contacted the Lake County Stormwater Management Commission (SMC) regarding on-site detention and wetland delineation and received preliminary approvals. A formal SMC permit will be required prior to final Village Board review/approvals.
- The petitioner submitted the attached responses to the required Special Use Findings of Fact Standards. The Zoning Board must review the responses and find that each standard has been satisfactorily addressed in order to provide a favorable recommendation to the Village Board.
- Per Code Section 6-14-11(G), any Special Use Permit becomes null and void if the improvements for which the Permit was granted are not substantially under way within three years of Village approvals.

### **Item 3.3 - A Public Hearing regarding a Variation from Code Section 6-11-2(B)(4) to Locate Parking Spaces in a Front and Corner Side Yard**

- Given the 2 Hotz and 420 Half Day lots are treated as one single zoning lot, the placement of the proposed parking spaces on 2 Hotz Road property is evaluated based on E Small Scale Office zoning parameters for both lots outlined in Chapter 11, Off-Street Parking & Loading (see attached Document 5). No parking is permitted in a front yard (defined by Code as an area between the adjacent street and the front of the building) and in a corner side yard (defined by Code as an area between the adjacent street and the side of the building). Since the existing Animal Hospital building is already in place with deep setbacks from Half Day Road (front yard) and from Hotz Road (corner side yard), there is no opportunity to reconfigure the proposed parking design on 2 Hotz to comply with Code Section 6-11-2(B)(4).
- The petitioner submitted the attached responses to the required Variation Findings of Fact Standards. The Zoning Board must review the responses and find that each standard has been satisfactorily addressed in order to provide a favorable recommendation to the Village Board.
- Per Code Section 6-14-9(E), any variation becomes null and void if the improvements for which the variation was granted are not substantially under way within one year of Village

approvals, unless a one-time extension is granted by the Village Board without an additional public hearing.

**Item 3.4 - A Public Hearing regarding a Variation from Code Section 6-15-3(A)(1)(a)(i) to Locate a Yard Fence in a Required Corner Side Yard Setback**

- Yard fences are not allowed in required corner side yard setback per Code Section 6-15-3(A)(1)(a)(i). The required corner side yard setback in the E Small Scale Office District is 35'. If the code requirement is followed, the proposed fence along the 2 Hotz north property line would not be able to be placed within the first 35' feet from Hotz Road, thereby reducing screening and privacy for the affected 6 Hotz homeowner.
- The petitioner submitted the attached responses to the required Variation Findings of Fact Standards. The Zoning Board must review the responses and find that each standard has been satisfactorily addressed in order to provide a favorable recommendation to the Village Board.

**Review & Approval Process:**

1. Preliminary Evaluation at the Village Board.
2. The Zoning Board public hearing on the zoning requests.
3. The Architectural Review Board will review the parking proposal regarding site layout, parking lot design, lighting, tree removal/landscape screening, and fencing.
4. The Village Board will consider the Zoning Board's and Architectural Review Board's recommendations and make the final determination.

**Item 3.1 Motion (Rezoning):**

*Having made findings based on facts covered in a Public Hearing on April 18, 2019, the Zoning Board recommends approval to the Village Board of a rezoning of the 2 Hotz Road property from R1 Single-Family Residential to E Small Scale Office, as presented in the petitioner's presentation packet and based on the Rezoning Findings of Fact, dated April 2, 2019, and further subject to...*

*{Insert any additional conditions or modification desired by the Zoning Board}*

**Item 3.2 Motion (Major Special Use Amendment):**

*Having made findings based on facts covered in a Public Hearing on April 18, 2019, the Zoning Board recommends approval to the Village Board of a Special Use amendment to the Lincolnshire Animal Hospital Special Use Permit granted by Ordinance #09-3083-06 for the property at 420 Half Day Road to add the 2 Hotz Road property to the 420 Half Day Road property Special Use and to allow parking expansion onto 2 Hotz Road property for Animal Hospital operations, as presented in the petitioner's presentation packet and based on the Special Use Findings of Fact, dated April 2, 2019, and further subject to...*

*{Insert any additional conditions or modification desired by the Zoning Board}*

**Item 3.3 Motion (Variation - Parking):**

*Having made findings based on facts covered in a Public Hearing on April 18, 2019, the Zoning Board recommends approval to the Village Board of a variation from Code Section 6-11-2(B)(4) to locate parking spaces in front and corner side yards, as presented in the petitioner's*

*presentation packet and based on the Variation Findings of Fact, dated April 2, 2019, and further subject to...*

*{Insert any additional conditions or modification desired by the Zoning Board}*

**Item 3.4 Motion (Variation - Fence):**

*Having made findings based on facts covered in a Public Hearing on April 18, 2019, the Zoning Board recommends approval to the Village Board of a variation from Code Section 6-15-3(A)(1)(a)(i) to locate a yard fence in a required corner side yard setback, as presented in the petitioner's presentation packet and based on the Variation Findings of Fact, dated April 2, 2019, and further subject to...*

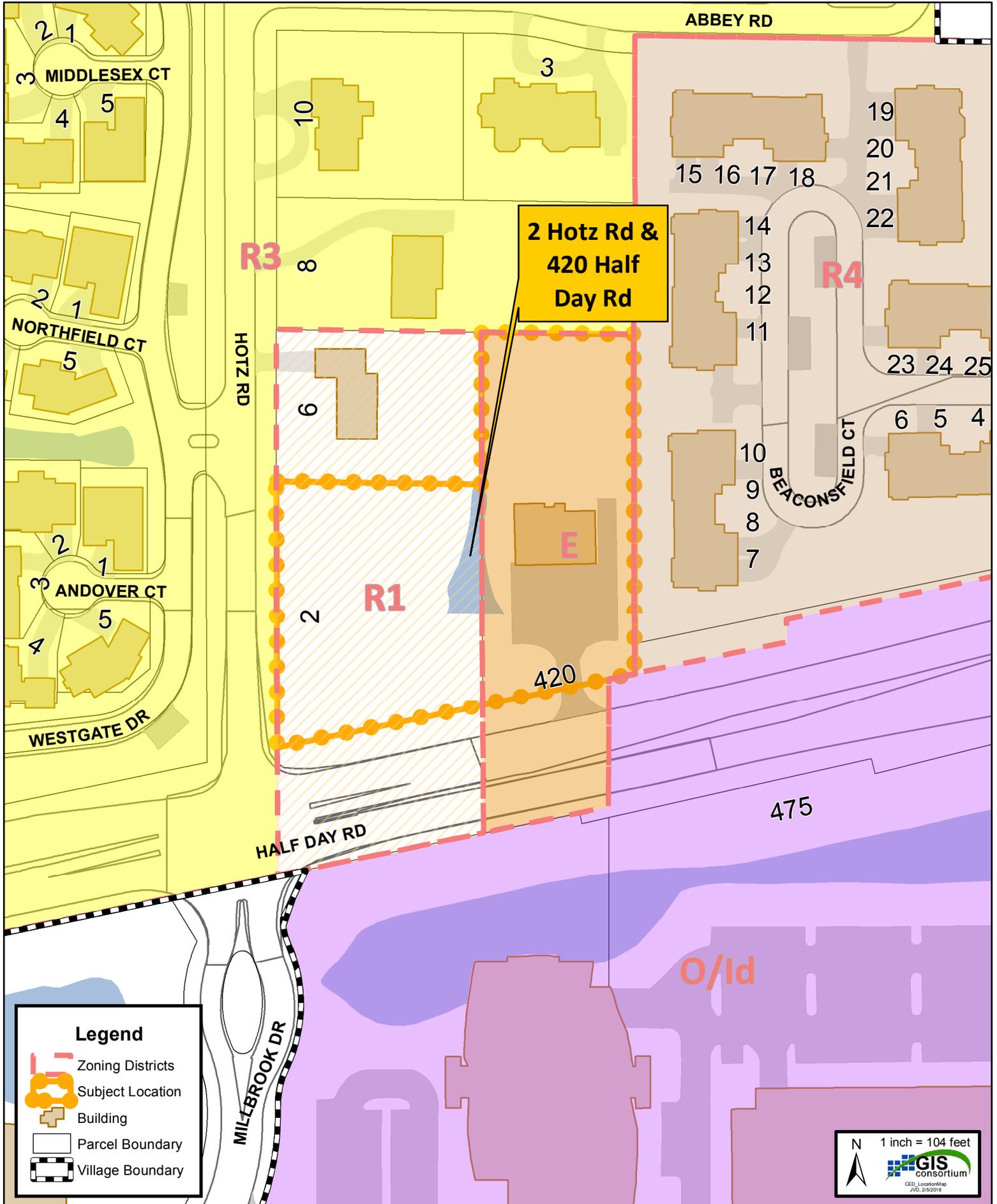
*{Insert any additional conditions or modification desired by the Zoning Board}*

**Reports and Documents Attached:**

- Document 1: Location Map.
- Document 2: Petitioner's cover letter, responses to Rezoning, Special Use Amendment and Variation Standards and presentation packet, prepared by Lincolnshire Animal Hospital, with the cover letter dated April 2, 2019.
- Document 3: Ordinance #09-3083-06.
- Document 4: E Small Scale Office Code.
- Document 5: Off-Street Parking & Loading Code.
- Document 6: Comprehensive Plan recommendations.
- Document 7: Draft Rezoning and Special Use Amendment/Variation ordinances prepared by the Village Attorney.

<b>Meeting History</b>	
Committee of the Whole:	March 11, 2019
Zoning Board (current):	April 18, 2019

# 2 Hotz Rd & 420 Half Day Rd





Stu Clarke/Patrick Emmelot

Lincolnshire Animal Hospital  
420 Half Day Rd  
Lincolnshire, IL 6006

**April 2, 2019**

Zoning Board Chairperson Bichkoff  
1 Olde Half Day Rd.  
Lincolnshire, IL 60069

Dear Zoning Board Chairperson Bichkoff and Zoning Board Members,

We are requesting a rezoning of the 2 Hotz Road property from R1 Single Family Residential to E Small Scale Office zoning district and a Lincolnshire Animal Hospital Special Use Amendment to permit parking expansion into the adjacent property at 2 Hotz Road. Please find enclosed a plan for proposed parking expansion on the property directly west of Lincolnshire Animal Hospital.

We have negotiated a contract for the purchase of the property (2 Hotz Road) pending village approval of a parking addition. The parking expansion would provide additional accessible parking for our clients and staff, which will in turn allow us to provide better service to our clients. We feel the site has some challenges that limit development of the land for a single family residence and or small office building. Although we will be affecting a small amount of the current wetland, the layout of the parking area is designed to make the impact minimal (a significantly decreased impact when compared to development of the entire site for housing). The lot has 0.4 acres of wetland, but our project will impact only 0.14 acres of wetland. The position and location of the proposed parking area was chosen to limit the impact on the wetland and to provide the most set back possible to our neighbors while making the parking area accessible to the hospital.

Our current parking areas provide 21 spaces (8 client spaces and 1 additional space that is ADA compliant, along with 12 spaces for staff located behind the building).

With the parking addition, we would have 44 spaces along with 2 additional ADA compliant spaces.

We currently have 22-23 employees (up to 16 at one time) with 12 staff parking spaces available. This requires some cars to be parked along the side of the building which we had not intended.

The parking area will be used only during our current business hours of 8 am to 6 pm Monday thru Friday and 8 am to 12 pm on Saturday. We are closed Sunday.

We are requesting 2 zoning variations in regard to the parking extension from Lincolnshire Animal Hospital into 2 Hotz Rd property. The zoning variations include: 1) To allow placement of parking spaces in a front yard (which is defined as an area between the front lot line (Half Day Rd) and the front of the Animal Hospital building and 2) To allow the placement of parking spaces in a corner side yard (which is defined as an area between the corner side lot line (Hotz Rd) and the front of the Animal Hospital. These zoning variances are required due to the location of the current Animal Hospital structure (which cannot reasonably be moved forward (toward Rt. 22)) and the location of the 2 Hotz Rd property (which is a corner lot). Moving the proposed parking area north (to locate it behind or north of the Animal Hospital structure) would decrease the set back from the residence north of 2 Hotz Rd and impede on their privacy and have a greater impact on wetlands. The proposed location of the parking area allows for larger setbacks and improved screening.

We have had a long history of boarding pets, which required some employee traffic on Saturday evenings and Sundays. With our growth over the last 10 years, we have added additional doctors and now require additional space for medicine and surgery; thus, we have discontinued our boarding service and plan a small, internal remodel to better use that space (we currently have 5 exam rooms and plan to remodel the previous boarding space to create 2 additional exam rooms and expand our treatment area). With the elimination of boarding services, we will eliminate Saturday evening and Sunday traffic at the hospital, which we hope our neighbors will find appealing. We have no plans for increasing the current footprint of our building.

Currently, there is one existing, wooden light pole approximately 25 feet high that provides light to the current client parking area. The existing, wooden light pole will be removed. We are proposing to light the current parking area and proposed addition with twelve 36" tall bollard lights and two 15' tall light poles. The lighting will be indirect and downward facing. The bollard lights and light poles will be black in color.

Our trash enclosure will remain in its current location.

We have reached out to Westgate, the neighborhood to our west, and agreed to forward them a plan of the proposed project. They have expressed a few concerns, but requests included removing brush and vegetation at the southwest corner of the property to increase visibility of westbound traffic on Route 22 and that the exit from the lot not be located too close to Route 22. Head light impact will be mitigated in 2 ways. A 3.5 foot berm already exists along the west side of Hotz Rd. We will add appropriate shrubs to the west end of the proposed parking lot to provide year round screening. One resident expressed concern that she has difficulty exiting Hotz Road onto Route 22 during Stevenson High School class dismissal hours (3-4 pm) and at 5 pm when employees from the industrial park to the south of Rt. 22 are leaving from their offices. She also indicated that vehicles will "stand" on Hotz Rd waiting for students to cross the berm located in that area. We believe increased Lincolnshire Police Department presence over the last several years has resolved the standing vehicle issue. In regard to the proposed parking area

increasing traffic flow on to Hotz Rd. We feel it will be minimal. Currently, if patrons of the Animal Hospital intended to use Hotz Rd, they exit our current lot and then turn north onto Hotz Rd. (i.e. no change in traffic flow). By our calculations, if all patrons left the hospital lot via proposed Hotz Rd exit it would add ten cars per hour or minimal impact.

Our neighbors directly behind the current building and staff parking area have no concerns and are encouraged that there may be fewer mosquitoes.

Our neighbor to our west and directly north of 2 Hotz Road was concerned that development of the property may affect their privacy and their property values. They requested a fence be placed along the northern side of the property boundary extending to Hotz Road. They also requested the fence connect with an extension of the existing fence that runs along the north and west side of our staff parking area which we are more than willing to provide and maintain. The fence would be the same style and design as the current fence, which is a solid, rectangular, cedar fence with a 1 foot decorative, cedar lattice top. The solid portion of the fence is 7 feet in height. With the 1 foot lattice work included, the total height of the current fence and proposed fence extension is 8 feet. The finished side of the fence would be outward facing. Because the existing fence is 10 years old, we will replace the existing fence so the existing fence and the new fence will be the same.

The fence will be screened by current trees along with new trees to be added. Currently, the space between the north side of the proposed parking area and the fence contains approximately 58 trees including: maple, cottonwood, ash, crabapple and cherry. Five of these will be removed due to their condition. We will further screen the fence by adding six new bald cypress trees along the south side of the fence. Further screening planting is difficult due to the limited space and wetland conditions.

In regard to the proposed fence along the north lot line of 2 Hotz Rd, we are requesting a zoning variation to allow the fence to run continuously along the north side of the 2 Hotz lot line to Hotz Rd (instead of stopping at a 35 foot set back from Hotz Rd). The fencing zoning variation will provide increased privacy for the homeowner.

We have reached out to Beaconsfield neighborhood, our neighbors to the East, they are reviewing our plan.

To discourage illegal parking from Stevenson High School students we intend to pursue strategies that have been successful in the past including: display warnings of “vehicles will be towed” if parked illegally, add additional signage that directly reminds Stevenson High School students that it is illegal for them to park in the lot and contract with the Lincolnshire Police Department to patrol the lot and issue citations when appropriate.

On February 27th, 2019 We received a preliminary approval from Lake County Storm Water Management indicating they did not foresee any major concerns with the project we had proposed (I have copied that email in below).

On March 11, 2019 we gratefully received referral from the Village Board to pursue the proposed parking expansion.

Thank you for your time in considering our proposal.

Sincerely yours,

Stu Clarke

Patrick Emmelot

***Email from Lake County Stormwater Management.***

*The Lake County Stormwater Management Commission (SMC) understands that the Owner of the subject parcel has (or will) purchase the adjacent parcel on the west (PIN #1515303013) for the purpose of expanding the existing parking lot. The SMC has no objection to the proposed development with the following concerns and caveats:*

- *Stormwater detention does not appear to be required based on the provided design and calculations*
- *A wetland review by SMC will likely be required during the permit review process*
- *A wetland 80-150 Hydrology review will likely be required during permit review*
- *The need for wetland mitigation will be determined during the permit review*
- *Depressional storage will need to be maintained to avoid increasing flood risk on adjacent parcels*
- *Additional comments will likely be generated during the permit review process.*

*We would like to be of assistance. If you have any questions, or would like to set up a meeting, please call our office at (847) 377-7705 or feel free to e-mail me. If you have any additional concerns that have not been addressed by the regulatory staff regarding the above comments, you may contact Chief Engineer Kurt Woolford [kwoolford@lakecountyil.gov](mailto:kwoolford@lakecountyil.gov) or Executive Director Michael Warner [mwarner@lakecountyil.gov](mailto:mwarner@lakecountyil.gov) at (847) 377-7700.*

Sincerely,

LAKE COUNTY STORMWATER MANAGEMENT COMMISSION

**Robert D. Gardiner, P.E., CFM**  
Permit Engineer

Lake County Stormwater Management Commission  
500 W. Winchester Road  
Libertyville, IL 60048

[rgardiner@lakecountyil.gov](mailto:rgardiner@lakecountyil.gov)

## FINDINGS OF FACT REZONING

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1. *Existing zoning classification of the property.* **R1 Single-Family Residential.**
2. *Existing uses of property and existing physical, social or economic factors within the general area of the property in question.* **Currently the property is vacant and undeveloped. The surrounding properties to the north and west are developed with single family homes. The property to the east is improved with Lincolnshire Animal Hospital.**
3. *The zoning classification of property within the general area of the property in question.* **To the north: R1 Single- Family Residential (single -family home). To the south: Office Industrial (telephone distribution facility). To the east: E Small Scale Office (Lincolnshire Animal Hospital). To the west: R3 Single- Family Residence (Westgate Subdivision).**
4. *The suitability of the property in questions to the uses permitted under the existing or proposed zoning classification.* **The property is poorly suited for development of a Single- Family Residence under the current R1 classification due to its extensive wetlands and poor soil conditions. Its is suitable for development under the proposed E Small - Scale Office classification given the adjacency to the Animal Hospital.**
5. *The trend of development, if any, in the general area of the property in question, including changes, if any, which have taken place in its present zoning classification.* **The previous trend of development has been single family homes or townhomes.**
6. *The length of time the property has been vacant as zoned.* **Over 15 years.**
7. *The extent to which the property's value is diminished by the existing zoning classification.* **The property's value is significantly diminished by the current zoning (R1 Single-Family Residential). To develop the property into a single family home would require expensive wetland mitigation as well as onsite stormwater detention.**
8. *The impact upon the objectives of the official Comprehensive Plan of the Village, as amended.* **Little or no impact on the Comprehensive Plan of the Village as this is single lot surrounded by developed properties and does not divert from options**

included in the Comprehensive Plan of the Village. The comprehensive plan recommends a professional office land use development for this property. This is consistent with the proposal.

Prepared by:

A handwritten signature in black ink, appearing to read "Stuart Clarke". The signature is written in a cursive style with a horizontal line under the first name.

Stuart Clarke

## STANDARDS FOR ZONING VARIATION

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1. *Because of the particular physical surroundings, shape or topographical conditions of the specific property involved, a particular hardship to the owner would result, as distinguished from a mere inconvenience if the strict letter of the regulations were to be carried out:* **The zoning variation requested for parking is needed because the 2 Hotz Rd. Property is a corner lot that is currently undeveloped. The property is smaller than the 420 Half Day Rd property which the Animal Hospital occupies. The hospital cannot reasonably be moved toward the Half Day Rd lot line to bring the proposed parking area behind the building structure. Moving the proposed parking extension north would impact the neighbor to the north because the extensive set back of the proposed parking area from the neighbor's lot line would be minimized. The neighbors to the north of 2 Hotz Rd and the proposed parking extension from the Animal Hospital have requested continuous fencing to provide privacy for their residence. Without a fencing zoning variation on this site, the proposed fence along the north side of the proposed parking area would end at the zoning set back line of 35 from Hotz Rd.**
2. *The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations governing the zoning district in which it is located;* **The property has an extensive wetland component that would require extensive mitigation costs if the entire site was developed for single family residence. The zoning variance is needed because the location of the proposed parking area minimizes impact to the wetland areas and neighbors - relocating it north to place parking spaces behind the Animal Hospital Building is not physically possible and would have a greater impact on wetlands and neighbors. The continuous fencing variation is needed to provide a continuous privacy barrier along the north side of the proposed parking expansion for north neighbors of 2 Hotz Rd property.**
3. *The conditions upon which an application for a variation is based are unique to the property for which the variance is sought, and are not applicable, generally, to other property within the same zoning classification;* **This is a unique situation as the property in question (2 Hotz Rd) is the only undeveloped contiguous land adjacent to the Animal Hospital that could be reasonably developed for a parking extension. The location of the smaller lot (relative to 420 Half Day Rd) requires a zoning variation because we cannot reasonably move the hospital building south (toward the Rt. 22 Lot line) or west (toward the Hotz Rd lot line) to provide the parking addition to the rear of the building structure. The zoning variation requested for fencing is required to allow continuous a fence along the north lot line of 2 Hotz Rd providing a privacy barrier for neighbors north of 2 Hotz Rd.**

4. *The purpose of the variation is not based primarily upon a desire to increase financial gain;* **The proposed variation is not based primarily upon a desire to increase financial gain. The variation is to allow parking spaces in the front yard and corner side yard are based on the location of the 2 Hotz Rd property (a corner lot with Rt. 22 to the south and Hotz Rd to the west) and the location of the current Animal Hospital structure. The variation for the placement of a fence in a corner side yard setback is based on the request of the neighbor to the north of 2 Hotz road for increased privacy and to preserve their home value.**
  
5. *The alleged difficulty is caused by this Title and has not been created by any persons presently having an interest in the property;* **The variance requested to allow parking spaces in a front yard and a corner side yard are due to code requirements and are not caused by the current owner (Mr. Ernie Fry) They are based on location of the 2 Hotz Rd property in relation to the location of the current Animal Hospital structure as well as the location of the 2 Hotz Rd (as a corner lot). The extension of the proposed fence into the side yard set back is based on a request for privacy and to protect surrounding property values and not a result of any action of the current property owner.**
  
6. *The granting of the variations will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located;* **The requested variance to allow parking spaces in a front yard and corner side yard will not be detrimental to the public welfare or injurious to other property or improvements to the neighborhood. The proposed parking expansion that requires the variances will have extensive setbacks, be well screened and will improve drainage. The requested variance to allow placement of a fence in a corner side yard setback will help preserve property values of the neighboring home owner and not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood,**
  
7. *The granting of the variation will not alter the essential character of the neighborhood or locality;* **The variation of allowing parking spaces in a front yard and side yard along with the variation to allow placement of a fence in a corner side yard setback will not alter the essential character of the neighborhood. Do to the extensive screening of the property (both natural occurring vegetation, and screening landscaping, a privacy fence (requested by the homeowner directly north of 2 Hotz Rd) to be added), along with exceptionally large setbacks, the essential character of the neighborhood will not be altered.**
  
8. *The proposed variation will not impair an adequate supply of light and air to adjacent property or substantially increase the congestion of public streets, or increase the danger of fire, or impair natural drainage or create drainage problems on adjacent properties, or endanger the public safety, or substantially diminish or impair property values within the neighborhood;* **The variation requesting parking spaces in a**

front yard and side yard will not impair an adequate supply of light and air to adjacent property or substantially increase congestion of public streets or increase danger of fire, impair natural drainage or create drainage problems. Currently 2 Hotz Rd is vacant, contains many dead and damaged trees and stagnant water. The proposed parking extension and uniting 2 Hotz Rd with the adjacent property occupied by the Animal Hospital (420 Half Day Rd) will create a unified consistent zoning of E small business on both properties. The removal of dead and damaged trees to allow the building of the parking extension will improve light and natural drainage. The parking extension also requires a variance to allow the placement of a fence in a corner side yard setback. This fencing request was proposed by the neighbor directly north of 2 Hotz Rd to preserve their privacy and home value. It will not affect the supply of light, air or increase congestion or affect drainage.

9. *The proposed variation is consistent with the Official Comprehensive Policies Plan of the Village and other development codes of the Village. The Comprehensive Policies Plan recommends a professional office land use development for 2 Hotz Rd property. The parking extension (which requires variation to allow parking spaces in a front yard and parking spaces in a corner side yard) is consistent with the plan. The fence extension into a corner side yard set back will help provide privacy to adjoining neighbor while allowing the parking extension to move forward which is a land use development consist with the Comprehensive Plan.*

Prepared by:



Stuart Clarke

## FINDINGS OF FACT FOR SPECIAL USE

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1. *The special use will not be injurious to the use and enjoyment of other property in the immediate vicinity of the subject premises for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood in which it is to be located.* **The amended Special Use permit for the Animal Hospital will allow for parking expansion to provide needed parking for residents of Lincolnshire and surrounding communities who have come to rely on our veterinary hospital for the care of their pets. It will make use of the dedicated turning lane onto Hotz Rd for access to the parking area which may reduce the need for some east bound clients to U turn at Shelter Road or enter the Beaconsfield Subdivision in order to become west bound to enter our current Parking area.**
2. *The establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.* **Currently the 2 Hotz Rd site is vacant, holds water that breeds mosquitos and is generally unkept. Developing the site in the way we envision will maintain existing mature trees where possible, allow abatement of the standing water on the site, and provide extensive setbacks that will improve neighboring property values. Removing some low overgrowth (buck thorn and other invasive species) will result in improved visibility of westbound traffic for motorists on Hotz Rd. Landscaping at the east end (ornamental trees) and west end (spruce trees) of the parking area will diminish headlight impact and provide screening of the parking area for surrounding homes. A fence along the north side of the property line (as requested by adjacent homeowner) will provide privacy for the property owner.**
3. *Adequate utilities, access roads, drainage and/or necessary facilities have been or will be provided.* **Utility and access roads are already in place and drainage will be enhanced. Lighting will be “dark sky” type and low level Bollard lighting will be in place along walks to eliminate any lighting impact on neighboring properties.**
4. *Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.* **Current driveway ingress and egress to Rt. 22 is in place. The new parking area does not provide for additional Rt. 22 access or egress. Vehicles would use the current driveway on to Rt. 22 or exit from the west end of the proposed parking area to proceed north or south on Hotz Rd. By our calculations, if all clients exited on to Hotz Rd, we would add 10 cars per hour to the traffic flow on Hotz. Currently, clients that intend to access Hotz Rd from our hospital head west on Rt. 22 and then go right or north on Hotz (no significant increase from current traffic load).**

5. *The proposed special use is not contrary to the objectives of the Official Comprehensive Plan of the Village as amended. **The Animal Hospital has an existing Special Use Zoning designation which it has maintained for close to 23 years. The goal will be to unite the 2 Hotz Rd and 420 Half Day properties expanding the current hospital Special Use Zoning to both properties. The Comprehensive Plan recommends a professional office land use development for this property.***
  
6. *The special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be varied pursuant to Section 6-14-9 of this Chapter. **The amended Special Use will maintain all E Small -Scale Office zoning regulations and conditions of the Special Use permit for the Animal Hospital (Ordinance #09-3083-06).***

Prepared by:

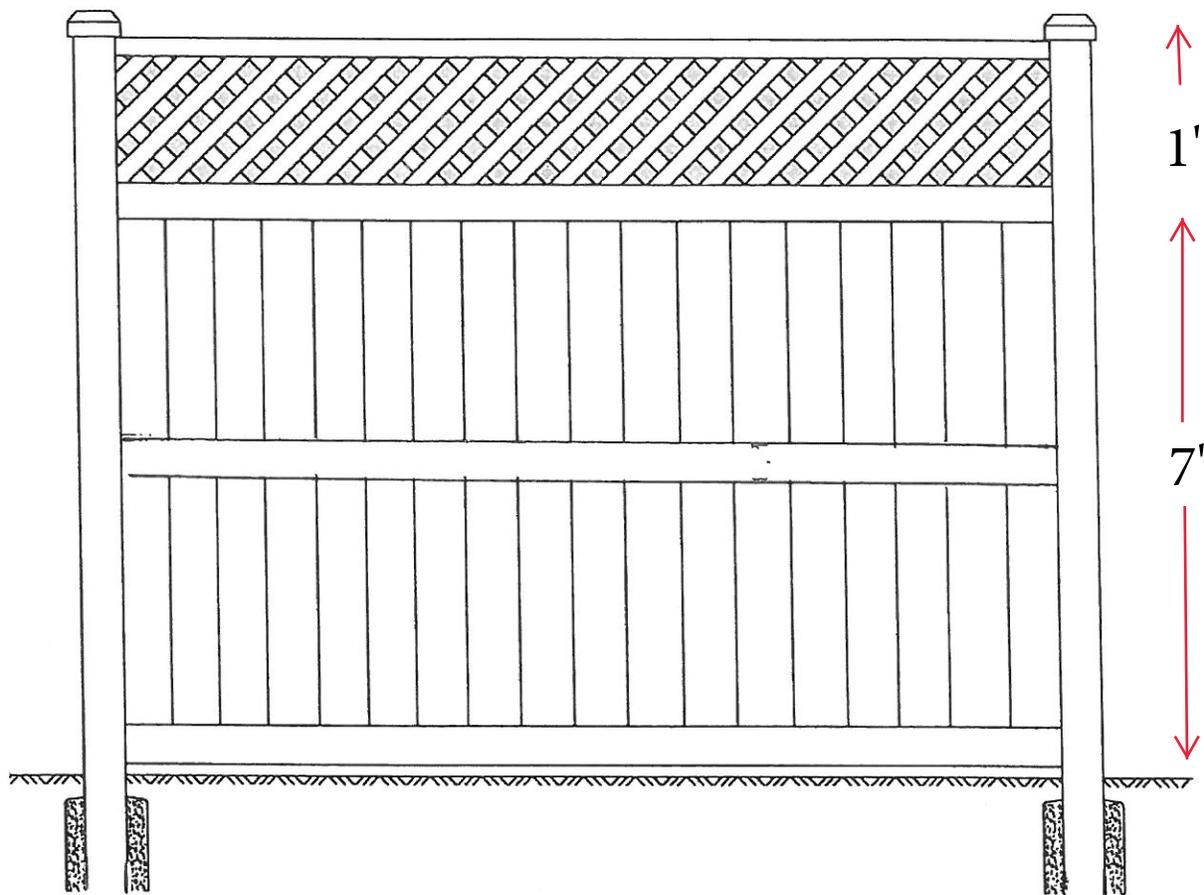
A handwritten signature in black ink, appearing to read "Stuart Clarke". The signature is written in a cursive style with a horizontal line under the first name.

Stuart Clarke

# Existing Fence



# Lincolnshire Animal Hospital



Cedar Fence - Finished side is facing out.  
Remove and replace existing like fence,  
and add new fence as noted on plans.



Color rendering of proposed  
new fence

**2 Hotz from Clinic**



**2 Hotz from across 22 (panoramic)**



**2 Hotz from across 22**



**6 Hotz from Westgate entrance**



**6 Hotz**



**Westgate #2**



**Westgate #3**



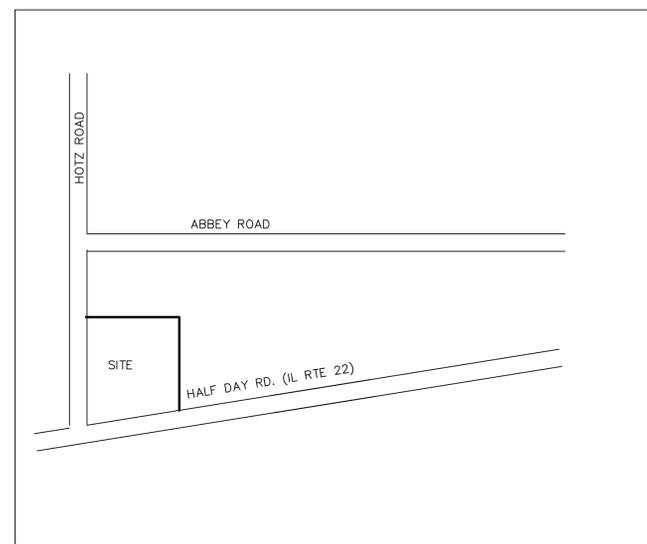
**Westgate from 2 Holz - Proposed exit #2**



**Westgate from 6 Hotz**



# PRELIMINARY IMPROVEMENT PLANS FOR LINCOLNSHIRE ANIMAL HOSPITAL LINCOLNSHIRE, IL BY LINCOLNSHIRE ANIMAL HOSPITAL



LEGEND		
DESCRIPTION	EXISTING	PROPOSED
SANITARY SEWER	—>	—>—
STORM SEWER	—>	—>—
UNDERDRAIN	—	—
WATERMAIN	—W—	—W—
GAS	—G—	—G—
IBT	—I—	—I—
CABLE	—C—	—C—
ELECTRIC	—E—	—E—
MANHOLE, INLET, CB FIRE HYDRANT, VALVE	⊙ ⊕ ⊖ ⊗ ⊘ ⊙	⊙ ⊕ ⊖ ⊗ ⊘ ⊙
ELEVATIONS	(XXX.XX)	XXX.XX
TOP OF CURB	XXX.XX	XXX.XX
EDGE OF PAVEMENT	XXX.XX	XXX.XX
GEOMETRIC COORDINATE	○○○○	○○○○
LIGHT POLES	⊙—	⊙—
DRAINAGE ARROWS	~>	~>
SEWER CLEANOUT	○	●
WATER METER VAULT	—M—	—M—
UTILITY POLE	⊙	●
SOIL BORINGS	N/A	⊕B-
TRAFFIC SIGN	⊖	⊖
TRAFFIC ARROW	↖ ↗	↖ ↗
PARKING STALL COUNT	△	△
TREE	⊗	⊗
RELOCATE TREE	○	○
ITEM REMOVAL	X	N/A
PAVEMENT REMOVAL	▨	N/A
P.C.C	▨	▨
MARSH	▨	N/A

ALL DIMENSIONS AND COORDINATES ARE REFERENCED TO THE EDGE OF PAVEMENT UNLESS INDICATED OTHERWISE  
OPEN SYMBOLS AND DASHED LINES INDICATE EXISTING IMPROVEMENTS

**INDEX OF SHEETS**

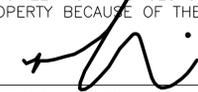
1. COVER SHEET
2. EXISTING CONDITIONS
3. SITE PLAN
4. GRADING & UTILITY PLAN
5. WETLAND IMPACT AREA
6. DEPRESSIONAL STORAGE PLAN

**EXISTING UTILITIES**

WHEN THE PLANS OR SPECIAL PROVISIONS INCLUDE INFORMATION PERTAINING TO THE LOCATION OF UNDERGROUND UTILITY FACILITIES, SUCH INFORMATION REPRESENTS ONLY THE OPINION OF THE ENGINEER AS TO THE LOCATION OF SUCH UTILITIES AND IS ONLY INCLUDED FOR THE CONVENIENCE OF THE BIDDER. THE ENGINEER AND THE OWNER ASSUME NO RESPONSIBILITY WHATSOEVER IN RESPECT TO THE SUFFICIENCY OR VERACITY OF THE INFORMATION SHOWN ON THE PLANS RELATIVE TO THE LOCATION OF UNDERGROUND UTILITY FACILITIES OR THE MANNER IN WHICH THEY ARE TO BE REMOVED OR ADJUSTED. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO DETERMINE THE ACTUAL LOCATION OF ALL SUCH FACILITIES. HE SHALL ALSO OBTAIN FROM THE RESPECTIVE UTILITY COMPANIES DETAILED INFORMATION RELATIVE TO THE LOCATION OF THEIR FACILITIES AND THE WORKING SCHEDULES OF THE UTILITY COMPANIES FOR REMOVING OR ADJUSTING THEM.

**DRAINAGE STATEMENT**

TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE DRAINAGE OF SURFACE WATERS WILL NOT BE CHANGED BY THE CONSTRUCTION OF THIS SUBDIVISION OR ANY PART THEREOF, OR, THAT IF DRAINAGE WILL BE CHANGED, REASONABLE PROVISION HAS BEEN MADE FOR THE COLLECTION AND DIVERSION OF SUCH SURFACE WATERS INTO THE PUBLIC AREAS, OR DRAINS APPROVED FOR THE USE BY THE MUNICIPAL ENGINEER, AND THAT SUCH SURFACE WATERS ARE PLANNED FOR IN ACCORDANCE WITH GENERALLY ACCEPTED ENGINEERING PRACTICES SO AS TO REDUCE THE LIKELIHOOD OF DAMAGE TO THE ADJOINING PROPERTY BECAUSE OF THE CONSTRUCTION OF THIS SUBDIVISION.

  
 REGISTERED PROFESSIONAL ENGINEER 62-42874

PREPARED FOR:  
**LINCOLNSHIRE ANIMAL HOSPITAL**  
 420 HALF DAY ROAD  
 LINCOLNSHIRE, IL



CALL JULIE TOLL FREE  
 1(800)892-0123  
 OPERATES 24 HOURS A  
 DAY 365 DAYS A YEAR



CALL  
 1(800)892-0123  
 48 HOURS BEFORE  
 YOU DIG

**BENCHMARK**

RIM OF VALVE VAULT LOCATED AT THE NW CORNER OF HALF DAY RD (IL. RTE 22) AND HOTZ ROAD.  
 NGVD29 ELEVATION 670.62  
 TO OBTAIN NAVD88 DATUM SUBTRACT 0.284'



**SPIES & ASSOCIATES, INC.**  
Civil Engineers - Land Surveyors

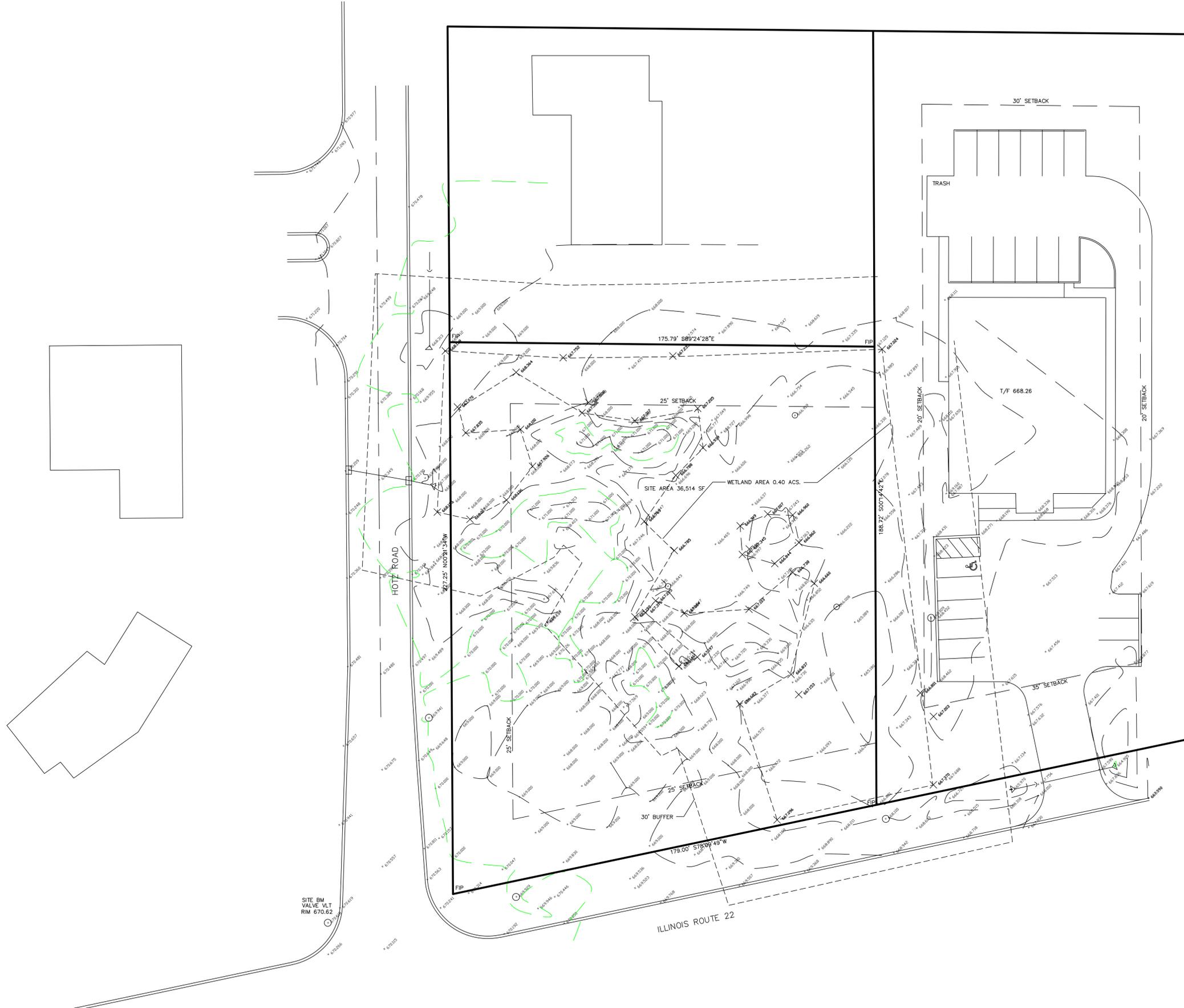
534 WEST CAMPUS DRIVE  
 ARLINGTON HEIGHTS, ILLINOIS 60004  
 PH 847.577.8808 FAX 847.577.0229

REVISIONS	

DRAWN BY: L.T.S.	JOB NO. 5160
DESIGNED BY: TJS	
CHECKED BY: T.J.S.	DATE: 12-20-18


PRELIMINARY IMPROVEMENT PLANS  
COVER SHEET & LOCATION MAP

SHEET NO.  
1  
OF 6 SHEETS



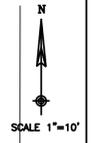
REVISIONS	

DRAWN BY: TJS  
 DESIGNED BY: TJS  
 CHECKED BY: TJS

JOB NO. 5160  
 SCALE: 1"=20'  
 DATE: 09-06-18

EXISTING CONDITIONS  
 LINCOLNSHIRE ANIMAL HOSPITAL





EXISTING 3.5' HIGH BERM ALONG HOTZ RD.

132'

T/F 668.26

25' SETBACK

20' SETBACK

SITE AREA 36,514 SF WETLAND AREA 0.40 ACS.

5' WALK

HOTZ ROAD

7 SPACES @ 9'

8 SPACES @ 9'

PARKING AREA 30 SPACES

RELOCATE POWER POLE

7 SPACES @ 9'

8 SPACES @ 9'

35' SETBACK

25' SETBACK

PROVIDE DEPRESSIONAL STORAGE 2,800 CF BOTTOM 665.3 CLASS 5B WETLAND FORB MIXTURE

PROPOSED BUFFER AREA 4,980 SF = 0.11 ACS

25' SETBACK

30' BUFFER

600.00 PROPOSED ELEVATION  
600.00 EXISTING ELEVATION  
--- EXISTING CONTOUR

**SPIES & ASSOCIATES, INC.**  
Civil Engineers - Land Surveyors

534 WEST CAMPUS DRIVE  
ARLINGTON HEIGHTS, ILLINOIS 60004  
PH 847.577.8808 FAX 847.577.0229

REVISIONS	

DRAWN BY: TJS  
DESIGNED BY: TJS  
CHECKED BY: TJS

JOB NO. 5160  
SCALE: 1"=10'  
DATE: 11-1-18

**GRADING & UTILITY PLAN  
LINCOLNSHIRE ANIMAL HOSPITAL**

SHEET NO.  
**4**  
OF 6 SHEETS



 WETLAND IMPACT AREA  
 IMPACT AREA IS 6,046 SF=0.14 ACS.  
 BUFFER FILL AREA  
 BUFFER FILL AREA IS 4,850 SF = 0.11 ACS.

REVISIONS	

DRAWN BY: TJS	JOB NO. 5160
DESIGNED BY: TJS	SCALE: 1"=20'
CHECKED BY: TJS	DATE: 11-1-18

**WETLAND IMPACT AREA**  
**LINCOLNSHIRE ANIMAL HOSPITAL**



SITE BM VALVE VLT RIM 670.62

DEPRESSIONAL STORAGE FILLED 2,371 CF = 0.05 AC-FT

**SPIES & ASSOCIATES, INC.**  
Civil Engineers - Land Surveyors

534 WEST CAMPUS DRIVE  
ARLINGTON HEIGHTS, ILLINOIS 60004  
PH 847.577.8808 FAX 847.577.0229

REVISIONS	

DRAWN BY: TJS  
DESIGNED BY: TJS  
CHECKED BY: TJS

JOB NO. 5160  
SCALE: 1"=20'  
DATE: 11-1-18

**DEPRESSIONAL STORAGE PLAN  
LINCOLNSHIRE ANIMAL HOSPITAL**

SHEET NO.  
**6**  
OF 6 SHEETS

FOR:  
 Lincolnshire Animal Hospital  
 420 Half Day Road  
 Lincolnshire, IL 60069

*Existing Conditions*

This drawing is the property of ILT Vignocchi and cannot be used for any purpose without the written consent of ILT Vignocchi. ILT Vignocchi reserves the right to substitute plant material varieties based on availability.  
 General Notes: Verify site conditions and information on drawings. ILT Vignocchi (Landscape Architect) does not warrant or guarantee the accuracy and completeness of the work provided, with the Contract Documents beyond a reasonable diligence. If any mistakes, omissions or discrepancies are found to exist within the Contract Documents or on the project site, pertaining to the Landscape and Irrigation Construction of this project, then ILT Vignocchi shall be promptly notified so that ILT Vignocchi may have the opportunity to take necessary steps to resolve discrepancies. Failure to promptly notify ILT Vignocchi of such conditions shall oblige ILT Vignocchi from any responsibility for the consequences of such failure. Actions taken without the knowledge or consent of ILT Vignocchi, or any subcontractor to ILT Vignocchi, Contract Documents, or recommendations shall become the responsibility of ILT Vignocchi, but of the parties responsible for the issuing of such notices.

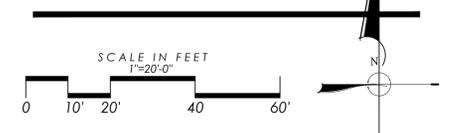
ISSUE DATE: 3/22/19  
 REVISIONS:

DATE:	DESCRIPTION:

APPROVED BY: az

- Notes:
- The contractor shall verify all dimensions and conditions affecting their work with the actual conditions of the project site. Any discrepancies shall be immediately reported to the Landscape Architect before any work is performed; otherwise, the contractor assumes full responsibility. In the event of discrepancies or omissions in the plans or specifications, the contractor shall obtain written instructions from the Landscape Architect prior to proceeding with any part of the work affected. Failure to obtain such instruction will result in the contractor proceeding at his own risk and expense.
  - All work performed under this contract shall be guaranteed against defect in materials and workmanship.
  - When the plans include information pertaining to the location of underground facilities, such information represents only the opinion of the Landscape Architect as to the location of such utilities and is only included for the convenience of the contractor. The owner and Landscape Architect assume no responsibility in respect to the sufficiency or accuracy of the information shown on the plans relative to the location of underground utility facilities or the manner in which they are to be removed or adjusted. It shall be the contractor's responsibility to determine the actual location of all such facilities.
  - The contractor agrees to indemnify and hold harmless the owner, municipality, and landscape architect from all liability and expenses including the cost of legal defense arising out of the performance of the work or out of any claim by any subcontractor or anyone who furnishes material or labor.
  - If, during construction operations, any loose material is deposited in the flow line of gutters, drainage structures, swales, ditches, etc. such that the natural flow line of water is obstructed in any way, this loose material shall be removed at the close of each day by the responsible party. At the conclusion of construction operations all drainage structures and flow lines shall be free from dirt and debris. This work shall be considered incidental to the contract.
  - Failure of contractor to agree to these conditions, as indicated by signature and date below, will render this drawing set null and void, and will fully indemnify ILT Vignocchi of any and all liability claims relating to construction of any and all portions or elements set forth in drawing set.

Contractor Agreement  
 I certify under penalty of law that I understand and agree to all terms and conditions set forth in this contract.  
 Contractor Name: \_\_\_\_\_  
 Company: \_\_\_\_\_  
 Address: \_\_\_\_\_  
 Phone: \_\_\_\_\_  
 Dated: \_\_\_\_\_



Page Title: Existing Conditions  
 Page No. **L1**



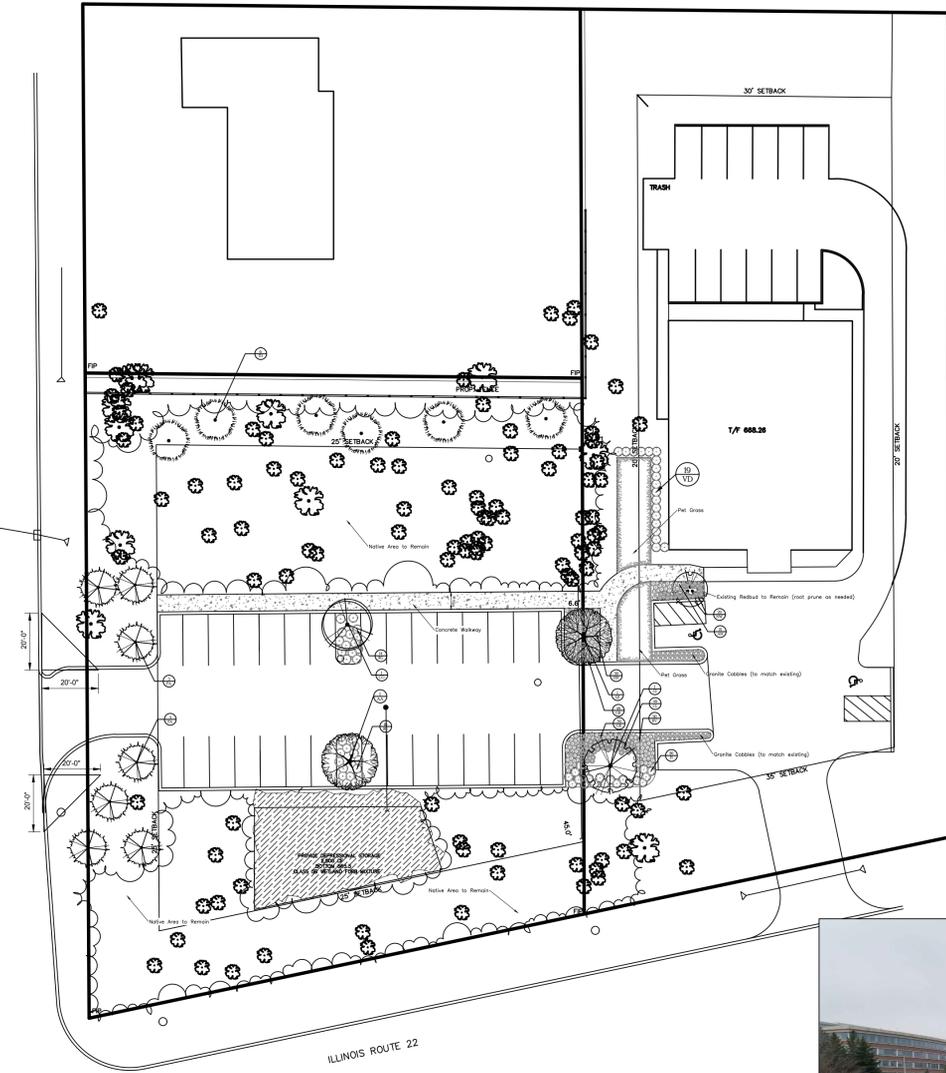
North West Corner



West Side



South West Corner



North East Corner



East Side



South East Corner





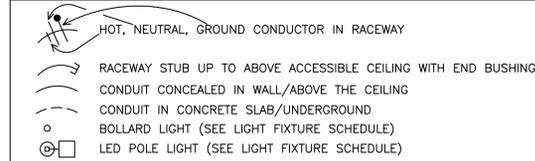




**GENERAL NOTES**

- THIS INSTALLATION SHALL BE IN COMPLIANCE WITH THE LINCOLNSHIRE, IL CODES OF ORDINANCES, AND NATIONAL CODES INCLUDING BUT NOT LIMITED TO: IBC, NEC2017, IECC2015, AND NFPA72.
- BEFORE COMMENCING WORK THE CONTRACTOR SHALL VISIT THE JOB SITE AND FULLY INFORM HIMSELF OR HERSELF OF ALL CONDITIONS THAT AFFECT THE WORK. EXAMINE THE DRAWINGS, AND SUBMIT ANY QUESTIONS IN WRITING TO THE ARCHITECT AND ENGINEER.
- ALL ELECTRICAL DRAWINGS ARE TO BE READ IN CONJUNCTION WITH THE PROJECT SPECIFICATION SHEET AND ALL OTHER DRAWINGS RELATED TO THE PERFORMANCE OF THE WORK.
- THE CONTRACTOR RESPONSIBLE FOR THE EXECUTION OF THIS WORK SHALL BECOME THOROUGHLY FAMILIAR WITH THE PROJECT BEFORE COMMENCING ANY WORK. THE PROJECT DRAWINGS FORM THE BASIS OF THIS CONTRACT REQUIREMENTS AND INCLUDE THE TYPE AND GRADE OF MATERIALS TO BE INSTALLED, EQUIPMENT TO BE FURNISHED, THE MANNER BY WHICH TO BE INSTALLED AND WHERE TO BE LOCATED.
- THE ELECTRICAL CONTRACTOR SHALL CHECK CAREFULLY ALL CONSTRUCTION DRAWINGS AND SPECIFICATION SHEET THAT ARE PART OF THIS PROJECT TO ENSURE THAT NO FIXTURE IS OMITTED.
- EQUIPMENT LABELS AND INSTRUCTIONS REGARDING THE APPLICATION AND INSTALLATION OF THE LISTED EQUIPMENT SHALL BE FOLLOWED TO INSURE THAT THE EQUIPMENT IS BEING INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S LISTING INSTRUCTIONS. THE TEMPERATURE RATING OF THE EQUIPMENT TERMINATIONS MUST BE CAREFULLY CORRELATED WITH THE CONDUCTOR AMPACITY TO PREVENT OVERHEATING AND PREMATURE FAILURE.
- INSTALL ELECTRICAL DEVICES AS INDICATED IN THIS SET OF DRAWINGS. ADJUST FINAL DEVICE LOCATIONS AS REQUIRED TO ACCOMMODATE WORK. COORDINATE WITH ALL TRADES INVOLVED AND WITH CIVIL DRAWINGS. NOTIFY THE ENGINEER AND/OR THE ARCHITECT IF ANY CONFLICTS ARE FOUND PRIOR TO BIDDING PROJECT. INSTALL CONDUIT AND BOXES TO CLEAR EMBEDDED DUCTS, OPENINGS AND OTHER STRUCTURAL FEATURES.
- CONDUIT RUNS SHOWN ON DRAWINGS ARE DIAGRAMMATIC. ALL CONDUITS SHALL RUN CONCEALED, EXCEPT IN EQUIPMENT ROOMS AND WHERE APPROVED BY THE ARCHITECT.
- ALL CIRCUITS SHALL HAVE AN EQUIPMENT GROUNDING CONDUCTOR INSTALLED. COLOR OF GROUNDING CONDUCTOR SHALL BE GREEN. SIZE OF GROUNDING CONDUCTOR SHALL BE AS REQUIRED PER NEC ARTICLE 250.122.
- ALL BRANCH CIRCUITS SHALL HAVE A DEDICATED NEUTRAL CONDUCTOR INSTALLED UNLESS OTHERWISE INDICATED. COLOR OF NEUTRAL CONDUCTOR SHALL BE WHITE.
- ALL CONDUCTOR SHALL BE MADE OF COPPER. MINIMUM WIRE SIZE SHALL BE #10AWG UNLESS OTHERWISE INDICATED.
- ALL BRANCH CIRCUIT WIRING INSTALLED OUTDOORS SHALL USE THWN INSULATION (75F).
- ALL POWER WIRING SHALL BE INSTALLED IN A DEDICATED RACEWAY SYSTEM. MINIMUM RACEWAY SIZE SHALL BE 1" UNLESS OTHERWISE INDICATED. CONTRACTOR SHALL SIZE ALL CONDUITS SO AS TO NOT EXCEED 40% OF CONDUIT FILLING CAPACITY. WHEN MORE THAN THREE CURRENT CARRYING CONDUCTORS ARE INSTALLED IN THE SAME CONDUIT AND AMBIENT TEMPERATURES ADJUSTMENT FACTORS PER ELECTRICAL CODE TABLES 310.15(B)(2)(A), 310.15(B)(3)(A) SHALL BE APPLIED.
- ALL BREAKERS OUTDOOR POLE LIGHTS SHALL BE GFI 5mA RATED.
- UPDATE PANEL CARD DIRECTORY. UTILIZE TYPE WRITER AS A MINIMUM FOR COMPLIANCE. HAND WRITTEN CARD DIRECTORIES ARE NOT ACCEPTABLE.
- ALL EQUIPMENT INSTALLED OUTSIDE SHALL BE WEATHER PROOF RATED.
- CONDUIT INSTALLATION SHALL BE CONCEALED. UTILIZE PVC FOR THE UNDERGROUND HORIZONTAL RUNS WITH RGSC ELBOWS AND RISERS. ELBOWS SHALL BE LONG SWING TO FACILITATE THE INSTALLATION OF CABLING.
- LABEL ALL J--BOXES COVER PLATES WITH CIRCUIT INFORMATION AND PANEL SOURCE.
- FIRE PROOF ALL PENETRATIONS THRU WALLS AND FLOORS TO RE--STABLISH THE FIRE RATING OF PARTITION.
- ALL PULL BOXES AND JUNCTION BOXES SHALL BE SIZED PER ELECTRICAL CODE ARTICLE 314, TABLES 314.16 BASED IN THE AMOUNT OF CABLE AND CONDUITS ENTERING/LEAVING THE BOX.

**ELECTRICAL SYMBOL LIST**



**ABBREVIATIONS**

WP	WEATHER PROOF
RGSC	RIGID GALVANIZED STEEL CONDUIT
AFF	ABOVE FINISH FLOOR
AHJ	AUTHORITY HAVING JURISDICTION
HS	HOUSE SHIELD

**ELECTRICAL DRAWING LIST**

E0.0	GENERAL ELECTRICAL NOTES, SYMBOL LIST AND DETAILS
E-1	SITE PLAN - PHOTOMETRIC, LIGHT FIXTURE SCHEDULE & POLE AND BOLLARD BASE DETAILS
E-2	SITE PLAN - ELECTRICAL
E-3	LIGHT FIXTURE CUT SHEETS



**PROPOSED SITE PLAN**  
**LINCOLNSHIRE ANIMAL HOSPITAL**  
 420 HALF DAY RD.  
 LINCOLNSHIRE, IL 60069

**COMcheck Software Version 4.1.1.0**  
**Exterior Lighting Compliance Certificate**

**Project Information**

Energy Code: 2015 IECC  
 Project Title: LINCOLNSHIRE ANIMAL HOSPITAL - PARKING LOT  
 Project Type: Alteration  
 Exterior Lighting Zone: 2 (Residentially zoned area)

Construction Site: 420 HALF DAY Rd. LINCOLNSHIRE, IL 60069  
 Owner/Agent:  
 Designer/Contractor: Manuel Hernandez, MGH Consulting Engineers, LLC, 409 S Highland Ave, Arlington Heights, IL 60005, 773-314-7819, mhernandez@mgheengineering.com

**Allowed Exterior Lighting Power**

A Area/Surface Category	B Quantity	C Allowed Watts / Unit	D Tradable Wattage	E Allowed Watts (B X C)
New Customers' Parking (Parking area)	14000 ft2	0.06	Yes	840
				Total Tradable Watts (a) = 840
				Total Allowed Watts = 840
				Total Allowed Supplemental Watts (b) = 600

(a) Wattage tradeoffs are only allowed between tradable areas/surfaces.  
 (b) A supplemental allowance equal to 600 watts may be applied toward compliance of both non-tradable and tradable areas/surfaces.

**Proposed Exterior Lighting Power**

A Fixture ID : Description / Lamp / Wattage Per Lamp / Ballast	B Lamps/ Fixture	C # of Fixtures	D Fixture Watt.	E (C X D)
New Customers' Parking ( Parking area 14000 ft2): Tradable Wattage				
LED 1: F1: LED BOLLARDS: Other:	1	12	39	468
LED 2: F2: LEP POLE: Other:	1	3	113	339
				Total Tradable Proposed Watts = 807

**Exterior Lighting PASSES**

**Exterior Lighting Compliance Statement**  
 Compliance Statement: The proposed exterior lighting alteration project represented in this document is consistent with the building plans, specifications, and other calculations submitted with this permit application. The proposed exterior lighting systems have been designed to meet the 2015 IECC requirements in COMcheck Version 4.1.1.0 and to comply with any applicable mandatory requirements listed in the Inspection Checklist.

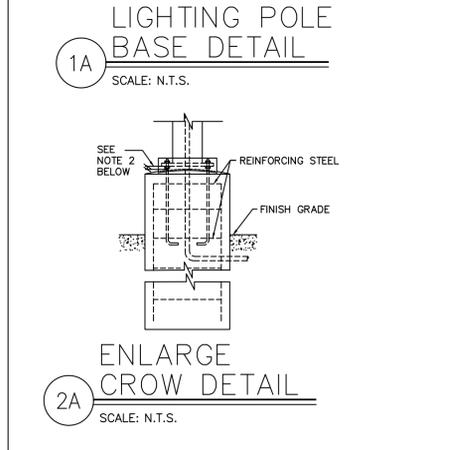
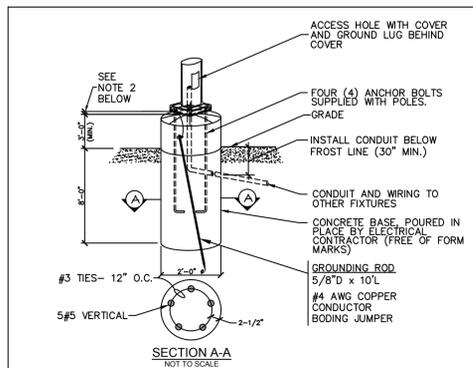
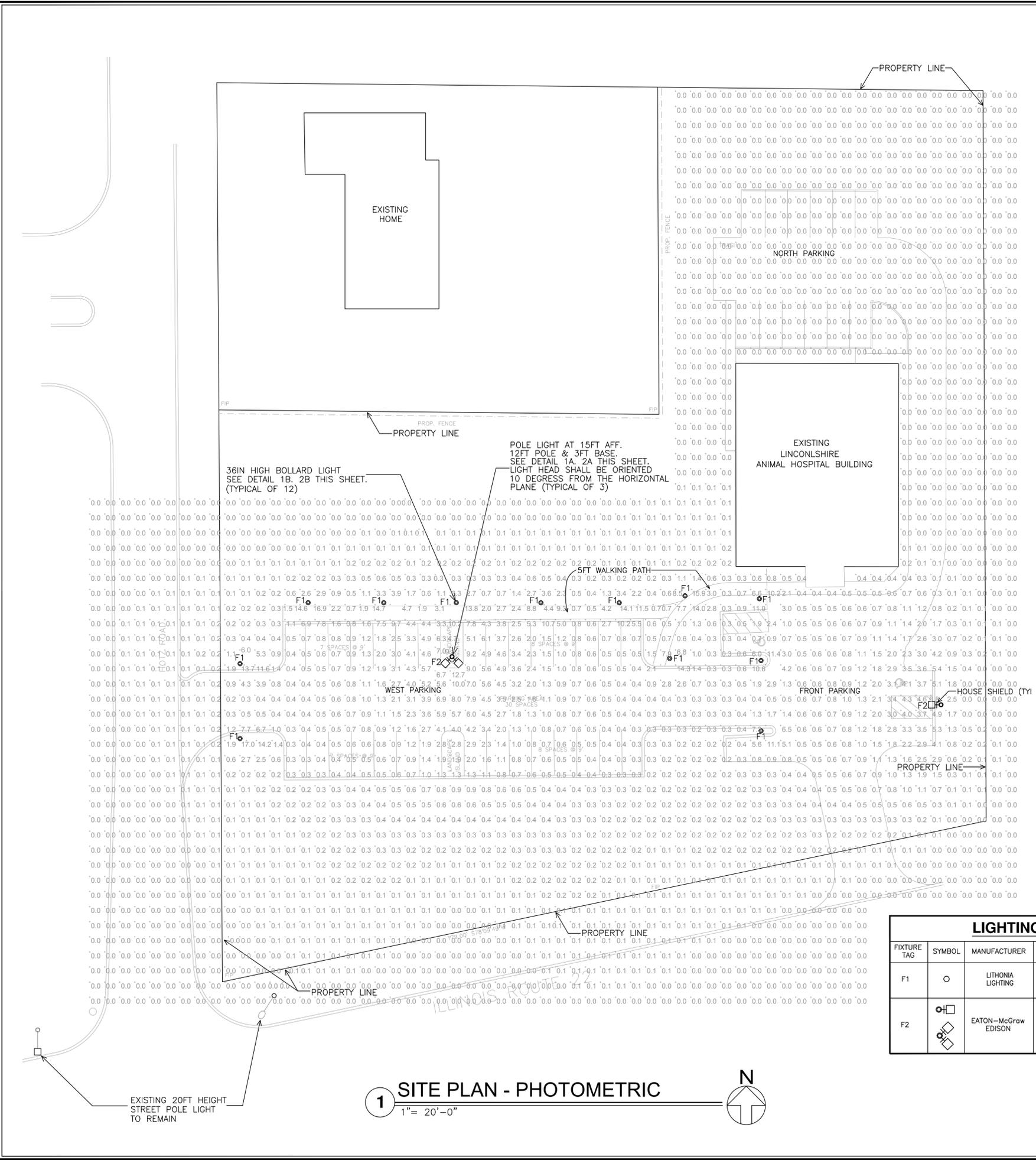
Manuel Hernandez - Proj. Eng. Signature *[Signature]* Date 3-9-19

**MGH ENGINEERING**  
**MGH Consulting Engineers, LLC**  
 LICENSE NO. 184.007392-0002  
 409 S. Highland Ave. Arlington Heights, IL 60005  
 mhernandez@mgheengineering.com Phone: 773.314.7819

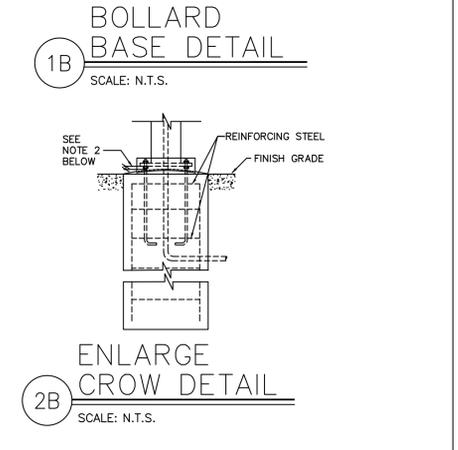
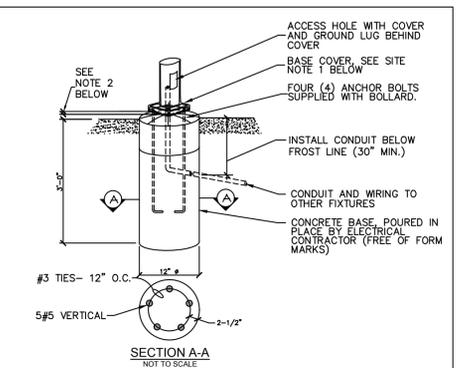
**GENERAL ELECTRICAL**  
**NOTES, SYMBOL LIST &**  
**DETAILS**

**ISSUED:**  
 3-9-19  
 ISSUED FOR REVIEW

**E-0**



- NOTES**
1. PROVIDE CROWN ON TOP OF CONCRETE BASE TO COMPLETELY SHED WATER.
  2. 1/2" (MIN) AIR GAP SPACE BETWEEN TOP OF CONCRETE CROWN AND BOTTOM OF POLE BASE PLATE FOR VENTILATION.
  3. LOCATE LUMINAIRE ON THE DRAWING; AND VERIFY LUMINAIRE CATALOG NUMBER, POSITION OF LAMP SOCKET AND DIRECTION.
  4. PRIOR TO LUMINAIRE INSTALLATION, VERIFY THAT THE LUMINAIRE CATALOG NUMBER MATCHES THE CATALOG NUMBER SHOWN ON THE DRAWING.



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  4. PRIOR TO LUMINAIRE INSTALLATION, VERIFY THAT THE LUMINAIRE CATALOG NUMBER MATCHES THE CATALOG NUMBER SHOWN ON THE DRAWING.

**SITE PHOTOMETRIC STATISTICS**

Description	Avg	Max	Min	Max/Min	Avg/Min
<b>ALL SITE</b>	<b>0.6fc</b>	<b>17.0fc</b>	<b>0.0fc</b>	<b>N/A</b>	<b>N/A</b>
<b>WEST PARKING AREA</b>	<b>1.8fc</b>	<b>12.7fc</b>	<b>0.3fc</b>	<b>42.3:1</b>	<b>6.0:1</b>
<b>FRONT PARKING AREA</b>	<b>2.1fc</b>	<b>11.4fc</b>	<b>0.4fc</b>	<b>28.5:1</b>	<b>5.3:1</b>
<b>NORTH PARKING AREA</b>	<b>0.0fc</b>	<b>0.0fc</b>	<b>0.0fc</b>	<b>N/A</b>	<b>N/A</b>
<b>WALKING PATH</b>	<b>5.6fc</b>	<b>16.9fc</b>	<b>0.5fc</b>	<b>33.8:1</b>	<b>11.2:1</b>

**LIGHTING FIXTURE SCHEDULE (PROVIDE SPECIFIED OR APPROVED EQUAL)**

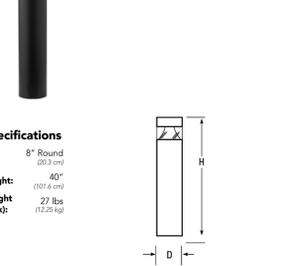
FIXTURE TAG	SYMBOL	MANUFACTURER	MODEL NUMBER	LAMPS	VOLTAGE	WATTAGE	MOUNTING	NOTES
F1	○	LITHONIA LIGHTING	KBR8 LED 16C 700 40K SYM MVOLT H36 MRAB U (COLOR AS SELECTED BY ARCHITECT AND/OR OWNER)	LED 2,022LM 4000K 70CRI	120-277V	39W	CONCRETE BASE	LED 36 INCH HIGH BOLLARD LIGHT COLOR AS SELECTED BY ARCHITECT AND/OR OWNER
F2	□	EATON-McGraw EDISON	SIMILAR TO: GLEON-AF-02-LED-E1-T4FT MS/DIM-L20-ADJA-MA1191-XX (PROVIDE 12FT COMPATIBLE ROUND POLE MOUNTED ON A 3FT CONCRETE BASE)	LED 12533LM 4000K-70CRI	120V-277V	113W	POLE MOUNTED	POLE LED LIGHT AT 15FT HIGH, WITH 1 OR 2 POLE HEAD AS INDICATED IN PLAN & ADJUSTABLE ARM, DRILLING PATTERN AS REQUIRED BY POLE HEAD(S), COLOR AS SELECTED BY ARCHITECT AND/OR OWNER. PROVIDE 12FT POLE WITH VIBRATION DAMPERS AND GROUND LUG CONNECTION. POLE SHALL WITHSTAND WEIGHT AND E.P.A FOR 80M WIND

**1 SITE PLAN - PHOTOMETRIC**  
 1" = 20'-0"  
 N



F1

**KBR8 LED**  
**LED Specification Bollard**



**Specifications**  
 8" Round (203 mm)  
 Height: 40" (1016 mm)  
 Weight: 27 lbs (12.2 kg)

Series	LEDs	Drive Current	Color Temperature	Beam Spread	Beam Angle	Beam Diameter @ 40'	Beam Diameter @ 80'	Beam Diameter @ 120'	Beam Diameter @ 160'	Beam Diameter @ 200'	Beam Diameter @ 240'	Beam Diameter @ 277'	Beam Diameter @ 347'
KBR8 LED	Asymmetric 1x C (120°)	350 350mA	30K	3000K	120°	208"	41"	61"	81"	101"	121"	141"	161"
		450 450mA	50K	5000K	208"	41"	61"	81"	101"	121"	141"	161"	181"
	Symmetric 1x C (90°)	700 700mA	AMBC	Amber	90°	277"	55"	83"	111"	139"	167"	195"	223"
			AMWB	Amber	90°	347"	69"	104"	138"	173"	207"	242"	277"

**Introduction**  
 The KBR8 Bollard is a stylish, fully integrated LED solution for walkways. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance.  
 With an expected service life of over 20 years of nighttime use and up to 70% in energy savings over comparable 100W metal halide luminaires, the KBR8 Bollard is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

**Ordering Information**

Series	LEDs	Drive Current	Color Temperature	Beam Spread	Beam Angle	Beam Diameter @ 40'	Beam Diameter @ 80'	Beam Diameter @ 120'	Beam Diameter @ 160'	Beam Diameter @ 200'	Beam Diameter @ 240'	Beam Diameter @ 277'	Beam Diameter @ 347'
KBR8 LED	Asymmetric 1x C (120°)	350 350mA	30K	3000K	120°	208"	41"	61"	81"	101"	121"	141"	161"
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	Symmetric 1x C (90°)	700 700mA	AMBC	Amber	90°	277"	55"	83"	111"	139"	167"	195"	223"
			AMWB	Amber	90°	347"	69"	104"	138"	173"	207"	242"	277"

**EXAMPLE: KBR8 LED 16C 700 40K SYM MVLDT DBDXD**

**Accessories**

- M8830 Actuator bolts (GB187)
- NOTES**
- Only available in the 12C, A37 version.
  - Only available in the 12C, SYM version.
  - Only available with AMWB version.
  - Not available with ELCC.
  - M8327 clear options are only available from 120-277' (50.80m to 84.67m). Specify 120, 208, 240 or 277 options only when ordering with M8327. 277' and 347' options are not available with M8327.
  - Not available with 347V. Not available with 347V. Not available with 400V.
  - Not available with 400V. Not available with 400V. Not available with 400V.
  - Double End (DE) requires 120, 277, or 347' voltage option.
  - M8614 is not available with LUMI option.

One Lithonia Way • Corvallis, Georgia 30012 • Phone: 800.279.8041 • www.lithonia.com  
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F1

**Performance Data**

Lumen values are from photometric tests performed in accordance with IESNA LM-79. Data is considered to be representative of the configurations shown, with the tolerances allowed by Lighting Facts. Actual performance may differ as a result of outdoor environment and application. Actual wattage may differ by +/- 5% when operating between 120-240V +/- 10%.

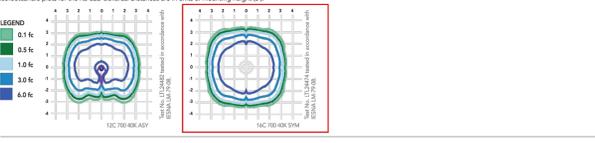
Height (ft)	Beam Diameter (ft)	Beam Diameter (m)												
350	16	641	41	1	1	809	51	1	1	870	54	1	1	1
450	22	947	41	1	1	1,191	54	1	1	1,282	58	1	1	1
700	31	1,214	41	1	1	1,527	51	1	1	1,646	55	1	1	1
Amber 60	16													
350	20	888	41	1	1	1,176	56	1	1	1,263	61	1	1	1
450	28	1,254	41	1	1	1,598	57	1	1	1,719	61	1	1	1
700	37	1,608	41	1	1	2,027	52	1	1	2,160	56	1	1	1
Amber 60	16													

**Projected LED Lumen Maintenance**

Based on the photometric test performed in accordance with IESNA LM-79. Data is considered to be representative of the configurations shown, with the tolerances allowed by Lighting Facts. Actual performance may differ as a result of outdoor environment and application. Actual wattage may differ by +/- 5% when operating between 120-240V +/- 10%.

Hours (Thousands)	0	25,000	50,000	100,000
120°	1.00	0.98	0.97	0.95
90°	1.00	0.98	0.97	0.95

**Photometric Diagrams**



**FEATURES & SPECIFICATIONS**

- INTENDED USE**  
 The rugged construction and clean lines of the KBR8 bollard is ideal for illuminating building entrances, walkways, paths, and pedestrian plazas, as well as any other location requiring a long-lasting, energy-efficient lighting solution with fully custom optical.
- CONSTRUCTION**  
 One-piece 8-inch round extruded aluminum shaft with thick side walls for extreme durability, a high-impact clear acrylic lens and sealed-to-rim. Die-cast aluminum mounting ring allows for easy installation in a sloped location and a full 360-degree rotation for precise alignment during installation. Three 1/2" x 1 1/4" anchor bolts with double nuts and washers and 2 1/4" bolt circle template ensure stability. Overall height is 42" standard.
- FINISH**  
 Exterior parts are protected by a zinc-injected super durable TiGII chemcoat powder coat finish that provides superior resistance to corrosion and weathering for maximum retention of gloss and luster. A tightly controlled multi-stage process ensures a minimum 3-mil thickness for a finish that can withstand the elements without cracking or peeling. Available in both textured and non-textured finishes.
- OPTICS**  
 Two fully cutoff optical distributions are available: symmetrical and asymmetrical. 160-degree LED light engine provides smoothly graduated illumination without any uplight. Light engines are available in standard 4000K (2-70°CRI) or optional 3000K (6-80°CRI) or 5000K (67°CRI). Limited-wavelength amber LEDs are also available.

F2

**McGraw-Edison**

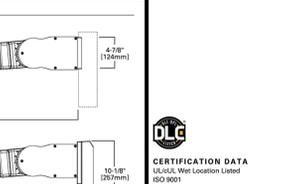
Category #	Type
Project	
Comments	
Prepared by	

**DESCRIPTION**  
 The Galleon™ LED Flood luminaire combines the low-profile design of the Galleon with the mounting angle flexibility of a pole or wall-mounted floodlight. With a maximum tilt angle of 60° from horizontal, and patented, high-efficiency AccuLED Optics™ technology, it provides uniform and energy-efficient illumination for parking lots, container/rail yards and highway projects. Mounts to a 1.5" x 1.5" x 1.5" or a ballroom or pole-top tenon. IP66 rated and ULULX Listed for wet locations.

**DESCRIPTION**  
 The Galleon™ LED Flood luminaire combines the low-profile design of the Galleon with the mounting angle flexibility of a pole or wall-mounted floodlight. With a maximum tilt angle of 60° from horizontal, and patented, high-efficiency AccuLED Optics™ technology, it provides uniform and energy-efficient illumination for parking lots, container/rail yards and highway projects. Mounts to a 1.5" x 1.5" x 1.5" or a ballroom or pole-top tenon. IP66 rated and ULULX Listed for wet locations.

**1-10 Light Squares**

Cast aluminum knuckle arm endcap directly to fixture housing, and is available with either horizontal or vertical mounting. For ballroom, pipe or tenon mount. Can be tilted up to 60° from horizontal without compromising vibration or IP rating. Slipfitter compatible with 2-3/8" - 3" pipe or tenon mounting.



**CERTIFICATION DATA**

Number of Light Squares	1	2	3	4	5	6	7	8	9	10
Nominal Power (Watts)	59	113	166	225	279	333	381	445	501	558
Input Current @ 120V (A)	0.51	1.02	1.53	2.03	2.55	3.06	3.56	4.08	4.60	5.07
Input Current @ 208V (A)	0.29	0.56	0.82	1.11	1.37	1.64	1.93	2.19	2.46	2.75
Input Current @ 240V (A)	0.25	0.49	0.74	0.99	1.24	1.49	1.74	1.99	2.24	2.49
Input Current @ 277V (A)	0.23	0.42	0.61	0.83	1.03	1.23	1.45	1.65	1.84	2.09
Input Current @ 347V (A)	0.17	0.32	0.46	0.64	0.82	1.00	1.14	1.32	1.50	1.68
Input Current @ 480V (A)	0.14	0.24	0.37	0.48	0.61	0.75	0.91	1.09	1.22	1.28

**ENERGY DATA**

Number of Light Squares	1	2	3	4	5	6	7	8	9	10
4000K/5000K Lumens	6,256	12,225	18,242	24,104	29,865	35,739	42,265	47,888	53,420	59,144
3000K Lumens	5,915	11,559	17,248	22,789	28,236	33,790	39,860	45,777	50,506	55,919
BUG Rating	B1-U0-G2	B2-U0-G2	B3-U0-G2	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5
4000K/5000K Lumens	6,442	12,979	19,306	25,509	31,761	37,941	44,870	50,840	56,711	62,793
3000K Lumens	6,280	12,271	18,211	24,183	29,976	35,972	42,423	48,068	53,619	59,365
BUG Rating	B1-U0-G1	B2-U0-G2	B2-U0-G2	B3-U0-G4	B3-U0-G4	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5
4000K/5000K Lumens	6,377	12,461	18,583	24,568	30,439	36,426	43,077	48,810	54,447	60,282
3000K Lumens	-	-	-	-	-	-	-	-	-	-
BUG Rating	B1-U0-G2	B2-U0-G2	B3-U0-G3	B3-U0-G4	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5	B3-U0-G5

**OPTIONAL FEATURES**

- 1-10V (DIM) - This fixture is offered standard with 0-10V dimming driver(s). The DIM option provides 0-10V dimming wire leads for use with a lighting control panel or other control method.
- Photocontrol (P) and PERY - Optional button-type photocontrol (P) and photocontrol receptacle (PERY) provide a flexible solution to enable "dusk-to-dawn" lighting by sensing light levels. Advanced control systems compatible with NEMA 7-pin standards can be utilized with the PERY receptacle.
- After Hours Dim (AHD) - This feature allows photocontrol-enabled luminaires to achieve additional energy savings by dimming during scheduled portions of the night. The dimming profile will automatically take effect after a "dusk-to-dawn" period has been calculated from the photocontrol input. Specify the desired dimming profile for a simple, factory-assembled lighting solution requiring no external control wiring. Reference the After Hours Dim supplemental guide for additional information.
- Dimming Occupancy Sensor (MS-DIM-LXX, MS-X-LXX and MS-LXX) - These sensors are factory-installed in the luminaire housing. When the MS-DIM-LXX sensor option is selected, the occupancy sensor is connected to a dimming driver and the entire luminaire dims when there is no activity detected. When activity is detected, the luminaire returns to full light output. The MS-DIM sensor is factory preset to dim to approximately 50 percent power with a time delay of five minutes. The MS-X-LXX sensor is factory preset to turn the luminaire off after five minutes of no activity. The MS-LXX-LXX is also preset for five minutes and only controls the specified number of light engines to maintain steady output from the remaining light engines.

**These occupancy sensors includes an integral photocontrol that can be activated with the FSIR-100 accessory for "dusk-to-dawn" control or daylight harvesting - the factory preset is OFF. The FSIR-100 is a wireless tool utilized for changing the dimming level, time delay, sensitivity and other parameters. A variety of sensor lens are available to optimize the coverage pattern for mounting heights from 8'-0" to 40'-0".**

**Dimming Occupancy Sensor (MS-DIM-LXX, MS-X-LXX and MS-LXX)**

These occupancy sensors includes an integral photocontrol that can be activated with the FSIR-100 accessory for "dusk-to-dawn" control or daylight harvesting - the factory preset is OFF. The FSIR-100 is a wireless tool utilized for changing the dimming level, time delay, sensitivity and other parameters. A variety of sensor lens are available to optimize the coverage pattern for mounting heights from 8'-0" to 40'-0".

**LumaMat Pro Wireless Control and Monitoring System (LWR-LW and LWR-LN)**

The LumaMat Pro wireless control system by Enlighted is a connected lighting solution that combines a broad selection of energy-efficient LED luminaires with a powerful integrated power sensor system. The sensor controls the lighting system in compliance with the latest energy codes and collects valuable data about building performance and use. Software applications turn the granular data into information through energy dashboards and specialized apps that make it simple and help optimize the use of building resources, beyond lighting.

**NOTE:**

1. Single Light Control (SCL) Control. Refer to www.enlighted.com/QualifiedProducts for qualified products and family models for details.
2. Customers is responsible for engineering analysis to confirm power and voltage compatibility for an application. Refer to our white paper WPL3001EN for additional support information.
3. Requires the use of an external step down transformer when combined with sensor or control system. Not available with sensor or control system.
4. Requires the use of an external step down transformer when combined with sensor or control system. Not available with sensor or control system.
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page 2

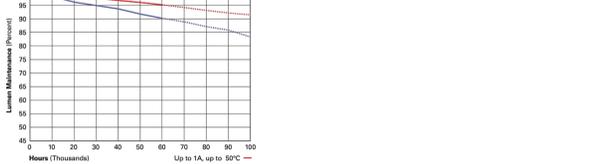
**EPA CHART**

Tilt Angle (Degrees)	Number of Light Squares	Weight	1 @ 90°	2 @ 180°	2 @ 90°	2 @ 120°	3 @ 90°	3 @ 120°	4 @ 90°
0°	1-4	34 lbs. (15.45 kgs.)	1.21	2.42	1.94	2.19	2.92	2.83	3.87
	5-8	45 lbs. (20.45 kgs.)	1.21	2.42	1.94	2.19	2.92	2.83	3.87
	9-10	63 lbs. (28.63 kgs.)	1.21	2.42	...	2.51	...	3.73	...
15°	1-4	34 lbs. (15.45 kgs.)	1.21	2.42	2.14	2.39	3.14	3.16	4.23
	5-8	45 lbs. (20.45 kgs.)	1.21	2.42	2.46	2.46	3.43	3.60	4.91
	9-10	63 lbs. (28.63 kgs.)	1.30	2.59	...	2.65	...	4.06	...
30°	1-4	34 lbs. (15.45 kgs.)	1.58	3.17	...	3.02	...	4.54	...
	5-8	45 lbs. (20.45 kgs.)	1.41	2.82	2.94	2.78	4.05	4.25	5.88
	9-10	63 lbs. (28.63 kgs.)	1.96	3.92	3.66	3.55	5.13	5.18	7.31
45°	1-4	34 lbs. (15.45 kgs.)	2.51	5.01	...	4.33	...	6.16	...
	5-8	45 lbs. (20.45 kgs.)	2.06	4.12	...	3.44	...	5.22	...
	9-10	63 lbs. (28.63 kgs.)	2.99	5.99	3.70	3.60	5.19	5.23	7.40
60°	1-4	34 lbs. (15.45 kgs.)	3.77	5.55	4.76	4.72	6.78	6.67	9.81
	5-8	45 lbs. (20.45 kgs.)	3.54	7.09	...	5.85	...	8.16	...
	9-10	63 lbs. (28.63 kgs.)	4.33	8.66	...	7.01	...	9.70	...

**LUMEN MAINTENANCE**

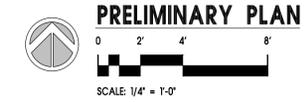
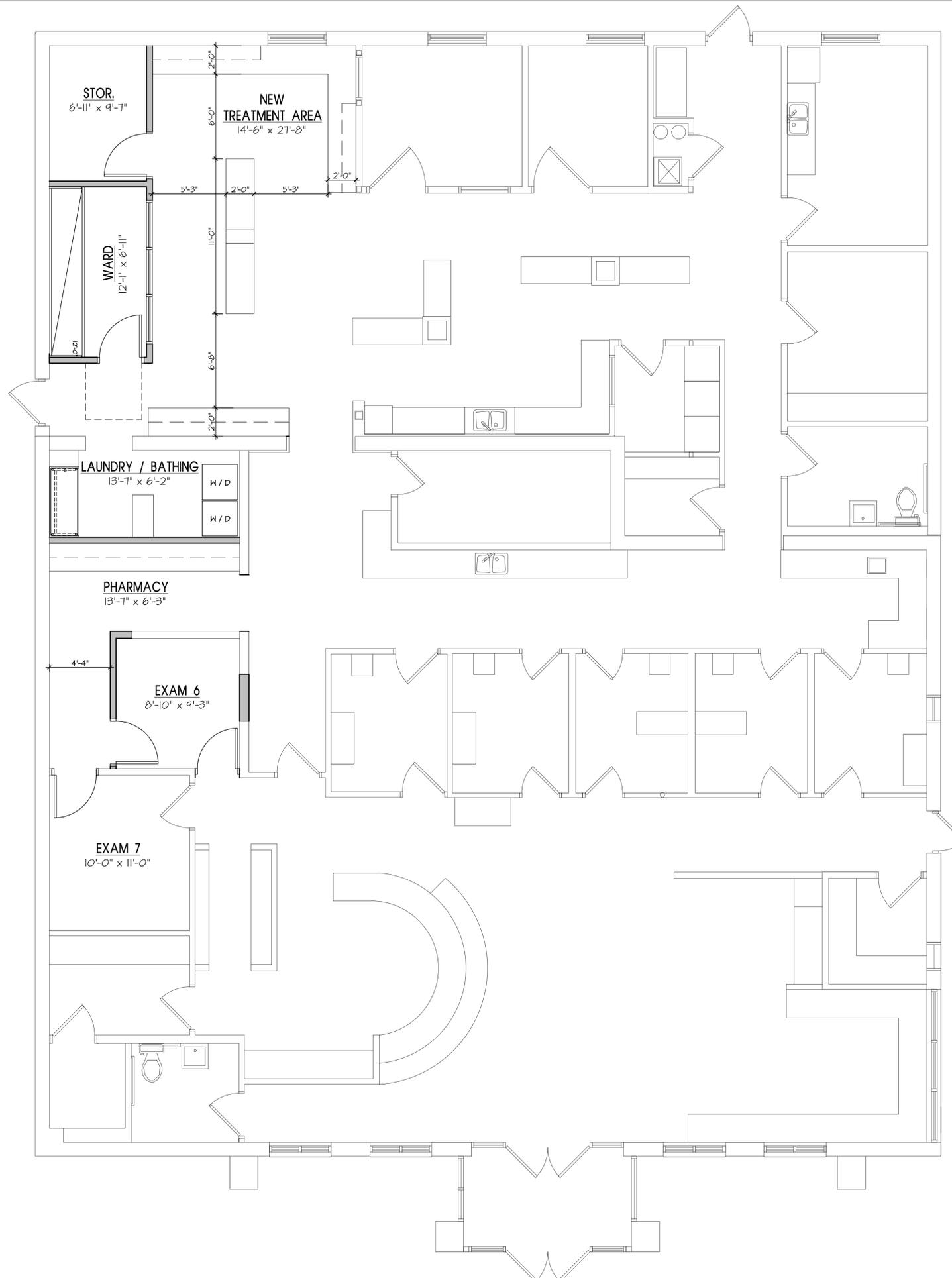
Drive Current	Ambient Temperature	TM-21 Lumen Maintenance (80,000 Hours)	Projected L70 (Hours)
Up to 1A	Up to 50°C	> 95%	416,000
1.2A	Up to 40°C	> 90%	205,000

**LUMEN MULTIPLIER**



**ENERGY DATA**

Number of Light Squares	1	2	3	4	5	6	7	8
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**LINDENGROUP**  
 ARCHITECTURE  
 LAND PLANNING  
 INTERIOR ARCHITECTURE  
 LANDSCAPE ARCHITECTURE  
 10100 ORLAND PARKWAY SUITE 110  
 ORLAND PARK, ILLINOIS 60467  
 (708) 799-4400  
 WWW.LINDENGROUPINC.COM

**RWE MANAGEMENT COMPANY**  
 16 W 301 S. Frontage Rd., Suite 106  
 Burr Ridge, IL 60527  
 (630) 734-0883  
 JACOBY@RWE.COM

**Lincolnshire Animal Hospital**  
 420 Half Day Rd.  
 Lincolnshire, IL

DRAWN DESCRIPTION  
 DATE  
**2018-0119**  
 PROJECT NUMBER

FILE NUMBER  
**8-30-2018**  
 DATE

DRAWN BY

FINAL REVIEW

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**PRELIMINARY PLAN**

SHEET NAME  
**A-1.0**  
 SHEET  
 SHEET OF

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**ORDINANCE NO. 09-3083-06**

**AN ORDINANCE AMENDING A SPECIAL USE**

**FOR AN ANIMAL HOSPITAL IN THE SMALL SCALE OFFICE DISTRICT**

**(LINCOLNSHIRE ANIMAL HOSPITAL)**

**(ORDINANCE NO. 96-1434-18)**

**WHEREAS**, a public hearing was duly advertised on September 25, 2008, in the Lincolnshire Review regarding the Application described herein in accordance with the Village Code, and

**WHEREAS**, a public hearing (“Public Hearing”) was held by the Zoning Board on October 14, 2008, and continued from time to time until finally adjourned on December 9, 2008 on an application from Lincolnshire Animal Hospital Limited, (the “Animal Hospital”), an Illinois corporation as developer of the property legally described in Exhibit “A” attached hereto and made a part hereof by reference (the “Subject Property”), for an amendment (“Special Use Amendment”) to Ordinance No. 96-1434-18, which special use ordinance governs the development of the animal hospital, and is attached to this Ordinance as Exhibit “B” (the “Rezoning and Special Use Ordinance”); and

**WHEREAS**, the aforesaid public hearing was held pursuant to legal notice as required by law and all persons desiring an opportunity to be heard were given such opportunity at said public hearing; and

**WHEREAS**, the Special Use Amendment provides for a modification to the Rezoning and Special Use Ordinance to permit an expansion of the existing building and parking areas, and also to permit the construction of a dog run; and

**WHEREAS**, having made findings of fact, based on the proposed findings submitted by the Animal Hospital dated November 4, 2008, and those statements made during the Public Hearing, the Zoning Board recommended approval to the Village Board of a Special Use Amendment to permit an expansion of the existing building and parking areas, as well as construction of a dog run subject to Staff’s recommendations, as presented in Staff’s memorandum dated December 5, 2008 and further subject to no more than one dog in the dog run at any given time.

**WHEREAS**, the Corporate Authorities have concluded that the Special Use Amendment, subject to and in conformance with the terms and conditions of this Ordinance, will be beneficial to the Village, will further the development of the Subject Property, and will otherwise enhance and promote the general welfare of the Village and the health, safety and welfare of the residents of the Village.

**NOW, THEREFORE, BE IT ORDAINED** by the Mayor and Board of Trustees of the Village of Lincolnshire, in exercise of its home rule authority, as follows:

**Section 1. Recitals.** The Parties hereby confirm the truth and validity of the representations and recitations set forth in the foregoing recitals and do further acknowledge that they are material to this Ordinance. Such recitals are hereby incorporated into and made a part of this Ordinance as though they were fully set forth herein. The Parties further agree that this Ordinance shall be liberally construed so that the purpose and intent represented by the recitals shall be accomplished to the greatest extent permitted by law. The findings of fact adopted by the Zoning Board are hereby incorporated and made the Village Board's findings of fact the same as though they were fully set forth herein.

**Section 2. Amendment to Rezoning and Special Use Ordinance.**

**A. Future References.** From and after the effective date of this Ordinance, all references in the Rezoning and Special Use Ordinance shall be deemed to mean the Rezoning and Special Use Ordinance, as amended by this Ordinance. Except as modified by this Ordinance, all provisions of the Rezoning and Special Use Ordinance shall remain in full force and effect.

**B. Special Use Amendment.** The Rezoning and Special Use Ordinance is hereby amended to permit the changes to Sections 3 and 4 of the Rezoning and Special Use Ordinance described in Sections 3 and 4 below, subject to the following conditions and restrictions:

1. Final approval of this Special Use Amendment by the Village shall be contingent on Lake County Storm Water Management Commission's permit, or their waiver of said permit.
2. No extended hours of operation should be allowed after the regular business hours (from 8 a.m. to 6 p.m. on Monday through Friday and from 8 a.m. to 12 p.m. on Saturday), except for emergency treatment of animals.
3. Dog walking after the regular business hours should only be permitted in the outdoor dog run from 5 p.m. to 6 p.m. on Saturday, 9 a.m. to 10 a.m., 11 a.m. to 12 p.m. and 5 p.m. to 6 p.m. on Sunday. Dog walking shall not be allowed anywhere else on the property.
4. No more than one dog shall be permitted to be walked by hospital Staff in the dog run at any given time during the authorized dog walking hours. All dogs shall be walked on a leash.
5. The rear parking lot shall be reserved only for parking by the Animal Hospital's employees. A sign describing such rule shall be posted adjacent to the driveway at a location even with the front of the principal building.

6. The Animal Hospital shall provide a lockable barrier across the driveway leading to the rear parking lot at a location even with the front of the principal building. The lockable barrier is to be utilized at times other than the regular business hours, as defined in Paragraph # 2 above, and its design shall be reviewed and approved by Village Staff prior to installation.

**Section 3. Approval for Expansion of Existing Building and Parking Areas.**

A. The Corporate Authorities approve the following expansion of existing building and parking areas on the Subject Property pursuant to Section 3, Subsection 4 of the Rezoning and Special Use Ordinance, and subject to the conditions set forth in Section 2(B) of this Ordinance:

1. Construct a one-story addition, increasing the total size of the building from 2,901 SF to 5,231 SF.
2. Construct a 244 SF outdoor dog run, along the west building elevation, with a 6' tall cedar fence of the same design as the 8' tall screening fence (described in Item #5 below), but without the decorative lattice element.
3. Build a 12-stall parking lot area in the rear of the property.
4. Reconfigure the front parking lot area, which will contain eight (8) regular stalls and one (1) handicapped stall.
5. Install 8' tall lattice style cedar fencing (denoted as Option B on the approved plans) with landscaping (in accordance with the Landscape Plan-Option 1) in the rear parking lot.
6. Conduct other authorized building lighting and related building and site improvements pursuant to the approved plans attached as Exhibit "C."

B. Section 3, Subsection 3 of the Rezoning and Special Use Ordinance is hereby stricken.

**Section 4. Improvement Plans.** All plans for the improvements and operation described in the Application shall be in general conformance with the Petitioner's Presentation Packets, submitted to the Village of Lincolnshire on January 21, 2009 and February 18, 2009, which are attached hereto and made part of as **Exhibit "C,"** and which include:

- A. Responses to Standards for a Special Use, prepared by the Animal Hospital, dated September 22, 2008, date stamp received January 21, 2009.

- B. Site Plan and Existing Site Data Chart; Existing and Proposed Floor Plans; Building Cross Section; Dog Run Elevations; Raised Parapet Line of Sight Diagram and Trash Enclosure Elevations, prepared by Construction Options and AGA Architectural Design Inc., dated October 4, 2008, date stamp received January 21, 2009.
- C. Photometrics Plan, prepared by Construction Options and AGA Architectural Design Inc., dated October 28, 2008, date stamp received January 21, 2009.
- D. Proposed Grading Plan, prepared by Bonestroo, last revised October 27, 2008, date stamp received January 21, 2009.
- E. Demolition and Tree Removal Plan, prepared by Bonestroo, last revised October 27, 2008, date stamp received January 21, 2009.
- F. Rooftop screening manufacturer's cut sheets, prepared by the Animal Hospital, not dated, date stamp received January 21, 2009.
- G. Photographs of existing building elevations, signage, and proposed materials/colors, prepared by the Lincolnshire Animal Hospital, not dated, date stamp received January 21, 2009.
- H. Screening Fence Option B (lattice style), prepared by the Animal Hospital, not dated, date stamp received February 18, 2009.
- I. Overall Landscape Plan, prepared by Bonestroo, dated October 27, 2008, date stamp received February 18, 2009.
- J. Landscape Plan-Option 1, prepared by Bonestroo, dated and date stamp received February 18, 2009.
- K. Proposed Geometric Plan-Option 1, prepared by Bonestroo, dated and date stamp received February 18, 2009.
- L. West Elevation Berm Plan, prepared by Bonestroo, dated February 16, 2009, date stamp received February 18, 2009.
- M. Tree Visual, prepared by the Animal Hospital, not dated, date stamp received February 18, 2009.

**Section 5. Superseding Effect.** The specific terms and conditions of this Ordinance shall prevail against other existing ordinances of the Village to the extent of any conflicts. Except for the foregoing limitation, the development of the Subject Property remains subject to all terms and conditions of applicable Codes and Ordinances of the Village of Lincolnshire including, without limitation, zoning ordinances, building codes, subdivision regulations and regulations concerning the construction and design of public improvements.

**Section 6. Penalties.** Any person violating the terms and conditions of this Ordinance shall be subject to a penalty not exceeding Five Hundred Dollars (\$500.00) with each and every day that the violation of the Ordinance is allowed to remain in effect being deemed a complete and separate offense. In addition, the appropriate authorities of the Village may take such other action as they deem proper to enforce the terms and conditions of this Ordinance, including, without limitation, an action in equity to compel compliance with its terms. Any person violating the terms of this Ordinance shall be subject, in addition to the foregoing penalties, to the payment of court costs and

reasonable attorneys' fees. This section shall not apply to the Village of Lincolnshire, its officials, agents, or employees.

**Section 7. Enforcement.** The Subject Property shall be made available for inspection by any department of the Village at all reasonable times for compliance with this Ordinance and any other applicable laws or regulations.

**Section 8. Effective Date; Assent.** This Ordinance shall be in full force and effect from and after its passage, approval and publication in pamphlet form as provided by law, provided, however, that this Ordinance shall not take effect until a true and correct copy of this Ordinance is executed by the Animal Hospital, or such other parties in interest as the Village may reasonably identify, consenting to and agreeing to be bound by the terms and conditions of this Ordinance. Delivery to the Village of a copy of this Ordinance, as so executed, shall take place not later than sixty (60) days after the passage and approval of this Ordinance by the Corporate Authorities or within such extension of time as may be granted by the Corporate Authorities by motion.

**PASSED** this 23rd day of February, 2009, by the Corporate Authorities of the Village of Lincolnshire on a roll call vote as follows:

**AYES:** Brandt, McDonough, Saltiel, Walder, Walrath

**NAYS:** Servi

**ABSTAIN:** None

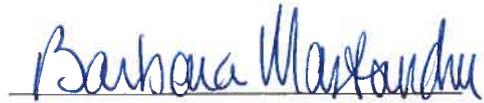
**ABSENT:** None

**APPROVED** this 23rd day of February, 2009.



Brett Blomberg, Mayor

**ATTEST:**



Barbara Mastandrea, Village Clerk

offense. In addition, the appropriate authorities of the Village may take such other action as they deem proper to enforce the terms and conditions of this Ordinance, including, without limitation, an action in equity to compel compliance with its terms. That any person violating the terms of this Ordinance shall be subject, in addition to the foregoing penalties, to the payment of court costs and reasonable attorneys' fees.

**SECTION 7:** This Ordinance shall be in full force and effect from and after its passage, approval and publication in pamphlet form as provided by law. Provided, however, that this Ordinance shall not take effect until a true and correct copy of this Ordinance is executed by the Owners of the Subject property or such other parties in interest consenting to and agreeing to be bound by the terms and conditions contained within this Ordinance. The conditions, terms, restrictions, rights, benefits and privileges set forth in this Ordinance shall be binding and inure to the benefit of the parties hereto and their respective successors, assigns, and legal representatives.

**PASSED and APPROVED** this 13th day of May, 1996.

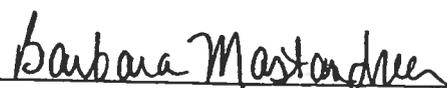
**AYES:** Angonese, Blomberg, Calef, Heisler, Serauskas

**NAYS:** None.

**ABSENT:** Conatser

  
\_\_\_\_\_  
BARBARA LaPIANA, Mayor

**ATTEST:**

  
\_\_\_\_\_  
BARBARA MASTANDREA, Village Clerk

**TITLE: 6**  
**CHAPTER 6: Business Districts**  
**ARTICLE: C, E Small Scale Office District**



**Sections:**

- 6-6C-1: Intent and Scope of Regulations
- 6-6C-2: Uses
- 6-6C-3: Lot Sizes
- 6-6C-4: Building Setbacks
- 6-6C-5: Building Height
- 6-6C-6: Floor Area Ratio (FAR)
- 6-6C-7: Signs
- 6-6C-8: Off-Street Parking and Loading
- 6-6C-9: Landscaping

**6-6C-1: Intent and Scope of Regulations**

The E District is intended to provide low density office and service uses to serve as transitional areas between residential areas and more intense commercial sectors of Lincolnshire. This district is characterized by lands developed in tranquil residential-like settings as opposed to more intensely developed commercial centers.

**6-6C-2: Uses**

Uses permitted in the E Small Scale Office District are identified in the table below:

<b>Uses</b>	<b>P = Permitted</b>	<b>SU = Special Use</b>
Animal Clinic/Hospital		SU
Assembly Uses		SU
Banks and financial institutions with drive-thru facilities		SU
Banks and financial institutions, without drive-thru facilities	P	
Day care centers		SU
Educational institution, private		SU
Government Buildings		SU
Hotel		SU
Memorial Assembly Facility, as regulated in Section 6-3-5 of this Title		SU
Office, business and professional	P	
Physician's office	P	
Planned Unit Development (PUD), as regulated in Section 6-14-12 of this Title		SU
Recreation facility, private		SU
Any other similar use not specifically permitted in this Chapter, but which has substantially similar impacts on public services, traffic, parking and property values as the uses expressly permitted herein, is consistent with the trend in development within the District.		P

**6-6C-3: Lot Sizes**

<b>Uses</b>	<b>Minimum Lot Area</b>	<b>Minimum Lot Width</b>
Permitted Uses	30,000 sq. ft.	125 ft.
Animal clinic/hospital	30,000 sq. ft.	130 ft.
Assembly Uses	80,000 sq. ft.	150 ft.
Banks and financial institutions with drive-thru facilities	60,000 sq. ft.	150 ft.
Private recreation facility	40,000 sq. ft.	150 ft.
Planned Unit Development (PUD)	By Village Board	By Village Board
Special Uses, all other	30,000 sq. ft.	150 ft.

**6-6C-4: Building Setbacks**

<b>Uses</b>	<b>Front</b>	<b>Side</b>	<b>Corner Side</b>	<b>Rear</b>
Permitted Uses	35 ft.	20 ft.	35 ft.	30 ft.
Special Uses	35 ft.	20 ft.	35 ft.	30 ft.
Planned Unit Development (PUD)	By Village Board			

Where a side and/or rear yard abuts any residential zoning district, excluding the R5 District, a transitional yard measuring twice the minimum yard requirement shall be required. Landscaping or fence screening a minimum of seventy-five percent (75%) opacity shall be provided within such transitional yards. Transitional yards shall not contain any off-street parking or other structures, except driveways, sidewalks, and landscaping.

**6-6C-5: Building Height**

- A. The maximum building height shall be three and one-half (3-1/2) stories or forty two feet (42') including rooftop equipment.
- B. Assembly uses, government buildings and educational institutions may be erected to a maximum building height of 60 feet. The minimum yard requirements of Section 6-6C-5(A) shall be increased one (1) foot per each foot of additional building height above the limit for this district.

**6-6C-6: Floor Area Ratio (FAR)**

The maximum allowable floor area ratio (FAR) shall be 0.36.

**6-6C-7: Signs**

Signs shall be subject to the regulations contained in Title 12 of this Code.

**6-6C-8: Off-Street Parking and Loading**

Off-street parking and loading facilities shall be provided as required in Chapter 11 of this Title.

**6-6B-9: Landscaping**

Landscaping shall be subject to the regulations contained in Title 13 of this Code.

## **TITLE 6: Zoning**

### **CHAPTER 11: Off-Street Parking and Loading**

#### **Sections:**

- 6-11-1: General Requirements**
- 6-11-2: Off-Street Parking Facilities**
- 6-11-3: Off-Street Loading Facilities**

#### **6-11-1: General Requirements**

- A. General Applicability: Off-street parking and loading facilities for all existing and new structures and uses of land within the Village of Lincolnshire shall be in accordance with the provisions of this Chapter.
- B. Increase in Intensity: Whenever the intensity of use of any structure, or premises is increased through the addition of dwelling units, gross floor area, seating capacity, or other units of measurement specified herein for required parking or loading facilities, parking and loading facilities shall be required for such increases in intensity.
- C. Change in Use: Whenever a use existing on the effective date of this Chapter is changed to a new use, parking or loading facilities shall be provided as required herein for such new use.
- D. Responsibility: The duty to provide and maintain off-street parking spaces and/or loading facilities shall be the joint and several responsibility of the operator and/or owner of the use and/or owner of the land for which off-street parking spaces and/or loading facilities are required to be provided and maintained hereunder.
- E. Design Plan: Parking and loading facilities shall be illustrated on a site plan to be submitted with all applications for Building Permits or Certificates of Occupancy in accordance with the provisions of this Chapter.
- F. Snow Removal: Accommodations shall be made for the storage and/or removal of snow from all parking and loading facilities. Areas for snow storage shall be designated reasonably close to drains or catch basins. Snow storage within landscaped areas should be avoided to prevent damage to plant material.

#### **6-11-2: Off-Street Parking Facilities:**

- A. General Requirements
  - 1. Use: Required off-street parking facilities shall be solely for the parking of vehicles used for the transportation of occupants, patrons, employees or materials of the uses to which they are accessory. Each required parking space shall be kept available at all times for parking of such vehicles. No required parking space shall be rented, leased or used for any purpose other than that for which said space is required.
  - 2. Access: Off-street parking facilities shall be designed and located to provide appropriate means of vehicular access to adjacent streets or alley ways in a manner

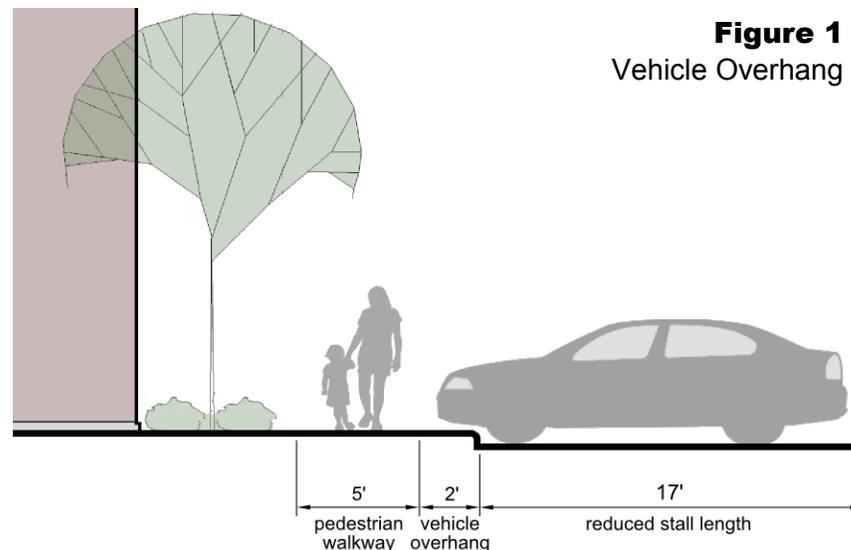
which will least interfere with traffic movements. Parking spaces shall open directly upon an aisle or driveway of such width and designed to provide safe and efficient means of vehicular access to such parking space at all times.

3. Computation: When the number of parking spaces required herein results in a fractional space, any fraction shall require one (1) additional parking space. Parking spaces required on a square footage basis shall be based on the gross square footage of the structure/leasable space. Parking spaces required on an employee basis shall be based on the maximum number of employees on duty or residing on the premises at any one time.
4. Shared Parking Facilities: Parking spaces required for separate structures and uses may be provided collectively on the same lot, provided use of such spaces shall not occur at the same time based on the operations of the uses they are serving. The minimum number of required parking spaces shall be established by the primary use or the highest parking generating use, whichever is more.
5. Land Banking: The Zoning Administrator may authorize a reduction in the total number of off-street parking spaces required herein, subject to the following:
  - a. No more than 50% of the required parking spaces shall be landbanked.
  - b. Prior to authorization of landbanked spaces, the lot owner or tenant must demonstrate that required parking spaces are excessive as applied to the use of the zoning lot, including but not limited to employee counts, lack of public customers, or similar scenarios.
  - c. Every request for landbanking of required parking spaces shall be accompanied by a detailed parking plan identifying the area(s) reserved for future parking and the landscape treatment of such open space.
  - d. The property owner shall file with the Zoning Administrator his/her unconditional agreement in form and substance satisfactory to the Village Attorney that the area(s) reserved for future parking shall be maintained as landscaped open space until and unless required to be used for off-street parking in compliance with this Chapter. Such agreement shall be recorded with the Lake County Recorder's Office.
  - e. The Zoning Administrator, in his/her sole discretion, shall have the authority to require the property owner or successor, at any time, to increase the number of parking spaces required by this Chapter.

**B. Location:**

1. All parking facilities shall be located in the same zoning lot as the structure or use to which they serve. Parking facilities of ten (10) or more parking spaces may be located on a separate lot provided said parking spaces are located within the development in which such parking spaces are serving.
2. Parking facilities solely for employees, may be located on a separate lot provided no such parking spaces shall be located in excess of six hundred feet (600') measured along a paved pedestrian circulation route to the nearest building entrance.

3. Residential zoning: Parking facilities containing three or more spaces shall not be located in a Front, Side, or Rear Setback, as defined in Chapter 2 of this Title, except when a garage structure is located within the Rear Setback. Surfaced driveways may be used as parking spaces in addition to the requirements herein.
  4. All Other Zoning Districts: Required parking spaces shall not be located in a Front or Corner Side Yard, as defined in Chapter 2 of this Title, and shall be located a minimum of twenty five (25) feet from the property line of any adjoining residential zoning district, except as permitted in Section 6-8-11(B) of this Title. Required parking spaces may be located in an interior side yard or rear yard in all non-residential zoning districts, provided in the O/I districts a fully landscaped and maintained strip of at least fifteen feet (15') in the O/Ia and O/Ib subdistricts or eight feet (8') in the O/Ic and O/Id subdistricts is installed and maintained continuously along the perimeter of the applicable rear and interior side yards (excluding driveway or sidewalk entrances, or railroad track frontage).
- C. Size: Every parking space shall conform to the parking dimensions identified on the Off-street Parking Chart found at the end of this Chapter, exclusive of access drive aisles, ramps, etc., and have a minimum vertical clearance of seven (7) feet. For parking spaces adjacent to a curb, the parking space length shall be shortened by two (2) feet to provide sufficient vehicle overhang (see Figure 1). For parking spaces where vehicle overhang is adjacent to a pedestrian walkway, the walkway width shall be a minimum of seven (7) feet to provide unobstructed pedestrian access (see Figure 1).



D. Design and Maintenance:

1. Surfacing:

- a. Single-Family Residential: Off-street parking facilities accessory to single-family residential (attached or detached) shall be paved or otherwise surfaced with an all-weather dustless material. The portion of the driveway connecting from the curb line to the property line shall be paved with concrete, asphaltic materials or permanent materials, in accordance with Village Codes.

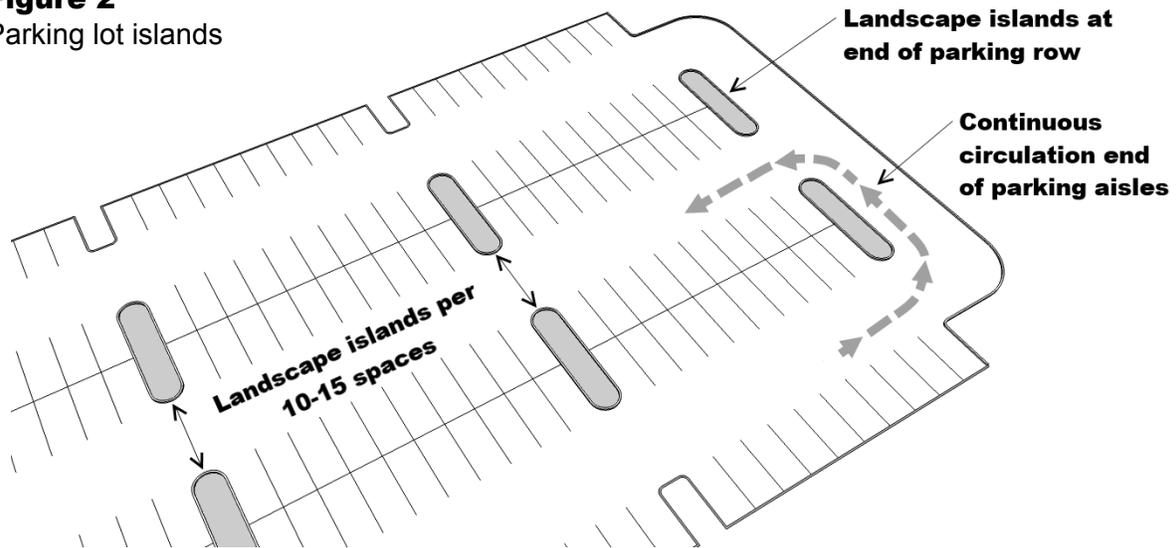
- b. All Other Uses: The minimum required off-street parking facilities, spaces and access drives shall be improved with a compacted macadam base, or equal, not less than six inches (6") thick, surfaced with asphaltic concrete or comparable all-weather, dustless material. Any portion of a parking facility containing parking spaces in excess of 10% of the minimum number required herein shall implement innovative stormwater management features (commonly identified as Best Management Practice techniques, BMP), including but not limited to alternate paving surface materials, use of light colored concrete, recycled asphalt permeable pavement materials, bioretention areas, swales, or similar techniques approved by the Village of Lincolnshire; unless it can be demonstrated no further increases in impervious surface coverage will be produced.
2. Drainage: All parking facilities shall be designed to prevent the drainage of stormwater onto adjoining property and to effectively manage stormwater and snowmelt on-site in accordance with Village Codes and the Lake County Watershed Development Ordinance (WDO), including the use of stormwater BMP techniques.
3. Screening and Landscaping: Parking facilities shall be landscaped in accordance with Section 13-2-4 of Title 13.
4. Illumination: Illumination of off-street parking facilities shall be in accordance with Section 6-3-15 of this Title. All lighting should create an identity for parking facilities and be appropriately designed for the location, context, and scale of the areas being illuminated.
5. Curbing: All parking facilities, drives, access roadways, and landscape islands must be bordered by a six (6) inch high concrete barrier curb. Such curbing shall not be required if essential to the design and implementation of stormwater BMP techniques, as approved by the Village and Lake County Stormwater Management Commission (SMC).

E. Parking Lot Standards:

1. Parking facilities containing twenty (20) spaces or more shall have one (1) landscape island for every ten (10) parking spaces (see Figure 2). Landscape islands shall be a minimum width of nine (9) feet and a minimum length of nineteen (19) feet. Landscaping shall be in accordance with Section 13-2-4 of Title 13.
2. Landscape islands shall be located at the end of every parking row and shall be landscaped in accordance with Section 13-2-4 of Title 13 (see Figure 2).
3. Parking facilities containing two (2) or more parking aisles shall provide continuous vehicular circulation at each end of the parking aisles and shall be landscaped in accordance with Section 13-2-4 of Title 13 (see Figure 2).
4. A minimum eight (8) foot landscaped area shall be required between all building façades and parking facilities, including parking spaces and circulation drives, and shall be landscaped in accordance with Section 13-2-4 of Title 13.
5. Parking facilities containing forty (40) parking spaces or more shall have one (1) landscape island for every fifteen (15) parking spaces (see Figure 2). Landscape islands shall be a minimum width of nine (9) feet and a minimum length of nineteen

(19) feet. Landscaping shall be in accordance with Chapter 2, Landscaping, of Title 13.

**Figure 2**  
Parking lot islands



F. Accessible (ADA) Parking Spaces: Off-street parking spaces required herein shall comply with the 2010 ADA Standards for Accessible Design and Illinois Accessibility Code, except for single-family dwellings, which shall be in accordance with the following requirements:

1. Required Accessible Spaces: ADA accessible parking spaces shall be included in the total number of required parking spaces as required in following table:

ACCESSIBLE PARKING SPACES	
Total Number of Parking Spaces Provided in Parking Facility	Minimum Number of Required Accessible Parking Spaces
1 to 25	1
26 to 50	2
51 to 75	3
76 to 100	4
101 to 150	5
151 to 200	6
201 to 300	7
301 to 400	8
401 to 500	9
501 to 1,000	2% of total
1001 and over	20, plus 1 for each 100, or fraction thereof, over 1,000

2. Van Parking Spaces: For every six (6) or fraction of six (6) accessible parking spaces required by (B)(1) above, at least one (1) accessible space shall be a van parking space.

- G. Specific Requirements: Off-street parking spaces shall be provided in accordance with the minimum requirements listed below. The format in identifying the minimum number of required spaces is as follows:

{Number of spaces} 10/1,000 {Per square footage, units, seats, etc.}

Unspecified Use: When the use of a structure or lot is known, but not identified in the following parking table, the minimum number of parking spaces required shall be determined based on a reasonably comparable and/or similar use identified.

SEE OFF-STREET PARKING TABLE ON NEXT PAGE

<b>Use</b>	<b>Minimum Number of Required Spaces</b>
<b>Residential</b>	
Single-family detached dwelling	2/dwelling
Single-family attached dwelling, townhome	2.5/dwelling
Single-family attached dwelling, duplex	2.5/dwelling
Continuing care retirement campus (CCRC)	1/independent living unit + 1/employee + 4% of the total required parking for visitor parking
Multi-family dwelling/condominium	1.5/efficiency studio and 1 bedroom units 2.5/2 or more bedroom units
<b>Recreational</b>	
Bowling alley	4/lane + 12/1,000 sq. ft. of lounge or dining area
Golf course	80/9 holes
Park and playground	None for first acre. 5/1 to 5 acres + 5 for each acre in excess of 5 acres + 1/5 persons of design capacity of any structure or facility
Forest preserve/nature preserve	By Village Board
Personal fitness/instruction studio	1/4 persons based on maximum occupancy + 1/employee
Private or public recreation facility and community buildings	1/3 persons based on maximum occupancy + 1/employee + 1/100 sq. ft. of water surface area for any swimming pool facilities
<b>Assembly Uses</b>	
Art galleries, libraries and museums	1/500 SF
Exhibition and convention facilities	1/100 SF
Meeting and events center	1/4 persons at max occupancy
Private clubs, fraternal lodges	1/3 persons at maximum occupancy
Religious institutions	1/4 seats
Theater	1/3 seats

OFF-STREET PARKING TABLE CONTINUED ON NEXT PAGE

Use	Minimum Number of Required Spaces
<b>Institutional</b>	
Child day care center	1/500 SF
College/university or vocational, private educational institution, business or trade school	1/each employee + 1/3 students
Elementary, junior high school	1/each employee
High school	1 each employee + 1/4 students aged 16 years or older
Hospital	1/500 SF + 0.5/ employee
Municipal and government buildings	1/250 SF
Nursing/rest homes	1/1,000 SF
Urgent medical care center/clinic	1/200 SF + 1/employee, including doctors
<b>Industrial</b>	
Cargo and freight terminals	
Cartage and express facilities	
Laboratories or research and development facilities	
Light manufacturing, fabricating, processing, assembly, repairing, storing, servicing or testing of materials, goods or products	1/250 SF of Office Space + 1/1,000 SF of Manufacturing Space + 1/2,000 SF of Warehouse Space
Research laboratories	
Warehouse and storage, distribution facilities	

OFF-STREET PARKING TABLE CONTINUED ON NEXT PAGE

<b>Use</b>	<b>Minimum Number of Required Spaces</b>
<b>Commercial</b>	
Automotive repair facility, service facility	0.5/employee + 2/service bay
Banks and financial Institutions	1/250 SF + 2 stacking spaces/ATM + 3 stacking spaces/drive-up service window
Car rental facilities	1/400 SF of gross leasable area + sufficient parking for rental cars
Catering establishment	
Office, business or professional	
Printing, publishing, blueprinting and photocopying establishments	1/250 SF
Radio and television stations	
Day spa	1/150 SF of gross leasable area
Dispensary organization	1/175 SF of office space + 1/2,000 SF of warehouse/storage space
Hotels	1/unit + 0.5/employee + 1/50 SF of lounge or dining area
Convenience store	
Drinking establishment	
Food store, including candy/confectionery stores, dairy products and bakeries	
Funeral home	
General retail and service use	
Pharmacy/drug store	1/200 SF
Liquor sales, package goods	
Musical instrument sales and repair shop	
Motor vehicle sales	
Pet shop	
Shopping center	
Performing and visual arts studios	1/employee + 1/every 3 students
Pet daycare, grooming and training	1/500 SF
Physician's office	1/employee + 2/examination room
Restaurants (fast food with drive-thru)	10/1,000 SF + 4 stacking spaces/drive-up service window + 2 stacking spaces for each additional ordering station
Restaurants (fast food)	13/1,000 SF
Restaurants (table service, convenience dining)	12/1,000 SF
Salon (hair, nails, makeup), barber shop	1/employee + 2/chair

Tutoring centers

1/employee + 1/every 3 students

Vehicle fueling station

1/fueling pump + 1/employee + 1/500 SF of convenience store area

END OF OFF-STREET PARKING TABLE

Off-Street Parking Chart

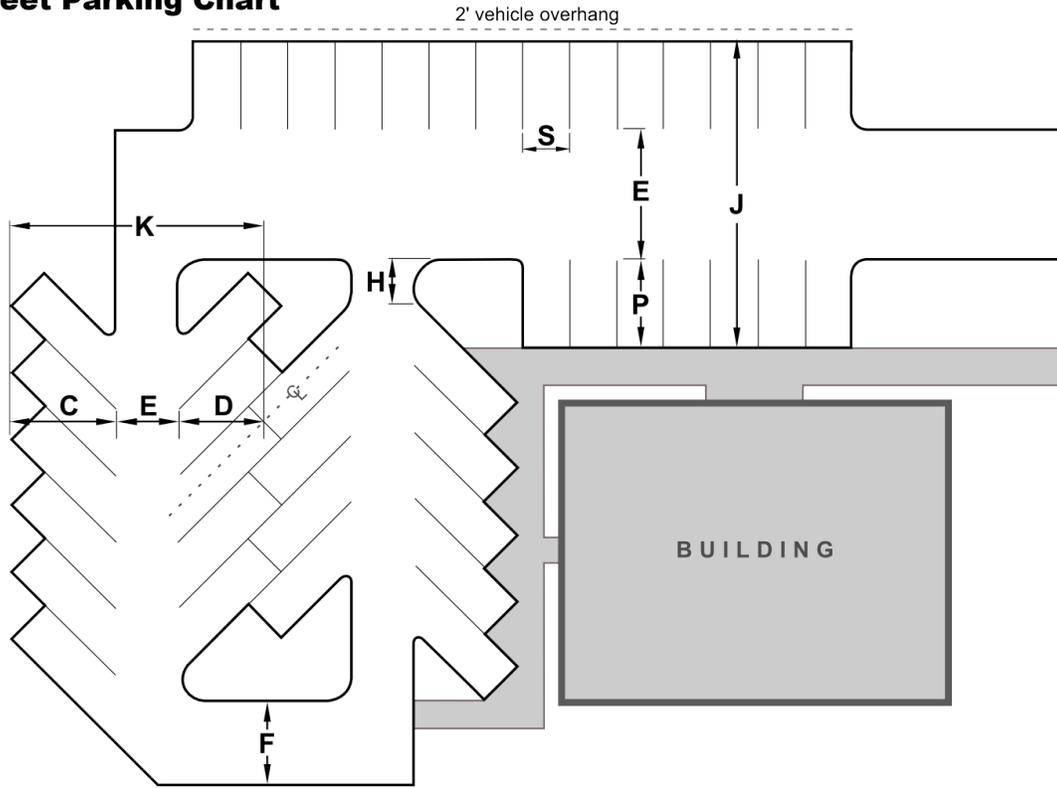


TABLE OF DIMENSIONS (IN FEET)

	S	P	C*	D	E	F	H	J	K*
0°	8.0	22.0	8.0	8.0	12.0			28.0	8.0
	8.0	24.0	8.0		11.0			27.0	8.0
	8.0	26.0	8.0	8.0	10.0			26.0	8.0
30°	8.5	19.0	16.9	13.2	10.0		6.0	43.8	40.1
	9.0	19.0	17.3	13.4	9.0		6.0	43.6	39.7
45°	8.5	19.0	19.4	16.4	10.8	15.5	9.5	49.6	46.6
	9.0	19.0	19.8	16.6	10.0	16.0	9.0	49.6	46.4
	9.5	19.0	20.1	16.7	9.5	16.5	8.5	49.7	46.3
	10.0	19.0	20.4	16.9	9.0	17.0	8.0	49.8	46.3
60°	8.5	19.0	20.8	18.7	18.0	15.0	12.5	59.6	57.5
	9.0	19.0	21.0	18.8	17.0	15.0	12.0	59.0	56.8
	9.5	19.0	21.3	18.9	15.5	15.0	11.5	58.1	55.7
	10.0	19.0	21.5	19.0	14.0	15.0	11.0	57.0	54.5
90°	8.5	19.0	19.0	19.0	27.0	20.0		65.0	65.0
	9.0	19.0	19.0	19.0	25.0	20.0		63.0	63.0
	9.5	19.0	19.0	19.0	24.0	20.0		63.0	62.0
	10.0	19.0	19.0	19.0	23.0	20.0		61.0	61.0

**Notes:**

$$J = C + E + C$$

$$K = C + E + D$$

\*Except as shorten for 2 ft. vehicle overhang per Section 6-11-2(A)(3).

### **6-11-3: Off-Street Loading Facilities**

#### **A. General Requirements**

1. **Location:** All required loading berths (docks) shall be located on the same zoning lot as the structure or use to be served. No loading berth shall be located within twenty five (25) feet of the nearest point of intersection of any two (2) public or private streets; nor shall it be located in a required front or side yard.
2. **Design**
  - a. **Maneuvering:** All loading berths shall be designed so that all maneuvering and standing of vehicles shall be performed on the zoning lot, except in parking lots with a capacity of less than fifty (50) cars in the O/lc, O/ld and M Districts.
  - b. **Screening:** All loading berths shall be fully screened from view of any public or private street and any adjacent property zoned for residential use. Screening materials shall consist of landscaping, walls, berms or any other permanent material which will provide continuous screening throughout the entire year.
  - c. **Access:** All loading berths shall be accessed by appropriate means of vehicular access to a street, alley, or circulation drives which least interferes with traffic movements.
3. **Surfacing:** All open loading berths shall be improved with a compacted macadam base not less than seven inches (7") thick, or equal, surfaced with not less than two inches (2") of asphaltic concrete or comparable all-weather, dustless material. The use of alternate paving surface materials, including but not limited to the use of light colored concrete, recycled asphalt, and permeable pavements such as porous pavement and alternate pavers is encouraged.
4. **Repair and Service:** Storage of any kind shall be prohibited, unless such loading berth is located entirely within an enclosed structure. No vehicle repair work or service of any kind shall be permitted within any loading berth.
5. **Space Allocated:** Space allocated to a required loading berth shall not be used to satisfy off-street parking space requirements.

- B. Specific Requirements:** Off-street loading facilities shall be provided in accordance with the following minimum requirements:

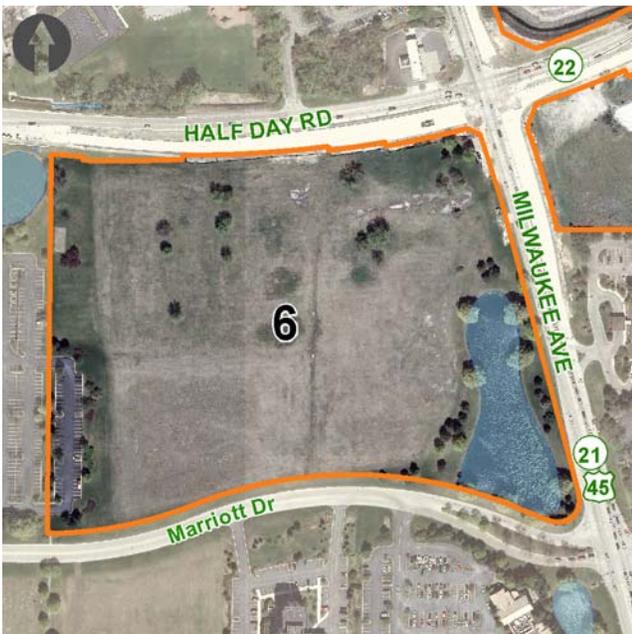
SEE OFF-STREET LOADING TABLE ON NEXT PAGE

Use	Gross Floor Area (Square Feet)	Number of Loading Facilities	Loading Berth Size
Office, business or professional	Less than 10,000	1 loading/unloading area	N/A
	10,001 – 100,000	1 loading berth	12' x 55'
	100,001 – 500,000	2 loading berths + 1 loading berth per each additional 500,000 SF or fraction in excess of 500,000 SF	12' x 55'
Industrial and manufacturing	Less than 7,000	1 loading/unloading area	N/A
	7,000 – 40,000	1 loading berth	12' x 55'
	40,001 – 100,000	2 loading berths + 1 loading berth per each additional 100,000 SF or fraction thereof	12' x 55'
Warehouse	5,000 – 40,000	1 loading berth	12' x 55'
	40,000 – 100,000	2 loading berths + 1 loading berth per each additional 100,000 SF or fraction thereof	12' x 65'
	Less than 5,000	1 loading/unloading area	N/A
Commercial	7,000 – 20,000	1 loading berth	12' x 30'
	20,001 – 35,000	2 loading berths	12' x 30'
	35,001 – 60,000	2 loading berths	12' x 55'
	60,001 – 100,000	3 loading berths	12' x 55'
	100,001 +	3 loading berths + 1 loading berth per each 200,000 SF or fraction thereof	12' x 55'

## VILLAGE CORE SECTOR

CH  
3C**Land Use Recommendation: Planned Commercial Development**

Although this planning area is located within the Lincolnshire Corporate Center and currently zoned O/Ia – Office/Industrial Zoning District, the highly visible location at the Milwaukee Avenue and Half Day Road intersection (situated diagonally from the Village’s Downtown Redevelopment Area) makes it viable to support commercial land uses. The land use classification of “Planned Commercial Development” is recommended for this area to highlight the feasibility of the highest and best land use for this critical area. Any such commercial development must be executed in a unified manner with unique architectural character and detail to complement the commercial character outlined for Critical Area 4.



Primary vehicular access should be limited to Marriott Drive and align with the existing driveway curb-cuts of Walker Bros. Original Pancake House restaurant and the Spring Hill Suites hotel on the south side of Marriott Drive. Limited right-in/right-out access could be accommodated off Half Day Road based on site design and authorization from IDOT. Pedestrian paths should also be incorporated along the perimeter of the planning area and incorporated into the development site design to provide alternative transportation means and recreational amenity to village residents and employees in the nearby corporate center.

Expansion of the stormwater detention facilities may be necessary depending on the proposed development of the planning area and should be integrated as an extension of the existing pond located along Milwaukee Avenue. The existing stormwater pond has experienced significant shoreline erosion and any future improvements to the site should require restoration to the banks, including the introduction of native and aquatic vegetation.

**Critical Area 7**

Critical Area 7 consists of a single parcel encompassing slightly under one acre within the Village’s corporate boundary, located at the northeast corner of Half Day Road and Hotz Road. Single-family residential is located north and west of the area, with the neighboring Lincolnshire Animal Hospital to the east. The area is currently vacant and is heavily wooded, with elements of a wetland present.

**Land Use Recommendation: Professional Office**

Although quite small in land area, this site has been identified as a result of its high level of visibility within the Half Day Road corridor and the sensitivity of future land uses to the adjacent properties. The heavily wooded nature and wetland qualities further contribute to the difficulty of appropriate land use development for this planning area. Residential land use, regardless of its form, is not suitable and should be discouraged due to the area’s Half Day Road frontage and lack of opportunities for the incorporation of proper buffer yards as a result of the land area’s minimal size. As a result, this area has been placed in the “Professional Office” land use classification to accommodate small-scale office uses consistent with the neighboring Lincolnshire Animal Hospital to the east. As any form of development of this planning area will cause some impact to the surrounding residences, future development should be limited to a single-story structure, with sufficient landscape screening along the northern boundary of the area to provide a natural buffer to mitigate any such impacts. Architectural design consistent with that of the prevalent residential character surrounding this area is strongly encouraged to visually unify by way of architectural elements and features, as well as through the use of high-quality building materials. Furthermore, site design should include building facades oriented to the Half Day Road frontage and

rear parking areas in a manner consistent with traditional downtown development.

Ingress and egress to the area should not be permitted via Half Day Road, and should be limited to Hotz Road. Tree preservation should be encouraged along the northern portion of the planning area to serve as a naturalized buffer from the adjacent single-family residences to the north. The presence of wetlands at the southeast corner of the area should be preserved and restored through the incorporation of native and aquatic vegetation. In order to minimize the loss of trees and achieve sufficient stormwater detention as a result of developing this area, underground stormwater detention facilities should be considered.



VILLAGE OF LINCOLNSHIRE  
LAKE COUNTY, ILLINOIS

ORDINANCE NO. \_\_\_\_\_

AN ORDINANCE REZONING THE PROPERTY  
COMMONLY KNOWN AS 2 HOTZ ROAD  
(LINCOLNSHIRE ANIMAL HOSPITAL)

**WHEREAS**, application has been made by Lincolnshire Animal Hospital Limited, an Illinois corporation (the “Applicant”), for the rezoning of the property commonly known as 2 Hotz Road, which is legally described as set forth in Exhibit A (the “Property”), from the R1 Single-Family Residence District to the E Small Scale Office District (“Rezoning Application”); and

**WHEREAS**, the Rezoning Application is part of the construction of an expanded parking area for the Lincolnshire Animal Hospital, which is located at 420 Half Day Road on the lot adjoining the Property directly to the east; and

**WHEREAS**, the Village Board of Trustees referred the Rezoning Application for the Property to the Zoning Board (“Zoning Board”) on March 11, 2019; and

**WHEREAS**, following due publication of notice in the Lincolnshire Review on April 3, 2019, and all other personal notice required by law, a public hearing concerning the Rezoning Application was convened and finally adjourned by the Zoning Board on April 18, 2019; and

**WHEREAS**, the Zoning Board has submitted to the Mayor and Board of Trustees its findings of fact and recommendation related to the Rezoning Application; and

**WHEREAS**, following deliberation and consideration on the evidence and testimony elicited during the public hearing and the findings of fact and recommendation of the Zoning Board, the Village Board desires to grant the Applicant’s Rezoning Application to rezone the Property from the R1 Single-Family Residence District to the E Small Scale Office District.

**NOW, THEREFORE, BE IT ORDAINED** by the Mayor and Board of Trustees of the Village of Lincolnshire, Lake County, Illinois, in the exercise of its home rule powers, as follows:

**Section 1. Recitals.**

A. The Corporate Authorities hereby confirm the truth and validity of the representations and recitations set forth in the foregoing recitals and do further acknowledge that they are material to this Ordinance. Such recitals are hereby incorporated into and made a part of this Ordinance as though they were fully set forth herein.

B. The findings of the Zoning Board of the Village of Lincolnshire, attached hereto as **Exhibit B**, are herein incorporated by reference as the findings of the Village Board to the same effect as if fully recited herein at length. All references in the Zoning Board's findings are made the references of the Mayor and Board of Trustees of the Village of Lincolnshire.

**Section 2. Rezoning.** The Property is hereby rezoned from the R1 Single-Family Residence District to the E Small Scale Office District. The Mayor and Board of Trustees hereby direct the Zoning Administrator to cause the official zoning map of the Village to be so amended.

**Section 3. Consents.** By signing the acknowledgement and accepting the terms and conditions of this Ordinance, the Applicant knowingly and voluntarily waives, for itself and its successors and assigns, any and all claims against the Village, its elected and appointed officers, employees and agents, of whatever kind, nature and amount, resulting from the limitations on the development of the Property applied by this Ordinance. Notwithstanding the foregoing, nothing in this Ordinance shall be deemed to waive the ability for the Applicant, or its successors and assigns, to petition the Village, from time to time, for other and further zoning and subdivision approvals.

**Section 4. Superseding Effect.** The specific terms and conditions of this Ordinance shall prevail against other existing ordinances of the Village to the extent of any conflicts. Except for the foregoing limitation, the development of the Property remains subject to all terms and conditions of Applicable Codes and Ordinances of the Village of Lincolnshire including, without limitation, zoning ordinances, building codes, subdivision regulations and regulations concerning the construction and design of public improvements.

**Section 5. Penalties.** Any person violating the terms and conditions of this Ordinance shall be subject to a penalty not exceeding Five Hundred Dollars (\$500.00) with each and every day that the violation of the Ordinance is allowed to remain in effect being deemed a complete and separate offense. In addition, the appropriate authorities of the Village may take such other action as they deem proper to enforce the terms and conditions of this Ordinance, including, without limitation, an action in equity to compel compliance with its terms. Any person violating the terms of this Ordinance shall be subject, in addition to the foregoing penalties, to the payment of court costs and reasonable attorneys' fees. This section shall not apply to the Village of Lincolnshire, its officials, agents or employees.

**Section 6. Enforcement.** The Property shall be made available for inspection by any department of the Village at all reasonable times for compliance with this Ordinance and any other applicable laws or regulations.

**Section 7. Effective Date; Assent.** This Ordinance shall be in full force and effect from and after its passage, approval and publication in pamphlet form as provided by law, provided, however, that the Rezoning shall not take effect until a true and correct copy of this Ordinance is executed by the Applicant, or such other parties in interest as the Village may reasonably identify, consenting to and agreeing to be bound by the terms and conditions of this Ordinance. Delivery to the Village of a copy of this Ordinance, as so executed, shall take place not later than sixty (60) days after the passage and approval of this Ordinance by the Corporate

Authorities or within such extension of time as may be granted by the Corporate Authorities by motion.

PASSED this \_\_\_\_th day of \_\_\_\_\_, 2019, by the Corporate Authorities of the Village of Lincolnshire on a roll call vote as follows:

AYES:

NAYS:

ABSTAIN:

ABSENT:

APPROVED this \_\_\_\_th day of \_\_\_\_\_, 2019.

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Elizabeth J. Brandt, Mayor

ATTEST:

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Barbara Mastandrea, Village Clerk

Published by me in pamphlet form  
this \_\_\_\_ day of \_\_\_\_\_, 2019.

ACKNOWLEDGED and ACCEPTED  
this \_\_\_\_ day of \_\_\_\_\_, 2019.

**LINCOLNSHIRE ANIMAL HOSPITAL LIMITED**

By: \_\_\_\_\_

Name: \_\_\_\_\_

Its: \_\_\_\_\_

Date of Execution: \_\_\_\_\_

**EXHIBIT A**

**LEGAL DESCRIPTION OF THE PROPERTY**

**EXHIBIT B**

**FINDINGS OF FACT**

VILLAGE OF LINCOLNSHIRE  
LAKE COUNTY, ILLINOIS

ORDINANCE NO. \_\_\_\_\_

AN ORDINANCE GRANTING AN AMENDMENT TO  
A SPECIAL USE AND GRANTING VARIATIONS FOR AN ANIMAL CLINIC  
(LINCOLNSHIRE ANIMAL HOSPITAL)

**WHEREAS**, Lincolnshire Animal Hospital Limited, an Illinois Corporation (“Applicant”), is the owner of that certain property commonly known as 420 Half Day Road, and legally described in **Exhibit A** attached hereto and made a part hereof (the “Subject Property”); and

**WHEREAS**, Ordinance No. 96-1434-18 (the “Special Use Ordinance”) granted a special use to establish and operate an animal hospital in the E Small Scale Office District on the Subject Property; and

**WHEREAS**, the Special Use Ordinance was amended by Ordinance No. 09-3083-06 for the purpose of permitting an expansion of the building and parking areas of the animal hospital, and to permit the construction of a dog run on the Subject Property; and

**WHEREAS**, the Applicant has applied for a major amendment to the Special Use Ordinance to (1) add the property commonly known as 2 Hotz Road, which is legally described in **Exhibit B** attached hereto and made a part hereof (the “Amendment Property”), to the property governed by the Special Use Ordinance; and (2) construct an expanded parking area for the animal hospital on the Amendment Property (collectively, the “Special Use Amendment”); and

**WHEREAS**, the Applicant has applied for variances for the location and fencing of the expanded parking area on the Amendment Property, including (1) a variation from Section 6-11-2(B)(4) of the Lincolnshire Zoning Code to locate parking spaces in the front and corner side yard of the Amendment Property; and (2) a variation from Section 6-15-3(A)(1)(a)(i) to locate a yard fence in the required corner side yard setback of the Amendment Property (collectively, the “Variance Application”); and

**WHEREAS**, the Zoning Board convened a public hearing on the Special Use Amendment and Variance Application on April 18, 2019; and

**WHEREAS**, the aforesaid public hearing was held pursuant to legal notice, including publication in the *Lincolnshire Review* on April 3, 2019, and all persons desiring an opportunity to be heard were given such opportunity at said public hearing; and

**WHEREAS**, the Zoning Board finds that the Special Use Amendment satisfies the standards to qualify for a special use permit set forth in Section 6-14-11 of the Lincolnshire Zoning Code, as demonstrated by the findings of fact attached hereto as part of **Group Exhibit C**; and

**WHEREAS**, the Zoning Board finds that the Variance Application satisfies the standards to qualify for variations set forth in Section 6-14-9 of the Lincolnshire Zoning Code, as demonstrated by the findings of fact attached hereto as part of **Group Exhibit C**; and

**WHEREAS**, the Architectural Review Board (ARB) held a public meeting on April 23, 2019 to consider the site plans for the Special Use Amendment; and

**WHEREAS**, the aforesaid public meeting was held pursuant to legal notice and all persons desiring an opportunity to be heard were given such opportunity at said public meeting; and

**WHEREAS**, the Zoning Board and ARB have heretofore submitted to the Mayor and Board of Trustees their respective findings of fact and recommendations related to the applications heretofore described;

**WHEREAS**, the Corporate Authorities have concluded that the Special Use Amendment and Variance Application, subject to and in conformance with the terms and conditions of this Ordinance, will be beneficial to the Village, will further the development of the Subject Property and the Amendment Property and the orderly development of the Village, and will otherwise enhance and promote the general welfare of the Village and the health, safety and welfare of the residents of the Village.

**NOW, THEREFORE, BE IT ORDAINED** by the Mayor and Board of Trustees of the Village of Lincolnshire, in exercise of its home rule authority, as follows:

**Section 1. Recitals and Findings.**

A. The Parties hereby confirm the truth and validity of the representations and recitations set forth in the foregoing recitals and do further acknowledge that they are material to this Ordinance. Such recitals are hereby incorporated into and made a part of this Ordinance as though they were fully set forth herein. The Parties further agree that this Ordinance shall be liberally construed so that the purpose and intent represented by the recitals shall be accomplished to the greatest extent permitted by law.

B. The Mayor and Board of Trustees have duly considered the findings and recommendations of the Zoning Board and ARB and hereby adopt the findings of the Zoning Board and recommendation of the ARB, attached hereto as **Group Exhibit C**, as the findings of the Corporate Authorities the same as though fully restated herein. All references and findings of the Zoning Board and ARB are hereby made the findings and references of the Mayor and Board of Trustees.

**Section 2. Amendment to Special Use Ordinance.**

**A. Future References.** From and after the effective date of this Ordinance, all references to the Special Use Ordinance shall be deemed to mean the Special Use Ordinance, as amended by Ordinance 09-3083-06 and this Ordinance. Except as modified by this Ordinance, all current provisions of the Special Use Ordinance shall remain in full force and effect.

**B. Special Use Amendment.** Subject to the conditions described in Section 4 below, the Special Use Ordinance is hereby amended as follows:

1. The property to which the Special Use Ordinance applies is hereby amended to include the Amendment Property, commonly known as 2 Hotz Road, and which is legally described on Exhibit B.

2. The Applicant may construct an expanded parking area on the Amendment Property for the animal hospital, with a total of 25 additional parking spaces.

**Section 3. Variations.** Subject to the conditions described in Section 4 below, the Village hereby grants: (1) a variation from Section 6-11-2(B)(4) of the Lincolnshire Zoning Code to locate parking spaces in the front and corner side yard of the Amendment Property; and (2) a variation from Section 6-15-3(A)(3)(a)(i) to locate a yard fence in the required corner side yard setback of the Amendment Property.

**Section 4. Conditions.** The Applicant shall construct the expanded parking area, fence, and related improvements in accordance with the specifications described in the following site plans, all of which shall be attached hereto as **Exhibit D** and incorporated as though fully set forth herein and, except as expressly modified by this Ordinance, all covenants, standards, requirements, designs or specifications in such exhibits shall be binding on the Applicant:

A. Preliminary Improvement Plans, prepared by Spies & Associates, Inc., dated September 6, 2018 and November 1; and

B. Landscape Plans, prepared by Vignocchi, dated March 18, 2019.

C. Lighting Plans, prepared by MGH Engineering, dated March 9, 2019.

D. Preliminary Floor Plan, prepared by RWE Management Company, dated August 30, 2018

**Section 5. Superseding Effect.** The specific terms and conditions of this Ordinance shall prevail against other existing ordinances of the Village to the extent of any conflicts. Except for the foregoing limitation, the development of the Subject Property and the Amendment Property remain subject to all terms and conditions of applicable Codes and Ordinances of the Village of Lincolnshire including, without limitation, zoning

ordinances, building codes, subdivision regulations and regulations concerning the construction and design of public improvements.

**Section 6. Penalties.** Any person violating the terms and conditions of this Ordinance shall be subject to a penalty not exceeding Five Hundred Dollars (\$500.00) with each and every day that the violation of the Ordinance is allowed to remain in effect being deemed a complete and separate offense. In addition, the appropriate authorities of the Village may take such other action as they deem proper to enforce the terms and conditions of this Ordinance, including, without limitation, an action in equity to compel compliance with its terms. Any person violating the terms of this Ordinance shall be subject, in addition to the foregoing penalties, to the payment of court costs and reasonable attorneys' fees. This section shall not apply to the Village of Lincolnshire, its officials, agents or employees.

**Section 7. Enforcement.** The Subject Property and the Amendment Property shall be made available for inspection by any department of the Village at all reasonable times for compliance with this Ordinance and any other applicable laws or regulations.

**Section 8. Effective Date; Assent.** This Ordinance shall be in full force and effect from and after its passage, approval and publication in pamphlet form as provided by law, provided, however, that this Ordinance shall not take effect until a true and correct copy of this Ordinance is executed by the Applicant, or such other parties in interest as the Village may reasonably identify, consenting to and agreeing to be bound by the terms and conditions of this Ordinance. Unless the Applicant delivers to the Village a copy of this Ordinance, as so executed, not later than sixty (60) days after the passage and approval of this Ordinance by the Corporate Authorities, or within such extension of time as may be granted by the Corporate Authorities by motion, this Ordinance shall be null and void and of no further force and effect.

PASSED this \_\_\_\_th day of \_\_\_\_\_, 2019, by the Corporate Authorities of the Village of Lincolnshire on a roll call vote as follows:

AYES:

NAYS:

ABSTAIN:

ABSENT:

APPROVED this \_\_\_\_th day of \_\_\_\_\_, 2019.

\_\_\_\_\_  
Elizabeth J. Brandt, Mayor

ATTEST:

\_\_\_\_\_  
Barbara Mastandrea, Village Clerk

Published by me in pamphlet form  
this \_\_\_\_ day of \_\_\_\_\_, 2019.

ACKNOWLEDGED and ACCEPTED  
this \_\_\_\_ day of \_\_\_\_\_, 2019.

**LINCOLNSHIRE ANIMAL HOSPITAL LIMITED**

By: \_\_\_\_\_

Name: \_\_\_\_\_

Its: \_\_\_\_\_

Date of Execution:\_\_\_\_\_

**EXHIBIT A**

**LEGAL DESCRIPTION OF THE SUBJECT PROPERTY**

**EXHIBIT B**

**LEGAL DESCRIPTION OF THE AMENDMENT PROPERTY**

## **GROUP EXHIBIT C**

- 1. ZONING BOARD FINDINGS OF FACT- SUP AMENDMENT**
- 2. ZONING BOARD FINDINGS OF FACT- VARIANCES**
- 3. ARB FINDINGS AND RECOMMENDATION**

**EXHIBIT D**  
**SITE PLANS**