



AGENDA
ARCHITECTURAL REVIEW BOARD MEETING
Public Meeting Room, Village Hall
Tuesday, June 18, 2019
7:00 p.m.

Reasonable accommodations or auxiliary aids will be provided to enable persons with disabilities to effectively participate in any public meetings. Please contact the Village Administrative Office (847.883.8600) 48 hours in advance if you need any special services or accommodations. The Architectural Review Board will not proceed past 10:30 p.m. unless a motion is made and approved by a majority of the Architectural Review Board members to extend the meeting one-half hour to 11:00 p.m. Any agenda items or other business that are not addressed within this time frame will be continued to the next regularly scheduled Architectural Review Board Meeting.

CALL TO ORDER

1.0 ROLL CALL

2.0 APPROVAL OF MINUTES

- 2.1 Approval of the Minutes of the Architectural Review Board Meeting Held on Tuesday, May 21, 2019

3.0 ITEMS OF GENERAL BUSINESS

- 3.1 Public Hearing regarding Wall Sign Variations to Increase the Sign Face Height from the Maximum Permitted 3' to 4'-3¼" (East Elevation); Increase the Sign Face Height from the Maximum Permitted 3' to 6'-10" and Increase the Sign Letter Height from the Maximum Permitted 2' to 3' (North Elevation); and Provide Internal Illumination through the Face of Individual Letter Sets (Both Elevations) – 350 Knightsbridge Parkway (Knight Bridge Pky, LLC)
- 3.2 Workshop regarding Site Design, Building Elevations, Landscape Plans, Exterior Lighting, Parking, and Exterior Signage for a Proposed Hotel Building – 350 Knightsbridge Parkway (Knight Bridge Pky, LLC)

4.0 UNFINISHED BUSINESS

5.0 NEW BUSINESS

6.0 CITIZEN COMMENTS

7.0 ADJOURNMENT



UNAPPROVED Minutes of the regularly scheduled **ARCHITECTURAL REVIEW BOARD** held on Tuesday, May 21, 2019 in the Public Meeting Room of the Village Hall, One Olde Half Day Road, Lincolnshire, IL

PRESENT: Chair Kennerley and Members Tapia, Baskin, Santosuosso, McCall, and Orzeske

ABSENT: Trustee-Liaison Hancock

ALSO PRESENT: Ben Gilbertson, Assistant Village Manager/Director of Community and Economic Development (AVM/CED)

CALL TO ORDER

1.0 ROLL CALL

The roll was called by **AVM/CED Gilbertson**; **Chair Kennerley** declared a quorum to be present.

2.0 APPROVAL OF MINUTES

2.1 Approval of the minutes of the Architectural Review Board (ARB) held on Tuesday, April 23, 2019.

Member Tapia moved and **Member Santosuosso** seconded the motion to approve the minutes as amended for the April 23, 2019 Architectural Review Board.

The motion passed unanimously by voice vote.

3.0 ITEMS OF GENERAL BUSINESS

3.1 Recommendation of Approval to the Village Board for a Major Amendment to the Rivershire Planned Unit Development (PUD) to Install a Yard Fence along Riverside Road.

AVM/CED Gilbertson summarized the request before the ARB, stating the Rivershire HOA seeks to replace the 6 foot-tall fence along Riverside Road with an 8 foot-tall fence approximately 1,075' in length. This is a major amendment to the Rivershire PUD requiring approval by the Architectural Review Board for the fencing materials and approval by the Village Board for the PUD amendment in regards to fence height and opacity. **AVM/CED Gilbertson** indicated the original fence had fallen into a state of disrepair over the years and was further compromised by the water main installation for Lincolnshire Trails subdivision. Reconstruction of a portion of Riverside Road resulted in the road being elevated an additional 2-3 feet above the original elevation. **AVM/CED Gilbertson** stated the Rivershire HOA is requesting the permitted fence height of 4' be increased to



8' with a shadow box design to provide additional screening to those residents along Riverside Road and the Lincolnshire Trails subdivision.

AVM/CED Gilbertson presented drone video overview showing current conditions including the road-ditch reconstruction and current landscape conditions of the Rivershire homes adjacent to Riverside Road. He noted there will be sections along the Riverside Road ditch that will not have landscaping other than seed.

Dave Weiner of MK Asset Management, property manager for the Rivershire HOA, stated **AVM/CED Gilbertson's** presentation covered the entirety of the request and asked the ARB members if they had any questions.

Member McCall inquired about structural requirements for an 8' fence. **Dave Weiner** replied the proposed fence will have steel posts set in concrete with cladding of the steel posts in cedar. **Chair Kennerley** inquired about the cedar wood finish. **Dave Weiner** responded the cedar will weather naturally. **Dave Weiner** added when the original fence was installed, there was only one residence at the end of Riverside. Presently, there are two new townhome developments which have increased traffic.

Chair Kennerley inquired about the health of the existing landscape on the private side of the fence and if it would be impacted by the taller fence. **Dave Weiner** said he did not think it would be major issue, adding the residents are in favor of getting the fence installed but the HOA would work with their landscape contractor if residents seek additional landscaping on their property for screening.

Chair Kennerley inquired about additional landscape enhancements along the ditch. **AVM/CED Gilbertson** said he would discuss with staff and Taylor Morrison to explore additional plantings suitable for a wet environment on the Riverside Road ditch.

Member Tapia moved, seconded by **Member McCall**, to recommend approval to the Village Board of the proposed fence design and materials, as presented in the packet submitted by Rivershire Homeowners Association #2.

Motion passed unanimously by voice vote.

3.0 UNFINISHED BUSINESS

None.

4.0 NEW BUSINESS

None.

5.0 CITIZENS COMMENTS

None.

6.0 ADJOURNMENT



There being no further business, the meeting adjourned at 7:21 p.m.

Respectfully Submitted,
Carol Lustig
Administrative Assistant, Community & Economic Development Dept.

**REQUEST FOR BOARD ACTION
Architectural Review Board
June 18, 2019**

Subject: New Extended Stay Hotel – Home2 Suites by Hilton –
350 Knightsbridge Parkway

Action Requested:

3.1 **Public Hearing** regarding Wall Sign Variations to Increase the Sign Face Height from the Maximum Permitted 3' to 4'-3¼" (East Elevation); Increase the Sign Face Height from the Maximum Permitted 3' to 6'-10" and Increase the Sign Letter Height from the Maximum Permitted 2' to 3' (North Elevation); and Provide Internal Illumination through the Face of Individual Letter Sets (Both Elevations)

3.2 Workshop regarding Site Design, Building Elevations, Landscape Plans, Exterior Lighting, Parking, and Exterior Signage for a Proposed Hotel Building

Petitioner: Knight Bridge Pky, LLC

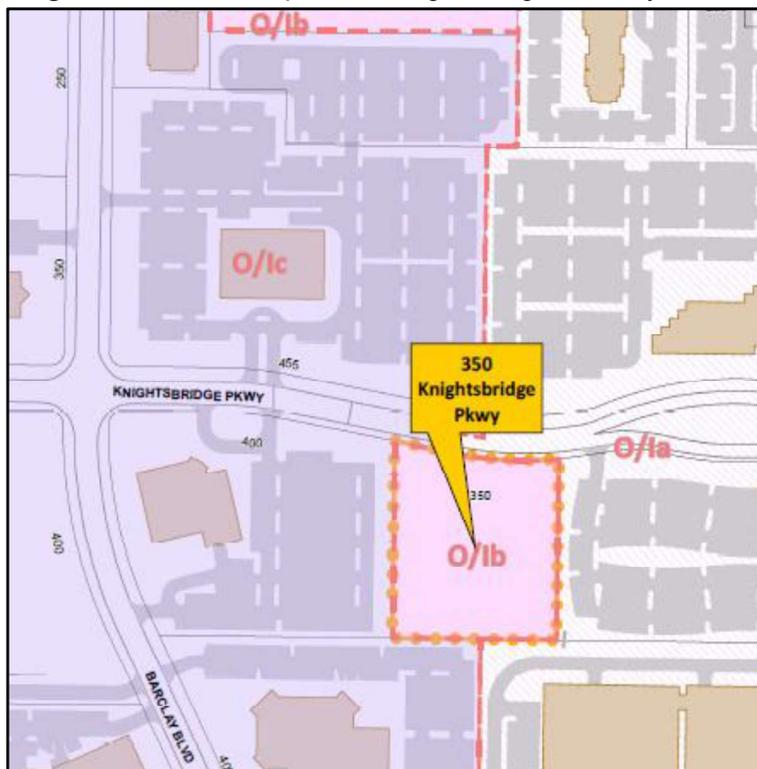
Originated By/Contact: Ben Gilbertson, Assistant Village Manager/CED Director

Advisory Board Review: Zoning Board & Architectural Review Board

Background:

- Vaibhav Sevale and Kamlesh Patel of Knight Bridge Pky, LLC (the "Petitioner"), owners of the 2.2-acre parcel at 350 Knightsbridge Parkway, seek design review for a development plan to construct a new hotel building. They also seek variations for both the north and east wall signs. The hotel will be part of the Home2 Suites by Hilton franchise.
- On September 24, 2018, the Petitioner requested Preliminary Evaluation of their request for a special use permit (SU) to construct the 113-room hotel. The property is zoned Office/Industrial, subdistrict b (O/lb), which permits hotels as Special Uses within the definition of "commercial service activity." The petitioner also requested variances for (1) building height, (2) front yard setback, (3) rear yard

Figure 1: Location Map of 350 Knightsbridge Parkway



landscape/parking setback, and (4) side yard landscape/parking setback. On January 24, 2019, the Petitioner requested a second Preliminary Evaluation of a text amendment to revise the dining area parking requirement for hotels (i.e., parking must be provided only for hotels with lounge or dining area ***open to the public*** [proposed amendment in ***bolded italics***]). It was the consensus of the Village Board to refer this project to the Architectural Review Board (ARB) and Zoning Board (ZB).

- The Village’s internal Development Review Team conducted a two separate detailed analyses of the plans and provided comments to the petitioner. Those comments were incorporated into the current proposal.
- The ZB is scheduled to conduct a public hearing on the Petitioner’s request for a Special Use permit, height and setback variances, and the hotel parking text amendment at its June 25, 2019 meeting. The ARB is responsible for reviewing the wall sign variation requests, as well as the following components of the proposal:
 - Site design
 - Building elevations (e.g., design, materials, colors, massing, scale, and height)
 - Landscaping
 - Parking
 - Exterior lighting and signage

Item 3.1 – Public Hearing regarding Wall Sign Variations

- The petitioner seeks the following variations from Section 12-9-1-B of the Lincolnshire Village Code (Village Code) for proposed wall signs on the east and north building elevations in the Office/Industrial Sign District:

Wall Sign – East Elevation

1. Increase the sign face height from the maximum permitted 3’ to 4’-3¼” (Section 12-9-1-B, Table 3).
2. Provide internal illumination through the face of individual letter sets, rather than the code-required backlit/halo illumination for this property (Section 12-9-1-B-9).

Wall Sign – North Elevation

1. Increase the sign face height from the maximum permitted 3’ to 6’-10” (Section 12-9-1-B, Table 3).
2. Increase the sign letter height from the maximum permitted 2’ to 3’ (Section 12-9-1-B, Table 3).
3. Provide internal illumination through the face of individual letter sets, rather than the code-required backlit/halo illumination for this property (Section 12-9-1-B-9).

- The Office/Industrial Sign District primarily includes properties in the Lincolnshire Corporate and Center south of Half Day Road, west of Milwaukee Avenue, and north of Aptakasic Road.
- The variations are for the proposed “Home2 Suites by Hilton” wall signs. The signs represent Home2 Suites corporate logo and color scheme. Below is a chart showing code-permitted and proposed sign dimensions.

Office/Industrial Sign District Criteria	Requirements	Proposed – East Elevation	Proposed – North Elevation
Length	20’	8’-9”	14’
Face Height	3’	4’-3¼”	6’-10”
Lettering Height	2’	1’-10½”	3’
Logo height	2’-6”	N/A	N/A
Illumination	Backlit / Halo	Internal	Internal

- The Petitioner requests larger-than-permitted wall signs to make them more visible from Knightsbridge Parkway, given the building massing and orientation.
- For historical context, in 2012, the Village Board approved a wall sign variation for height for Sysmex Corporation at 577 Aptakasic Road in the Office/Industrial Sign District. Additionally, in 2018, the Village Board approved wall sign variations for lettering height, logo height, and sign face height for Heathrow Scientific / Daigger Scientific at 325 Marriott Drive.
- A notice of the Public Hearing on the sign variations was published in the May 31, 2019 edition of the *Daily Herald*. The petitioner has also provided a certified notice of the Public Hearing to property owners within the code-required 250' radius of the subject property.
- Attached are the petitioner's responses to the required Sign Variation standards. The ARB must find each of these standards has been satisfactorily addressed to recommend approval to the Village Board.

Recommendation:

Staff recommends the approval of the wall sign variation if the ARB is agreeable to the proposed building elevations and materials. If the ARB directs the Petitioner to make changes to building elevations and materials, staff recommends the public hearing be continued so that the ARB recommends approval to the Village Board of the wall signs and building elevations in conjunction with one another.

Motion – Wall Sign Variations:

Having made findings based on facts covered in a public hearing on June 18, 2019, the Architectural Review Board moves to recommend approval to the Village Board for the variations wall sign face height, wall sign letter height, and illumination, per Section 12-9-1-B of the Lincolnshire Village Code, for a proposed new hotel building, located at 350 Knightsbridge Parkway, as presented in the petitioner's presentation packet and based on the Sign Variations Findings of Fact, and further subject to...

[Insert any additional conditions or modifications]

OR

Having conducted a Public Hearing on June 18, 2019, the Architectural Review Board moves to continue the public hearing to the next regularly-scheduled Architectural Review Board meeting on July 16, 2019.

Item 3.2 - Site Design, Building Elevations, Landscape Plans, Exterior Lighting, Parking, and Exterior Signage

- Village Code provides the following criteria to guide the ARB's review:
 1. The architectural value and significance of the structure or site to the proposed use.
 2. The relationship of the exterior architectural features of the proposed structure to the existing structures and to the surrounding area.
 3. The compatibility of exterior architectural design with the arrangement, texture, and materials to be used on the structure.
 4. Appropriateness of landscaping and orientation of building to the site, in relation to other property in the surrounding area.
 5. Excessive similarity to any other structure existing or proposed structure included in the same site/development or facing upon the same or intersecting street.

6. Inappropriate relation to the established character of other structures in the immediate neighboring area in respect to significant design features, such as material or quality of architectural design, provided that a finding of inappropriateness shall state not only that such inappropriateness exists, but that it is of such a nature as to be reasonably expected to provoke one or more of the harmful effects sought to be avoided hereunder.
7. Such other factors, including aesthetic factors, as the Board deems appropriate.

Site Design

- The attached site plan shows a 32,983-square-foot, 51'-6"-tall four story hotel building. For comparison, the petitioner surveyed surrounding buildings and structures to the subject property as part of their application. Those findings are shown in the table below. (Note: Village code allows six stories or 85' in height for all buildings/mechanical equipment in the O/Ia subdistrict, and for office buildings in all O/Ib, O/Ic, and O/Id subdistricts).

Address	Building Height/Type
405 Barclay Boulevard	One-story office/warehouse
300 Marriott Drive	Six-story hotel
300 Knightsbridge Parkway	Four-story office building
333 Knightsbridge Parkway	Four-story office building
400 Knightsbridge Parkway	One-story office
455 Knightsbridge Parkway	Four-story office
4 Overlook Point	Six-story office; two-story parking structure

- Access to the site will be provided off Knightsbridge Parkway. Parking is proposed on the east and west sides of the building. Lighting will consist of wall-mounted and parking lot poles. The proposed building is set back approximately 50' from Knightsbridge Parkway.

Building Elevations and Materials

- As stated in the Petitioner's cover letter, the proposed hotel emphasizes a horizontal design as a complement to surrounding buildings.
- The predominant building material is EIFS with a cast stone base. The building incorporates several EIFS accent bands. In reviewing adjacent properties' building materials, the Petitioner noted brown brick, off-white color precast, and glass. Additionally, the Petitioner noted beige or grey color EIFS, brown brick, and beige/off-white stone in neighboring hotels (Courtyard, Springhill Suites, and Staybridge Suites). For comparison, staff also researched the height and building materials of hotels in and around the Lincolnshire Corporate Center.

Address – Hotel	Building Height	Predominant Building Material(s)
100 Barclay – Staybridge Suites	3 stories; 152'-6½"	Vinyl EIFS Simulated dry stack stone
300 Marriott Drive – Spring Hill Suites	6 stories; 184'-9½"	Brick EIFS
505 Milwaukee Avenue - Courtyard	3 stories; 45'	EIFS
1400 Milwaukee Avenue – Hampton Inn	3 stories; 42'- 7 5/8"	Vinyl

- Rooftop equipment will be screened with aluminum material matching the building envelope color. The trash enclosure is proposed to be screened from view with the 6' screen wall consisting of the

same materials as the hotel. The canopy for the outdoor seating area on the east side of the building contemplates metal material with natural wood trellises.

- Staff requests the ARB's considerations if further design enhancements should be made for added visual interest and contextual fit. The presentation packet includes colored elevations and one rendering of the building. The petitioner has committed to provide additional renderings at the June 18, 2019 ARB meeting.

Parking/Loading

- The site plan includes 118 parking spaces which would meet code requirements (if the hotel parking requirement text amendment is approved).

Landscaping/Screening

- Landscaping is proposed around the building, parking islands, and site perimeter. Staff finds the site will be adequately landscaped per Village Code requirements, providing appropriate quantities and diversity of indigenous flora for year-round visual appeal.

Exterior Lighting

- A combination of wall-mounted and pole-mounted lights are proposed. The proposed light pole height and lighting levels meet code requirements.

Exterior Signage

- Ground Sign: The petitioner proposes a 6'-tall and 7'-4³/₈"-long ground monument identification sign along Knightsbridge Parkway. The sign will be double-sided and internally illuminated with a stone foundation. The ground sign will match building materials and colors with landscaping at the base. The sign complies with Code.
- Wall Signs: The petitioner requests several variations for the wall signs (see agenda item 3.1 above).

Recommendation:

Discussion and feedback to the Petitioner and, if appropriate, to staff.

Reports and Documents Attached:

- Document 1: Cover letter, prepared by Shilpa Purohit, Project Architect, on behalf of property owners and Petitioner, dated June 7, 2019.
- Document 2: Planning and Zoning Application, dated January 11, 2019.
- Document 3: Certificate of public hearing notification publication in the May 31, 2019 edition of the Daily Herald.
- Document 4: Notification of Public Hearing Affidavit and corresponding address list, dated June 3, 2019.
- Document 5: Responses to Standards of Architectural Review for Sign Variance, prepared by Shilpa Purohit, Project Architect, on behalf of property owners and Petitioner.
- Document 6: Presentation packet, prepared by Knight Bridge Pky, LLC and Purohit Architects, date stamped received June 13, 2019.

Meeting History

Committee of the Whole Meeting – Preliminary Evaluation (Special Use Permit, Height/Setback Variances)	September 24, 2018
Committee of the Whole Meeting – Preliminary Evaluation (Text Amendment)	January 28, 2019
Architectural Review Board – Site Design Workshop and Wall Sign Variation Public Hearing	June 18, 2019

PUROHIT ARCHITECTS, INC.

Architects & Planners

JUNE 07, 2019

Cherise Kennerley
Architectural Review Board Chairwoman
and Members of the Architectural Review Board
Village of Lincolnshire
One Olde Half Day Road
Lincolnshire, IL 60069

Re: 350 Knightsbridge Parkway

Dear Ms. Kennerley and the Members of ARB:

On behalf of the property owners "Vaibhav Sevale and Kamlesh Patel of Knights Bridge parkway, LLC", Purohit Architects, Inc. is pleased to submit drawings for the proposed 113 Room "Home2 Suites by Hilton" - a franchise hotel on approximately 2.2 Acres site at 350 Knightsbridge Parkway. The proposed hotel shall serve and benefit the local corporate and the residential communities. Please note, this property is subject to the covenants and the property owners are working with Van Vlissingen for obtaining their approval.

Contemporary style "Home2 by Hilton" is proposed to be 4-story tall building, with a footprint of about 17,362 SF. Two curb cuts are proposed on the site- both a two way direction. By nature, most hotel buildings, just like the one proposed here have a rectangular footprint- to maximize the incoming of the natural light within the guestrooms. The short edge of this building faces north to the Knightsbridge Parkway and the longer edge faces the west onto the interior parking lot. The main entrance canopy/ lobby are off of the east side.

"Home2 by Hilton" brand does an amazing job in providing unique outdoor experience to its guests, via its two outdoor patios that are connected to its main entrance lobby and/or the indoor pool. The outdoor patio in the front is about 750 SF and the one in the back, close to the pool is about 450 SF. Careful attention is given to the detail of the patio(s) and its amenities, such as covered natural wood pergolas, variety of seating styles, fire pit, covered umbrellas, outdoor grill, etc. The flooring of the patios are also visually enhances by architectural pavers.

A trash enclosure per the village ordinance is provided at the southwest corner, far away from the Knightsbridge Parkway. Colors of the trash enclosure are proposed to match the building colors. (1) Ground sign and (1) wall signs are proposed per the branding requirements. Variance is sought for the wall sign illuminations & letter/ logo size.

The exterior design of the building follows the Hilton's branding. Some flexibility in terms of the selections of materials and the colors is left to the Architects/ Owners, pending brand approval. The building facade is proposed to consists of "a predominantly EIFS system" and shall incorporate stone at most of the first floor elevation and certain key elements, along with Architectural wall panels on the tall wall holding the beacon and the wall sign. Hilton provide, varied pallet of material & color choices, along with limited massing option(s)

within their realm of branding. As a team tried our best to pick the colors that are in line with the surrounding buildings. Materials such as EIFS, Stone & Glass are specified. The Home2, by nature has huge emphasis on horizontal and thus is a right fit for this location. The building mass is also broken up artistically, to create visual interest. In addition, a visual survey was conducted of the building facade treatment of the surrounding nearby buildings on Kingsbridge parkway, along with (3) franchise hotels in the vicinity. The following was observed:

- Most of the noticeable buildings on the Knightsbridge Parkway were built over a decade ago. The prominent materials used are brown brick, off-white color precast & glass. All these buildings have heavy emphasis on depicting the horizontality.
- The three surrounding hotels in the vicinity are Courtyard, Spring-hill by Marriott & Stay Bridge by Marriott. These building have materials such as Beige/ Grey color EIFS, Brown color Brick & Beige/ off-white color Stone.

In addition, the property owners are intending to provide increased landscape above the Village standards.

If you have any questions or concerns, please feel free to reach out to us.

Sincerely,

A handwritten signature in black ink, appearing to read 'Shilpa Purohit', enclosed in a thin black rectangular border.

Shilpa Purohit
Project Architect



One Olde Half Day Road
Lincolnshire, IL 60069
847.883.8600
www.lincolnshireil.gov

PLANNING & ZONING APPLICATION
DEPARTMENT OF COMMUNITY & ECONOMIC DEVELOPMENT

Application Number: _____

PROPERTY ADDRESS: 350 Knights Bridge Pkwy, Lincolnshire

PIN #(s): _____

APPLICANT NAME: Vaibhav Sevale

APPLICATION REQUEST(S) Please check all that apply

- Amendment**
 - Text*
 - Annexation Agreement
 - Other
- Architectural Review Board (ARB)***
 - New Structure/Development
 - Modification to Structure/Development
 - New Signage
 - Modification to Signage
- Special Use***
 - New Special Use/PUD
 - Major Amendment to Special Use/PUD
 - Minor Amendment to Special Use/PUD
- Appeal of Administrative Decision**
- Annexation***
- Rezoning***
- Subdivision***
- Variance***

* Refer to the applicable **Information Packet** for additional information and required materials.

DESCRIPTION OF REQUEST(S):

A request for special use for a new 4-Story 'Home2' Hotel by "Hilton" with (112) Guest Suites within an existing O/lb zoning district with a specific variances as requested in the attached letter. Thank you.

Attach additional pages if necessary

APPLICANT INFORMATION

Applicant Information

Name: VAIBHAV SEVALE Company: Knight Bridge Pky LLC
Address: 8365 W MAYNARD RD Telephone: (847) 331-4095
NILES, IL 60714 Fax: ()
Email Address: victor.sevale@gmail.com

Primary Contact Information (if different than Applicant Info)

Name: _____ Company: _____
Address: _____ Telephone: ()
Fax: ()
Email Address: _____

Property Owner Information (if a Trust, see attached Beneficiary Disclosure Form)

Name: Kamlesh Patel Company: Knight Bridge Pky LLC
Address: 700 Becker Road Telephone: (847) 508-4049
Glenview, IL 60025 Fax: ()
Email Address: kamleshp719@gmail.com

REPRESENTATIVES INFORMATION

Attorney

Name: _____ Company: _____
Address: _____ Telephone: ()
Fax: ()

Architect/Land Planner

Name: Hemal Purohit Company: Purohit Architects, Inc
Address: 2020 E Algonquin Rd, #302 Telephone: (847) 496-5322
Schaumburg, IL 60173 Fax: ()

Engineer/Land Surveyor

Name: William J Zalewski, PE Company: Advantage Consulting Engineers
Address: 80 Main St, Suite #17 Telephone: (847) 268-4758
Lemont, IL 60439 Fax: ()

Landscape Architect

Name: Paul Bednar Company: Paul Bednar Planning &
Address: 16 Rugby Place Telephone: (847) 987-7526
Elgin, IL 60120 Fax: ()

Other:

Name: _____ Company: _____
Address: _____ Telephone: ()
Fax: ()

REQUIRED MATERIALS

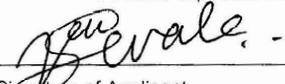
The materials identified below must be included with the Application, *incomplete submittals will not be accepted*. Prior to submitting an Application Packet, a pre-application meeting with the Planning Staff is recommended.

- Letter of Request:** The Applicant must provide a letter to the attention of the Mayor and Village Board of Trustees, with this application, which describes the request(s) and outlines the reason(s) for the request(s).
- Legal Description:** The legal description of all subject properties must be submitted in (1) an accurate and legible 8½" x 11" paper format, and (2) an electronic duplicate in Microsoft Word format.
- Plat of Survey:** An accurate Plat of Survey prepared by a registered land surveyor or professional engineer. The Plat of Survey must include all information required by the Illinois Survey Manual.
- Application Fee(s):** See page 4 of this Application.
- Cash Advance Account Deposit:** See page 4 of this Application
- Accompanying Documents Identified in Information Packet (if necessary)**

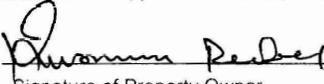
APPLICANT/OWNER ACKNOWLEDGEMENTS

The Applicant(s) and Owner(s) do hereby certify, acknowledge, and affirm that:

1. I (We) have carefully and fully read this application, and all of the statements contained in this Application Packet are true.
2. I (We) fully understand and agree to comply with the terms and provisions outlined in this application and the Lincolnshire Village Code.
3. I (We) agree to pay all applicable filing fees and assume responsibility for the payment of all reimbursable expenses associated with the processing of this application and request(s).



Signature of Applicant



Signature of Property Owner

January 11, 2019

Date

January 11, 2019

Date

Public Notification for Public Hearings

Applications for Amendment, Rezoning, Variance, and Special Use requests must provide public notification of the public hearing. The Applicant must obtain a list of all owners of record for all lots within 250 feet of the subject parcel for which the Application is being sought. Information on all persons to whom the current real estate tax bills are sent, mailing address, property address, and Permanent Index Number (PIN) for all properties within 250 feet of the subject parcel(s) is available at the **Vernon Township Assessor's Office, 3050 Main Street, Buffalo Grove, Illinois, (847) 634-4602.**

The Planning Staff will provide the Applicant with an electronic copy of the public hearing language for use in mailing. The Applicant will be required to send such notices by certified or registered mail, with return receipt requested, no more than thirty (30) calendar days nor less than fifteen (15) calendar days in advance of the Public Hearing. Upon completion of the public notification mailings, a sworn affidavit (see Notification of Public Hearing Affidavit below) verifying mailing shall be filed with the Department of Community Development no less than four (4) business days in advance of the Public Hearing.

Notification of Public Hearing Affidavit

I, Kamlesh Patel, hereby certify under penalty of perjury as follows:

1. That on the 3rd day of June, 2019, such day being not less than 15 days before the hearing so described, affiant caused to be mailed, through certified or registered mail, return receipt requested, in the Post Office of Jenerson Park - Chicago, IL copies of the attached Notice of Public Hearing to the owners, as recorded in the office of the recorder of deeds or the registrar of titles of the county in which the property is located and as appears from the authentic tax records of such county, of all property within 250 feet in each direction of the location for which the application has been filed, excluding public rights of way of the subject site, located at 350 Knights Bridge Pky, and to the owners, or representatives, of property listed as exempt.

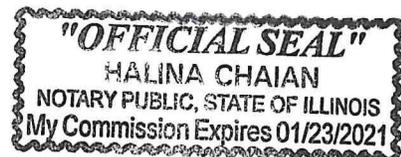
2. That the parties to whom said notice was mailed are set forth on the attached list.

[Please attach list to this Affidavit]

[Signature]
Signature

Subscribed and sworn to before me, Kamlesh K. Patel,
this 03rd day of June, 2019.

Halina Chaijan
Notary Public



Document 4

PIN	PHYSICALADDRESS	COMMUNITYNAME	STATE	ZIPCODE	OWNERNAME
1522403028	4 OVERLOOK PT	LINCOLNSHIRE	IL	60069	ARC ACLSHILO01 LLC
1522203013	405 BARCLAY BLVD	LINCOLNSHIRE	IL	60069	BIG BOX PROPERTY OWNER C LLC
1522104005	400 KNIGHTSBRIDGE PKWY	LINCOLNSHIRE	IL	60069	HAV INVESTORS
1522203011	300 KNIGHTSBRIDGE PKWY	LINCOLNSHIRE	IL	60069	NORTHGATE INVESTMENT INC
1522202006	333 KNIGHTSBRIDGE PKWY	LINCOLNSHIRE	IL	60069	VAN VLISSINGEN & CO
1522202027	455 KNIGHTSBRIDGE PKWY	LINCOLNSHIRE	IL	60069	VAN VLISSINGEN & CO
1522203012	300 KNIGHTSBRIDGE PKWY	LINCOLNSHIRE	IL	60069	VAN VLISSINGEN AND CO.

OWNERADDRESS	OWNERCITY	OWNERSTATE	OWNERZIP	OWNERNAME
100 HALF DAY RD	LINCOLNSHIRE	IL	60069	ARC ACLSHILO01 LLC
101 W ELM ST STE 600	CONSHOCKEN	PA	19428-2075	BIG BOX PROPERTY OWNER C LLC
PO BOX 1400	LINCOLNSHIRE	IL	60069-1400	HAV INVESTORS
770 LAKE COOK RD STE 350	DEERFIELD	IL	60015-4940	NORTHGATE INVESTMENT INC
1 OVERLOOK PT STE 100	LINCOLNSHIRE	IL	60069-4339	VAN VLISSINGEN & CO
1 OVERLOOK PT STE 100	LINCOLNSHIRE	IL	60069-4339	VAN VLISSINGEN & CO
1 OVERLOOK PT STE 100	LINCOLNSHIRE	IL	60069-4313	VAN VLISSINGEN AND CO.

**RESPONSES TO STANDARDS OF ARCHITECTURAL REVIEW
FOR PERMANENT WALL SIGN VARIATIONS**

350 Knightsbridge Parkway
(Home2 Hotel by Hilton)

The Petitioners and the property owners “Vaibhav Sevale and Kamlesh Patel of Knights Bridge Parkway, LLC with the help of their Architect “Purohit Architects, Inc.”, provides the following responses to the standards of review in accordance with the section 12-17-1(D) of that Lincolnshire Village Code regarding requested variations for two proposed permanent wall signs with letters and log at the Subject Property and in the Office/ Industrial Sign District to allow the following collective variations, all as illustrated and depicted by the plans and specifications submitted herewith:

Wall Sign- East Elevation

1. Increase the sign face height from the maximum permitted 3' to 4'-3 1/4” in the office/ industrial Sign District (Section 12-9-1-B), table 3 of the Lincolnshire Village Code).
2. Provide internal illumination through the face of the individual letter sets, rather than the code required back/halo illumination for this property in the Office/ Industrial Sign District (Section 12-9-1-B-9)

Wall Sign- West Elevation

1. Increase the sign face height from the maximum permitted 3' to 6'-10” in the office/ industrial Sign District (Section 12-9-1-B), table 3 of the Lincolnshire Village Code)
2. Increase the sign letter height from the maximum permitted 2' to 3' in the office/ industrial Sign District (Section 12-9-1-B), table 3 of the Lincolnshire Village Code).
3. Provide internal illumination through the face of the individual letter sets, rather than the code required back/halo illumination for this property in the Office/ Industrial Sign District (Section 12-9-1-B-9)

1. The Applicant’s plans are substantially consistent with the design criteria of Title 12 of the Lincolnshire Village Code.

Applicant's plans for the Sign are substantially consistent with the design criteria for wall signs under Sections 12-9-1(B) of the code. More specifically, the proposed Sign (i) the total area of the proposed East Wall Signage is 0.26% and the North Wall Signage is 2.34%, of the area of the building wall to which they are proposed to be attached. This accounts for significantly less than 5% of the area of the building wall to which it will be attached, (ii) will be safely and securely attached to a building wall that faces the parking lot or the public street (iii) will be safely and securely attached to the building wall, (iv) will be affixed flat against the building wall, (v) will not project more than six inches from the building wall, (vi) will not cover the building's windows, doors or architectural features (viii) will not be located above the roof line (ix) will be constructed of metal, acrylic material(s) (x) will be attached to the building facade at a height of greater than eight feet above the nearest sidewalk and (xi) will be consistent with the proposed ground sign lettering for the proposed building. Additionally, the East Sign's individual letter height permitted in the District.

2. The proposed exterior design features of the sign are suitable and compatible with the character of neighboring buildings and structures existing or under construction and with the character of the neighborhood and the applicable zoning district, and enhance the environment of the Village.

The Sign's proposed exterior design features are suitable and compatible with the character of (i) neighboring building sign such as that at the nearby Noah's Event Venue (200 Barclay Boulevard) and Spring Hill Suites by Marriot (300 Marriott Drive), which consists of individually-mounted letters or logo- consistent with the Sign, (ii) the neighborhood in which the Subject Property is located and (iii) the Office/ Industrial zoning district due to the applicable Office/ industrial Sign district regulations established under Section 12-9-1(B) of the Code.

3. The granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located.

The granting of the variations will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the Subject Property is located because the Sign is tastefully designed to be substantially consistent with the design criteria for the wall signs under Section 12-9-1(B) of the code as described in detail above, and to the best ensure the Sign's proper visibility and proportionality to the proposed building to which it will be affixed while maintaining integrity with the applicable sign regulations and Hilton's establishment, international corporate branding and trademark.

4. The exterior design features of the sign will not cause a substantial depreciation in the property values in the neighborhood.

The sign's exterior design features will not cause a substantial depreciation in property values in the neighborhood in which the subject property is located because the Sign is tastefully designed to be substantially consistent with the design criteria for the wall sign's proper visibility and proportionality to the proposed building to which it will be affixed while maintaining international corporate branding and trademark.

5. The alleged difficulty or hardship is caused by Title 12 of the Lincolnshire Village Code and has not been created by any persons presently having an interest in the property.

The difficulty or hardship for which the variations are requested has not been created by any persons presently having an interest in the Subject property. To the contrary, the Variations are sought, among other things, (i) to main consistency with Hilton's established, international corporate branding and trademark, (ii) to afford sufficient legibility of the Sign above 37' plus feet height (iii) to provide aesthetically appealing scale between the Sign and the building facade to which it will be attached.

6. The conditions upon which an application for a variation is based are unique to the property for which the variance is sought, and are not applicable, generally, to other property within the same zoning classification.

The conditions upon which the Variations are based are unique to the Subject property and not generally applicable to property within the same O/Ic Office industrial zoning classification sub-district, as the existing site is close to a square shaped lot and quite far from the major road (Half day Road and Milwaukee Avenue). The proposed building is long and narrow and has less street frontage to the nearest improved street – Kinghtsbridge Parkway.

HOME2

SUITES BY HILTON

Abbreviations and Definitions

Abbreviations defined within (use correct specific, or optional, depending on the case)
 General: Refer to AIA for more "Trade to Architecture" information.
 Structural: Refer to AIA for more "Structural to Architecture" information.
 Mechanical: Refer to AIA for more "Mechanical to Architecture" information.
 Electrical: Refer to AIA for more "Electrical to Architecture" information.
 Plumbing: Refer to AIA for more "Plumbing to Architecture" information.
 Fire: Refer to AIA for more "Fire to Architecture" information.

A.A.	Architectural	AC	Access	AD	Assemble	AG	Architectural	AI	Interior	AL	Aluminum	AM	Masonry	AN	Annular	AO	Asbestos	AP	Asphalt	AR	Architectural	AS	Asphalt	AT	Asphalt	AV	Acoustic	AW	Aluminum	AX	Architectural	AY	Architectural	AZ	Architectural	BA	Brick	BB	Brick	BC	Brick	BD	Brick	BE	Brick	BF	Brick	BG	Brick	BH	Brick	BI	Brick	BJ	Brick	BK	Brick	BL	Brick	BM	Brick	BN	Brick	BO	Brick	BP	Brick	BQ	Brick	BR	Brick	BS	Brick	BT	Brick	BV	Brick	BW	Brick	BX	Brick	BY	Brick	BZ	Brick	CA	Concrete	CB	Concrete	CC	Concrete	CD	Concrete	CE	Concrete	CF	Concrete	CG	Concrete	CH	Concrete	CI	Concrete	CJ	Concrete	CK	Concrete	CL	Concrete	CM	Concrete	CN	Concrete	CO	Concrete	CP	Concrete	CQ	Concrete	CR	Concrete	CS	Concrete	CT	Concrete	CU	Concrete	CV	Concrete	CW	Concrete	CX	Concrete	CY	Concrete	CZ	Concrete	DA	Concrete	DB	Concrete	DC	Concrete	DD	Concrete	DE	Concrete	DF	Concrete	DG	Concrete	DH	Concrete	DI	Concrete	DJ	Concrete	DK	Concrete	DL	Concrete	DM	Concrete	DN	Concrete	DO	Concrete	DP	Concrete	DQ	Concrete	DR	Concrete	DS	Concrete	DT	Concrete	DU	Concrete	DV	Concrete	DW	Concrete	DX	Concrete	DY	Concrete	DZ	Concrete	EA	Steel	EB	Steel	EC	Steel	ED	Steel	EE	Steel	EF	Steel	EG	Steel	EH	Steel	EI	Steel	EJ	Steel	EK	Steel	EL	Steel	EM	Steel	EN	Steel	EO	Steel	EP	Steel	EQ	Steel	ER	Steel	ES	Steel	ET	Steel	EU	Steel	EV	Steel	EW	Steel	EX	Steel	EY	Steel	EZ	Steel	FA	Finish	FB	Finish	FC	Finish	FD	Finish	FE	Finish	FF	Finish	FG	Finish	FH	Finish	FI	Finish	FJ	Finish	FK	Finish	FL	Finish	FM	Finish	FN	Finish	FO	Finish	FP	Finish	FQ	Finish	FR	Finish	FS	Finish	FT	Finish	FU	Finish	FV	Finish	FW	Finish	FX	Finish	FY	Finish	FZ	Finish	GA	Glazing	GB	Glazing	GC	Glazing	GD	Glazing	GE	Glazing	GF	Glazing	GG	Glazing	GH	Glazing	GI	Glazing	GJ	Glazing	GK	Glazing	GL	Glazing	GM	Glazing	GN	Glazing	GO	Glazing	GP	Glazing	GQ	Glazing	GR	Glazing	GS	Glazing	GT	Glazing	GU	Glazing	GV	Glazing	GW	Glazing	GX	Glazing	GY	Glazing	GZ	Glazing	HA	Hardware	HB	Hardware	HC	Hardware	HD	Hardware	HE	Hardware	HF	Hardware	HG	Hardware	HH	Hardware	HI	Hardware	HJ	Hardware	HK	Hardware	HL	Hardware	HM	Hardware	HN	Hardware	HO	Hardware	HP	Hardware	HQ	Hardware	HR	Hardware	HS	Hardware	HT	Hardware	HU	Hardware	HV	Hardware	HW	Hardware	HX	Hardware	HY	Hardware	HZ	Hardware	IA	Insulation	IB	Insulation	IC	Insulation	ID	Insulation	IE	Insulation	IF	Insulation	IG	Insulation	IH	Insulation	II	Insulation	IJ	Insulation	IK	Insulation	IL	Insulation	IM	Insulation	IN	Insulation	IO	Insulation	IP	Insulation	IQ	Insulation	IR	Insulation	IS	Insulation	IT	Insulation	IU	Insulation	IV	Insulation	IW	Insulation	IX	Insulation	IY	Insulation	IZ	Insulation	JA	Joinery	JB	Joinery	JC	Joinery	JD	Joinery	JE	Joinery	JF	Joinery	JG	Joinery	JH	Joinery	JI	Joinery	JJ	Joinery	JK	Joinery	JL	Joinery	JM	Joinery	JN	Joinery	JO	Joinery	JP	Joinery	JQ	Joinery	JR	Joinery	JS	Joinery	JT	Joinery	JU	Joinery	JV	Joinery	JW	Joinery	JX	Joinery	JY	Joinery	JZ	Joinery	KA	Knob	KB	Knob	KC	Knob	KD	Knob	KE	Knob	KF	Knob	KG	Knob	KH	Knob	KI	Knob	KJ	Knob	KK	Knob	KL	Knob	KM	Knob	KN	Knob	KO	Knob	KP	Knob	KQ	Knob	KR	Knob	KS	Knob	KT	Knob	KU	Knob	KV	Knob	KW	Knob	KX	Knob	KY	Knob	KZ	Knob	LA	Landing	LB	Landing	LC	Landing	LD	Landing	LE	Landing	LF	Landing	LG	Landing	LH	Landing	LI	Landing	LJ	Landing	LK	Landing	LL	Landing	LM	Landing	LN	Landing	LO	Landing	LP	Landing	LQ	Landing	LR	Landing	LS	Landing	LT	Landing	LU	Landing	LV	Landing	LW	Landing	LX	Landing	LY	Landing	LZ	Landing	MA	Masonry	MB	Masonry	MC	Masonry	MD	Masonry	ME	Masonry	MF	Masonry	MG	Masonry	MH	Masonry	MI	Masonry	MJ	Masonry	MK	Masonry	ML	Masonry	MM	Masonry	MN	Masonry	MO	Masonry	MP	Masonry	MQ	Masonry	MR	Masonry	MS	Masonry	MT	Masonry	MU	Masonry	MV	Masonry	MW	Masonry	MX	Masonry	MY	Masonry	MZ	Masonry	NA	Notation	NB	Notation	NC	Notation	ND	Notation	NE	Notation	NF	Notation	NG	Notation	NH	Notation	NI	Notation	NJ	Notation	NK	Notation	NL	Notation	NM	Notation	NO	Notation	NP	Notation	NQ	Notation	NR	Notation	NS	Notation	NT	Notation	NU	Notation	NV	Notation	NW	Notation	NX	Notation	NY	Notation	NZ	Notation	OA	Other	OB	Other	OC	Other	OD	Other	OE	Other	OF	Other	OG	Other	OH	Other	OI	Other	OJ	Other	OK	Other	OL	Other	OM	Other	ON	Other	OO	Other	OP	Other	OQ	Other	OR	Other	OS	Other	OT	Other	OU	Other	OV	Other	OW	Other	OX	Other	OY	Other	OZ	Other	PA	Plumbing	PB	Plumbing	PC	Plumbing	PD	Plumbing	PE	Plumbing	PF	Plumbing	PG	Plumbing	PH	Plumbing	PI	Plumbing	PJ	Plumbing	PK	Plumbing	PL	Plumbing	PM	Plumbing	PN	Plumbing	PO	Plumbing	PP	Plumbing	PQ	Plumbing	PR	Plumbing	PS	Plumbing	PT	Plumbing	PV	Plumbing	PW	Plumbing	PX	Plumbing	PY	Plumbing	PZ	Plumbing	QA	Quantity	QB	Quantity	QC	Quantity	QD	Quantity	QE	Quantity	QF	Quantity	QG	Quantity	QH	Quantity	QI	Quantity	QJ	Quantity	QK	Quantity	QL	Quantity	QM	Quantity	QN	Quantity	QO	Quantity	QP	Quantity	QQ	Quantity	QR	Quantity	QS	Quantity	QT	Quantity	QU	Quantity	QV	Quantity	QW	Quantity	QX	Quantity	QY	Quantity	QZ	Quantity	RA	Roofing	RB	Roofing	RC	Roofing	RD	Roofing	RE	Roofing	RF	Roofing	RG	Roofing	RH	Roofing	RI	Roofing	RJ	Roofing	RK	Roofing	RL	Roofing	RM	Roofing	RN	Roofing	RO	Roofing	RP	Roofing	RQ	Roofing	RR	Roofing	RS	Roofing	RT	Roofing	RU	Roofing	RV	Roofing	RW	Roofing	RX	Roofing	RY	Roofing	RZ	Roofing	SA	Structural	SB	Structural	SC	Structural	SD	Structural	SE	Structural	SF	Structural	SG	Structural	SH	Structural	SI	Structural	SJ	Structural	SK	Structural	SL	Structural	SM	Structural	SN	Structural	SO	Structural	SP	Structural	SQ	Structural	SR	Structural	SS	Structural	ST	Structural	SU	Structural	SV	Structural	SW	Structural	SX	Structural	SY	Structural	SZ	Structural	TA	Text	TB	Text	TC	Text	TD	Text	TE	Text	TF	Text	TG	Text	TH	Text	TI	Text	TJ	Text	TK	Text	TL	Text	TM	Text	TN	Text	TO	Text	TP	Text	TQ	Text	TR	Text	TS	Text	TU	Text	TV	Text	TW	Text	TX	Text	TY	Text	TZ	Text	UA	Utility	UB	Utility	UC	Utility	UD	Utility	UE	Utility	UF	Utility	UG	Utility	UH	Utility	UI	Utility	UJ	Utility	UK	Utility	UL	Utility	UM	Utility	UN	Utility	UO	Utility	UP	Utility	UQ	Utility	UR	Utility	US	Utility	UT	Utility	UU	Utility	UV	Utility	UW	Utility	UX	Utility	UY	Utility	UZ	Utility	VA	Vertical	VB	Vertical	VC	Vertical	VD	Vertical	VE	Vertical	VF	Vertical	VG	Vertical	VH	Vertical	VI	Vertical	VJ	Vertical	VK	Vertical	VL	Vertical	VM	Vertical	VN	Vertical	VO	Vertical	VP	Vertical	VQ	Vertical	VR	Vertical	VS	Vertical	VT	Vertical	VU	Vertical	VV	Vertical	VW	Vertical	VX	Vertical	VY	Vertical	VZ	Vertical	WA	Window	WB	Window	WC	Window	WD	Window	WE	Window	WF	Window	WG	Window	WH	Window	WI	Window	WJ	Window	WK	Window	WL	Window	WM	Window	WN	Window	WO	Window	WP	Window	WQ	Window	WR	Window	WS	Window	WT	Window	WU	Window	WV	Window	WW	Window	WX	Window	WY	Window	WZ	Window	XA	Exterior	XB	Exterior	XC	Exterior	XD	Exterior	XE	Exterior	XF	Exterior	XG	Exterior	XH	Exterior	XI	Exterior	XJ	Exterior	XK	Exterior	XL	Exterior	XM	Exterior	XN	Exterior	XO	Exterior	XP	Exterior	XQ	Exterior	XR	Exterior	XS	Exterior	XT	Exterior	XU	Exterior	XV	Exterior	XW	Exterior	XX	Exterior	XY	Exterior	XZ	Exterior	YA	Yield	YB	Yield	YC	Yield	YD	Yield	YE	Yield	YF	Yield	YG	Yield	YH	Yield	YI	Yield	YJ	Yield	YK	Yield	YL	Yield	YM	Yield	YN	Yield	YO	Yield	YP	Yield	YQ	Yield	YR	Yield	YS	Yield	YT	Yield	YU	Yield	YV	Yield	YW	Yield	YX	Yield	YY	Yield	YZ	Yield	ZA	Zoning	ZB	Zoning	ZC	Zoning	ZD	Zoning	ZE	Zoning	ZF	Zoning	ZG	Zoning	ZH	Zoning	ZI	Zoning	ZJ	Zoning	ZK	Zoning	ZL	Zoning	ZM	Zoning	ZN	Zoning	ZO	Zoning	ZP	Zoning	ZQ	Zoning	ZR	Zoning	ZS	Zoning	ZT	Zoning	ZU	Zoning	ZV	Zoning	ZW	Zoning	ZX	Zoning	ZY	Zoning	ZZ	Zoning
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Guest Room Count Breakdown

Room Type	GROUND FLOOR	2ND FLOOR	3RD FLOOR	4TH FLOOR	TOTAL
KING STUDIO	0	0	0	0	0
KING STUDIO-ACCESSIBLE	0	0	0	0	0
QUEEN ONE BEDROOM	0	0	0	0	0
QUEEN ONE BEDROOM-ACCESSIBLE	0	0	0	0	0
QUEEN QUEEN STUDIO	0	0	0	0	0
QUEEN STUDIO-ACCESSIBLE	0	0	0	0	0
MEN'S TOILET	0	0	0	0	0
WOMEN'S TOILET	0	0	0	0	0
TOILET	0	0	0	0	0
MEET ROOM	0	0	0	0	0
CONFERENCE ROOM	0	0	0	0	0
RECEPTION	0	0	0	0	0
STORAGE	0	0	0	0	0
MECHANICAL	0	0	0	0	0
ELECTRICAL	0	0	0	0	0
PLUMBING	0	0	0	0	0
MECHANICAL	0	0	0	0	0
ELECTRICAL	0	0	0	0	0
PLUMBING	0	0	0	0	0
MECHANICAL	0	0	0	0	0
ELECTRICAL	0	0	0	0	0
PLUMBING	0	0	0	0	0
MECHANICAL	0	0	0	0	0
ELECTRICAL	0	0	0	0	0
PLUMBING	0	0	0	0	0
MECHANICAL	0	0	0	0	0
ELECTRICAL	0	0	0	0	0
PLUMBING	0	0	0	0	0
MECHANICAL	0	0	0	0	0
ELECTRICAL	0	0	0	0	0
PLUMBING	0	0	0	0	0
MECHANICAL	0	0	0	0	0
ELECTRICAL	0	0	0	0	0
PLUMBING	0	0	0	0	0
MECHANICAL	0	0	0	0	0
ELECTRICAL	0	0	0	0	0
PLUMBING	0	0	0	0	0
MECHANICAL	0	0	0	0	0
ELECTRICAL	0	0	0	0	0
PLUMBING	0	0	0	0	0
MECHANICAL	0	0	0	0	0
ELECTRICAL	0	0	0	0	0
PLUMBING	0	0</			



Home2 Suites by Hilton, Lincolnshire
Purohit Architects, Inc.



SOUTH ELEVATION
SCALE: 1/8"=1'-0"



NORTH ELEVATION
SCALE: 1/8"=1'-0"



WEST ELEVATION
SCALE: NTS

BUILDING ELEVATIONS
HOME2 HOTEL BY HILTON
LINCOLNSHIRE, ILLINOIS

6/13/2019



ADVANTAGE
CONSULTING ENGINEERS

80 MAIN STREET - SUITE 17 - LEMONT, ILLINOIS 60439
847-260-4758 www.aceeng.us



GARY R. WEBBER
ASSOCIATES, INC.

LAND PLANNING
ECOLOGICAL CONSULTING
LANDSCAPE ARCHITECTURE
402 WEST LIBERTY DRIVE
WHEATON, ILLINOIS 60187
PHONE: 630-668-7197



EAST ELEVATION
SCALE: 1/4"=1'-0"



EAST PATIO



WEST PATIO

BUILDING ELEVATIONS & PATIO DETAILS
HOME2 HOTEL BY HILTON
LINCOLNSHIRE, ILLINOIS

6/13/2019

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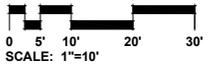


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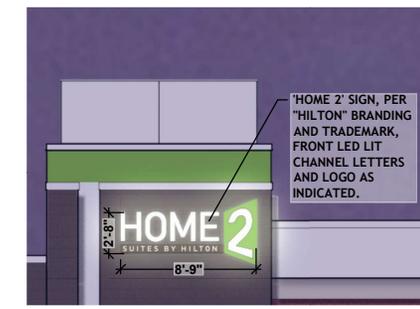
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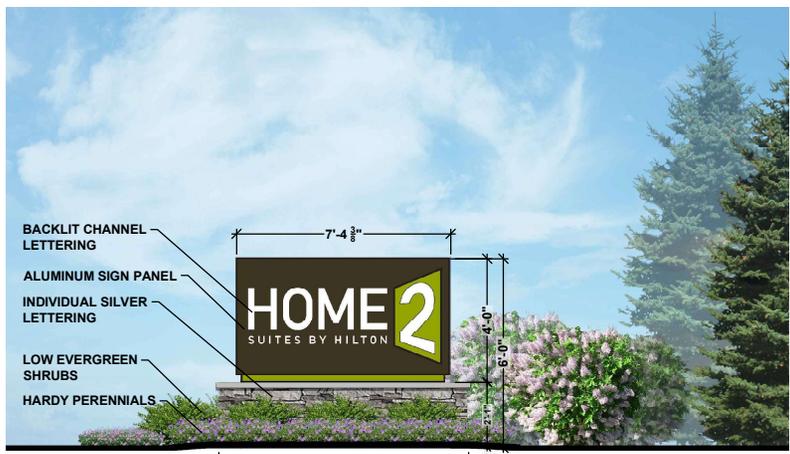
RETAINING WALL ELEVATION: FACING NORTH



WALL SIGN: DAY
SCALE: 1/8"=1'-0"



WALL SIGN: NIGHT
SCALE: 1/8"=1'-0"



GROUND SIGN: DAY
SCALE: 1/4"=1'-0"



GROUND SIGN: NIGHT
SCALE: 1/4"=1'-0"

SIGN & RETAINING WALL DETAILS

HOME2 HOTEL BY HILTON
LINCOLNSHIRE, ILLINOIS

6/13/2019



ADVANTAGE
CONSULTING ENGINEERS

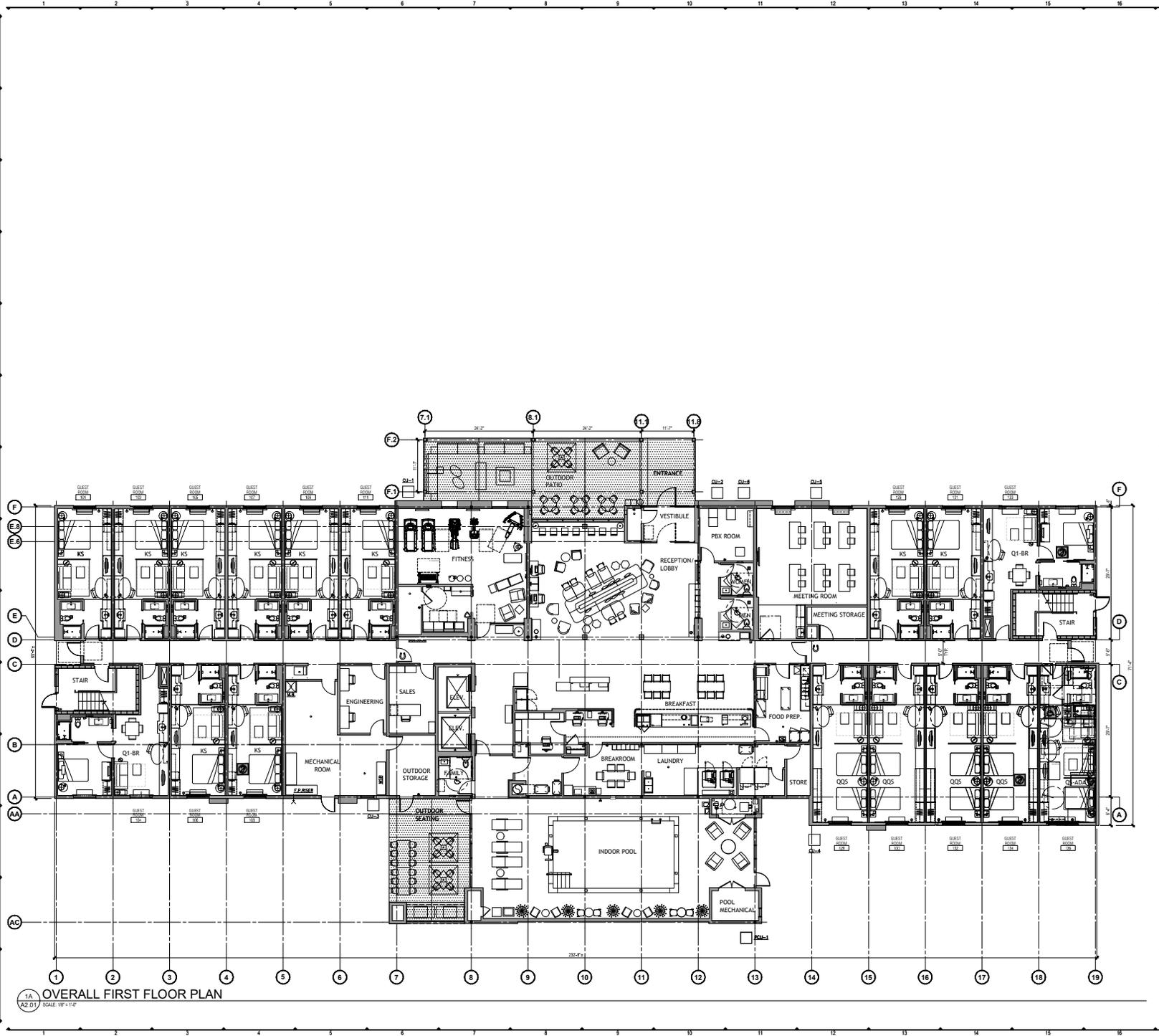
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1A OVERALL FIRST FLOOR PLAN
A2.01 SCALE: 1/8" = 1'-0"

- KEY NOTES:**
- FIRE EXTINGUISHERS SHALL PROVIDE EMERGENCY ACCESS TO ALL AMBULANCE STRETCHERS
 - FLOOR AND WALLS SHALL BE BROUGHT TO ACCOMMODATE AN AMBULANCE STRETCHER
 - GENERAL BUILDING DIMENSIONS BASED ON WOOD FRAME CONSTRUCTION. CEILING DIMENSION SHALL VARY BASED ON VARYING CEILING IN CONCRETE MANSARD STAIR ENCLOSURE
 - ALTERNATING TREAD STAIR FROM FOURTH FLOOR STAIR LEADING TO ROOF
 - LINE OF ROOF CANOPY VERTICAL
 - VEHICULAR DROP OFF - REFER TO SITE PLAN AND DETAILS
 - MECHANICAL, ELECTRICAL AND PLUMBING CHASE
 - CARRY CABLE PATTERNS INTO GUEST TO TRANSITION STAIR AS INDICATED - REFER TO ELECTRICAL TRANSFORMATIONAL FLOOR PLAN
 - FLOOR DRAIN
 - FIXED UNIT
 - STAIR RISER MUST NOT ENCRUSH INTO AREA OF REFUGE
 - POOR USE PROOF FLOOR WHERE INDICATED
 - HOTEL LAUNDRY EQUIPMENT - REFER TO ENLARGED PLAN
 - GUEST LAUNDRY EQUIPMENT - REFER TO ENLARGED PLAN
 - PROVIDE CONVENIENCE OUTLETS IN CORRIDORS FOR POWER/ELECTRICAL EQUIPMENT AT MINIMUM EVERY 50'
 - DASHED LINE INDICATES FULLY CONCEALED ROOF LEADER FROM CANOPY ROOF TO EXTERIOR WALL CAVITY
 - SWAMPY ROOF OVERFLOW SCOPED
 - ACCESSIBLE ICE MACHINE WITH NO CURBED ACCESSIBLE APPROACH AREA - PROVIDE FLOOR DRAIN CAPTURED UNDER MACHINE AND PROVIDE LIFE CONFORMANCE WITHIN 5' WITHOUT AFFECTING ACCESSIBLE REQUIREMENTS. INSTALL DRAIN PIPES REFER TO MECHANICAL FLOOR PLAN. CHECK LOCAL AND STATE CODES FOR ADDITIONAL REQUIREMENTS FOR ICE MACHINE AREA
 - ROOF OF POOL BELOW
 - CANOPY TRILLS BELOW
 - SPRINKLER VENT LOCATED - REFER TO ELEVATIONS
 - 30" x 30" HONEY COMB LOCATED
 - MAINTENANCE DESK
 - WIRE SHELVING SYSTEM - REFER TO FRIE
 - FIRE EXTINGUISHER CABINET IN PUBLIC AREA. INSTALL SO THAT IT IS NOT OBSTRUCTED BY OTHER ITEMS
 - MEMBRANE ROOF - SLOPE STRUCTURE TO DRAIN TOWARDS ROOF DRAINAGE TRAP
 - PAVED WALKWAY LOCATED
 - ROOF LEADER AND OVERFLOW DRAIN
 - ROOF HATCH, SEE PER LOCAL BUILDING CODE, ACCESSIBLE VIA PLANNING TRAP OR STAIR
 - ROOF FINISH
 - GRAVEL STOP EDGE
 - EXHAUST FAN
 - WALL UP AN UNIT ON ROOF CURB
 - ELEVATOR UNDER ROOF PER LOCAL CODE
 - MINERATED GLASS BEACON REFER TO EXTERIOR ELEVATIONS
 - LAUNDRY CHUTE VENT
 - ALUMINUM GUTTER AND DOWNSPOUT
 - MECHANICAL EQUIPMENT SCREEN TO BE TALL ENOUGH TO FULLY FREE EQUIPMENT. PROVIDE CLEARANCE AND ACCESS TO EQUIPMENT FOR MAINTENANCE MANUFACTURER AND/OR LOCAL CODE REQUIREMENTS
 - REWARD BEACON ENTRANCE AND WAREHOUSE. LOCATED TO THE TOP OF ROOF. PROVIDE A MINIMUM OF 4" VENT CLEARANCE OF ROOF. PROVIDE CLEAR FLOOR SPACE AS REQUIRED BY LOCAL CODE AT ENTRANCE
 - SPRINKLER
 - FIRE RATED 4" HIGH WALL SIDE INDICATED. PROVIDE APPROPRIATE WALL SIDE TREATMENT
 - MECHANICAL LOADER
 - FLUORESCENT FLOODLIGHT
 - EXPANDED CORNER TO HAVE 1" RADIUS BALUNGE
 - ALTERNATING TREAD STAIR TO UPPER ROOF
 - INDICATES DIRECTION OF CHAIR PATTERNS. REFER TO SIFR FOR DIRECTION
 - LAUNDRY CHUTE LOCATIONS CONTAINED WITHIN 30" DIA. RATED SWIFT WITH RATED DOOR

SYMBOL / FIXTURES KEY

⊠	ACCESSIBLE ROOM
⊡	ST ROOM - REFER TO ELECTRICAL SUBSYSTEMS FOR POWER AND SIGNAL
⊢	SMOKE DETECTOR OR PHOTOPEAK DETECTOR ALARM SYSTEM ALARM DRAWINGS

- GENERAL NOTES THIS SHEET**
- REFER TO DIMENSIONS OF ROOF PLAN FOR ROOF DRAIN
 - REFER TO HOME2 SUITES BY HILTON STANDARDS MANUAL FOR ROOF DRAIN FOR PERMANENT BLASTPROOF, BE IN FOR LOCAL CODES
 - REFER TO HOME2 SUITES BY HILTON STANDARDS MANUAL FOR ADDITIONAL REQS FOR STORAGE AREAS
 - REFER TO HOME2 SUITES BY HILTON STANDARDS MANUAL FOR ADDITIONAL REQS FOR MECHANICAL, ELECTRICAL, & EQUIPMENT ROOMS
 - REFER TO HOME2 SUITES BY HILTON STANDARDS MANUAL FOR REQS FOR LIFE CONFORMANCE
 - REFER TO HOME2 SUITES BY HILTON STANDARDS MANUAL FOR ADDITIONAL REQS FOR PER LOCAL CODE. FIRE EXTINGUISHER LOCATIONS WITHIN 30" DIA. RATED SWIFT WITH RATED DOOR
 - REFER TO HOME2 SUITES BY HILTON STANDARDS MANUAL FOR ADDITIONAL REQS FOR PER LOCAL CODE
 - REFER TO DIMENSIONS FOR FURNITURE & EQUIPMENT REQS
 - REFER TO HOME2 SUITES BY HILTON STANDARDS MANUAL FOR REQS FOR PER LOCAL CODE
 - FIRE ALARM SYSTEM SHALL HAVE PERMANENTLY INSTALLED BATTERIES TO BE MAINTAINED BY THE USER. ALARMS SHALL BE LOCATED IN PUBLIC COMMON AREAS AS REQUIRED BY LOCAL JURISDICTIONS AS WELL AS COMMERCIAL PARTIES
 - ALARMING, REFER TO ELECTRICAL AND MECHANICAL DRAWINGS FOR ADDITIONAL REQS FOR THE SYSTEM. UNLESS OTHERWISE SPECIFIED, REFER TO LOCAL AUTHORITIES
- SCALE: 1/8" = 1'-0"
-

HOME2
SUITES BY HILTON

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ISSUE INFORMATION

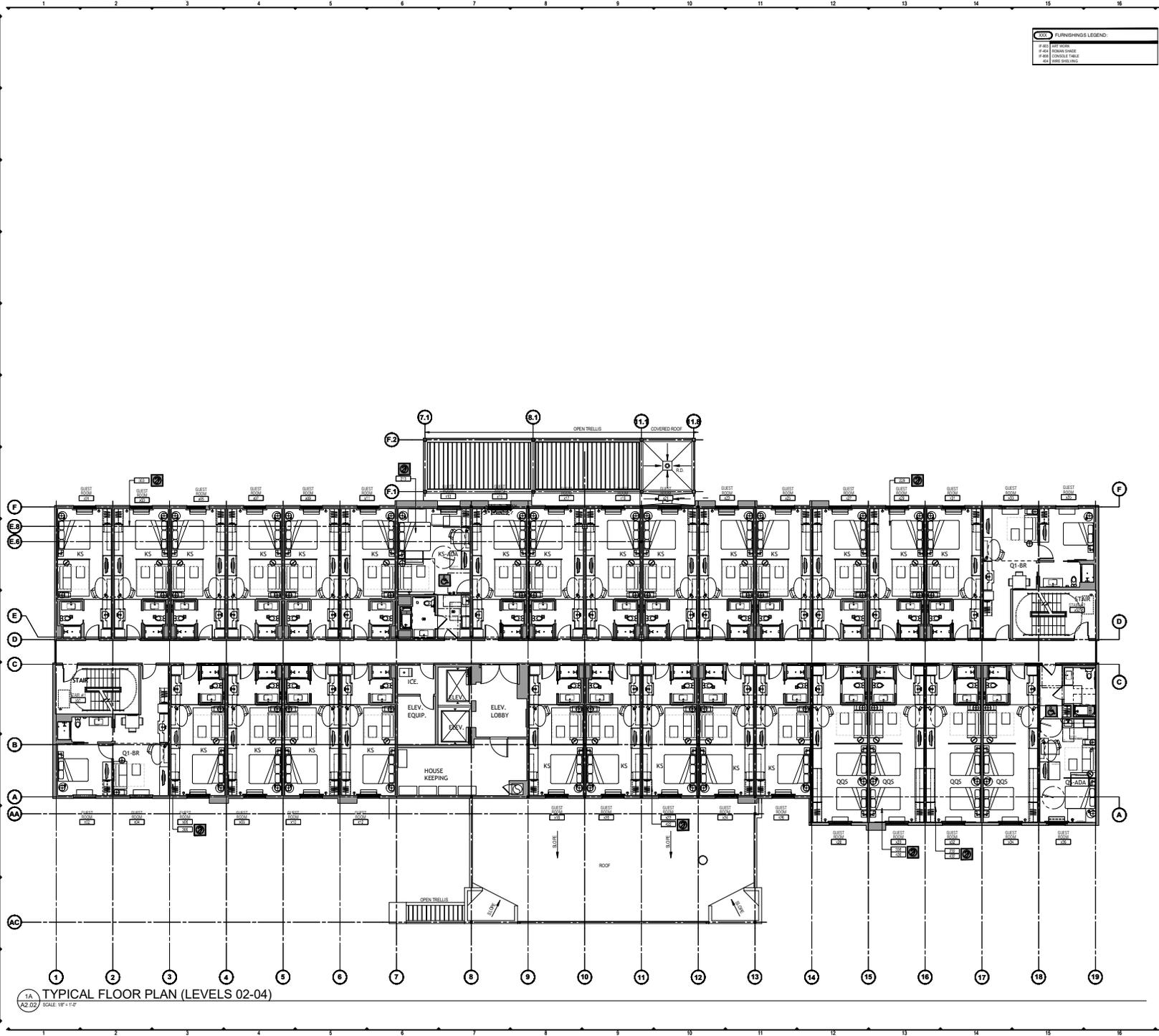
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SHEET INFORMATION

FIRST FLOOR PLAN

PAI # 19112.00

A2.01



FURNISHINGS LEGEND

□	# 001 ART WORK
□	# 002 CHAIR
□	# 003 CONSOLE TABLE
□	# 004 BED CLOSET

- KEY NOTES:**
1. FIRE ELEVATOR SHALL PROVIDE EMERGENCY ACCESS TO ALL FLOORS AND BE CAPABLE OF ACCOMMODATING AN AMBULANCE STRETCHER.
 2. DETAIL BUILDING OVERHEADS BASED ON WOOD FRAME CONSTRUCTION. DETAIL DIMENSION SHALL BE BASED ON VERTICAL FINISH CONSTRUCTION.
 3. EXCESS STAIR IN CONCRETE MANSARD STAIR ENCLOSURE.
 4. ALTERNATING TREAD STAIR FROM FOURTH FLOOR STAIR LEADING TO ROOF.
 5. USE OF ROOF CANOPY VENT.
 6. VENTILATION SHROFF OFF - REFER TO SITE PLAN AND DETAILS.
 7. MECHANICAL, ELECTRICAL AND PLUMBING CHASE.
 8. GUEST ROOM PARTITION INTO GUEST TO TRANSITION STAIR AS INDICATED - REFER TO GUEST AND TRANSITION FLOOR PLAN.
 9. FLOOR DRUM.
 10. FLOOR UNIT.
 11. STAIR RISER MUST NOT ENCRUSH INTO AREA OF REFUGE.
 12. FLOOR USE PROFILE REFER WHERE INDICATED.
 13. HOTEL LAUNDRY EQUIPMENT - REFER TO ENLARGED PLAN.
 14. GUEST LAUNDRY EQUIPMENT - REFER TO ENLARGED PLAN.
 15. PROVIDE CONVICTION OUTLETS IN CONVICTION FOR HOUSEKEEPING EQUIPMENT AT MINIMUM 1000 SF.
 16. DASHED LINE INDICATES FULLY CONCEALED ROOF LEADER FROM CANOPY ROOF TO EXTERIOR WALL CAVITY.
 17. SLOPE ROOF OVERFLOW SCUPPER.
 18. ACCESSIBLE ICE MACHINE WITH REQUIRED ACCESSIBLE APPROACH AREA - PROVIDE FLOOR DRUM OVERHANG UNDER MACHINE AND PROVIDE ACCESSIBLE APPROACH AREA WITHOUT AFFECTING ACCESSIBLE REQUIREMENTS. WALLS SHALL BE FINISHED. REFER TO ENLARGED SECTION FOR MACHINE AREA AND CHECK FOR ADDITIONAL REQUIREMENTS FOR ICE MACHINE AREA.
 19. ROOF OF POOL BELOW.
 20. CANOPY TRELLIS BELOW - REFER TO ELEVATIONS.
 21. REFER VENT LOCATOR - REFER TO ELEVATIONS.
 22. REFER TO MECHANICAL LOCATION.
 23. MAINTENANCE DESK.
 24. WIRE DRINKING SYSTEM - REFER TO FRISE.
 25. FIRE EXTINGUISHER CABINET IN PUBLIC AREA SHALL BE INSTALLED SO THAT IT IS NOT OBSTRUCTED BY OTHER ITEMS OR EQUIPMENT.
 26. MEMBRANE ROOF - SLOPE STRUCTURE TO DRAIN TOWARDS ROOF DRAINAGE TRAP.
 27. INSULATED WALL/CEILING/ROOF.
 28. ROOF LEADER AND OVERFLOW DRAIN.
 29. ROOF HATCH, SEE PER LOCAL BUILDING CODES, ACCESSIBLE VIA PLANNING TRAILING STAIR.
 30. ROOF FINISH.
 31. GROUND STOP EDGE.
 32. EXHAUST FAN.
 33. MAKE UP AIR UNIT ON ROOF CURB.
 34. ELEVATOR UNDER ROOF PERMITS.
 35. UNFINISHED GLASS BEACON REFER TO EXTERIOR ELEVATIONS.
 36. LAUNDRY CHUTE VENT.
 37. ALUMINUM GUTTER AND DOWNSPUT.
 38. MECHANICAL EQUIPMENT SCREEN TO BE TALL ENOUGH TO FULLY PROTECT EQUIPMENT. PROVIDE CLEARANCE AND ACCESS AS REQUIRED BY EQUIPMENT MANUFACTURER AND/OR LOCAL CODE PROVISIONS.
 39. REARWARD BEACON ENTRANCE AND WAREHOUSE - LOCATED SO THAT TOP OF REARWARD BEACON OR HOUSE PROFILE OPTIONAL VENT ROOF BUT NOT INTERFERE WITH HOUSE OR HOUSE PROFILE OPTIONAL VENT ROOF. PROVIDE CLEAR FLOOR SPACE AS REQUIRED BY ACCESSIBLE APPROACH.
 40. SPLASHBLOCK.
 41. FIP WARDROBE IF HIGH ON ALL SIDES INDICATED PROVIDE APPROXIMATE WING SLOPE TREATMENT.
 42. MECHANICAL LOADER.
 43. FLOORED FLOORLIGHT.
 44. EXPOSED CABLE CORNER TO HAVE 1" RADIUS BULGE.
 45. EXPOSED CABLE CORNER TO HAVE 1" RADIUS BULGE.
 46. ALTERNATING TREAD STAIR TO UPPER ROOF.
 47. INDICATES DIRECTION OF CHAIRS PATTERN. REFER TO WIP FOR DIRECTION.
 48. LAUNDRY CHUTE LOCATION CONTAINED WITHIN 24" HIGH RATED SHIRT WITHEATED DOOR.

HOME2
SUITES BY HILTON

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350 Knightsbridge Parkway
Lincolnshire, IL 60069

ISSUE INFORMATION

VERSION 2.2	REVISIONS
02/25/19	25% Preliminary Plans - Hilton
03/06/19	DRT submission to village
04/02/19	DRT submission to village
06/10/19	ARB submission to village

- GENERAL NOTES THIS SHEET**
1. REFER TO ENLARGED GUEST ROOM FLOOR PLAN FOR FLOOR FINISH.
 2. REFER TO HOME2 SUITES BY HILTON STANDARDS MANUAL FOR ADDITIONAL REFS FOR FURNITURE BLANKETS, SEE WIP FOR GUEST ROOM CONSTRUCTION.
 3. REFER TO HOME2 SUITES BY HILTON STANDARDS MANUAL FOR ADDITIONAL REFS FOR STORAGE AREAS.
 4. REFER TO HOME2 SUITES BY HILTON STANDARDS MANUAL FOR ADDITIONAL REFS FOR MECHANICAL, ELECTRICAL, & EQUIPMENT PROVISIONS.
 5. REFER TO HOME2 SUITES BY HILTON STANDARDS MANUAL FOR ADDITIONAL REFS FOR LOCAL PER LOCAL CODE. REFER TO ENLARGED LOCATIONS FOR LOCAL PER LOCAL CODE. REFER TO ENLARGED PLAN FOR ADDITIONAL REFS FOR LOCAL PER LOCAL CODE.
 6. REFER TO HOME2 SUITES BY HILTON STANDARDS MANUAL FOR ADDITIONAL REFS FOR LOCAL PER LOCAL CODE.
 7. REFER TO STANDARDS FOR FURNITURE & EQUIPMENT REFS.
 8. REFER TO STANDARDS FOR FURNITURE & EQUIPMENT REFS.
 9. REFER TO STANDARDS FOR FURNITURE & EQUIPMENT REFS.
 10. FIRE ALARMS SHALL HAVE PERMANENTLY INSTALLED BATTERIES AND FIRE ALARMS SHALL HAVE PERMANENTLY INSTALLED BATTERIES AS REQUIRED BY LOCAL AUTHORITIES. ALARMS SHALL BE LOCATED IN PUBLIC COMMON AREAS. REFER TO ENLARGED PLAN FOR ADDITIONAL REFS FOR LOCAL PER LOCAL CODE.

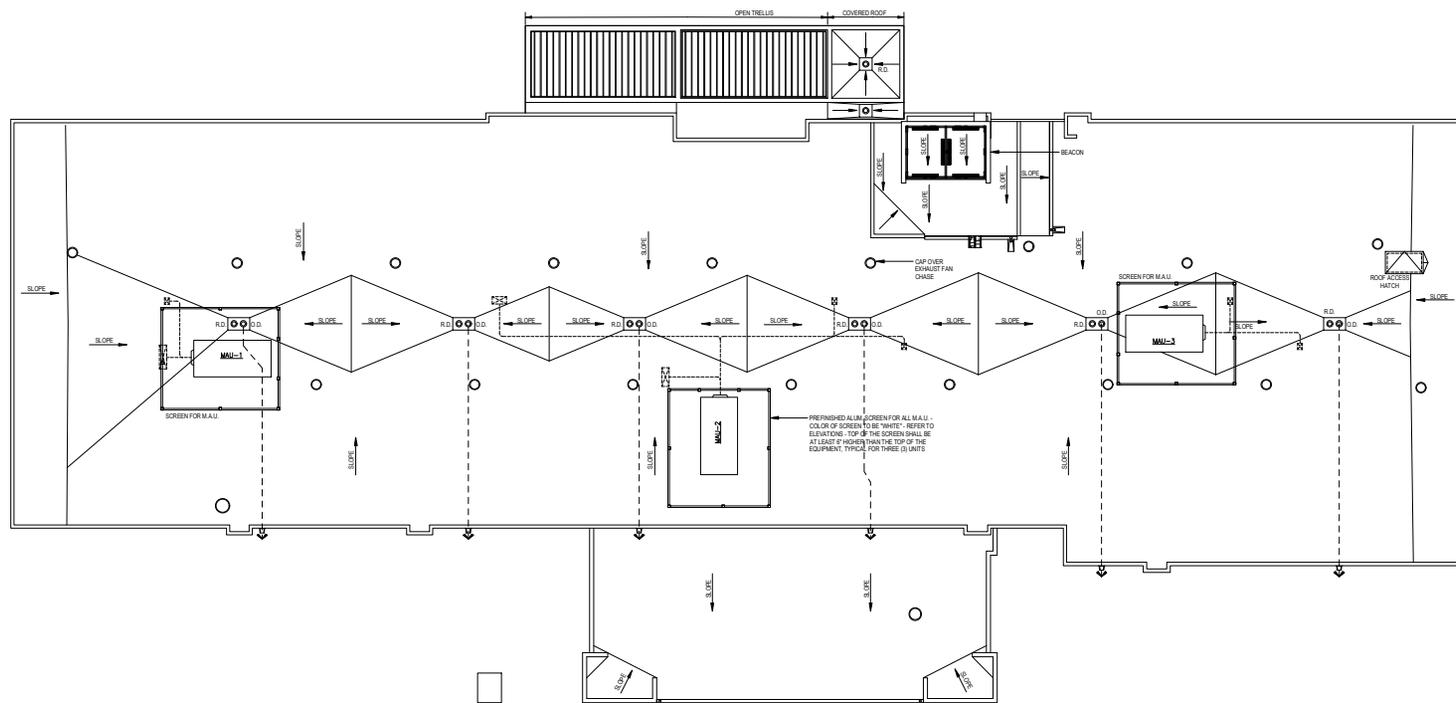
1A TYPICAL FLOOR PLAN (LEVELS 02-04)
A2.02 SCALE: 1/8" = 1'-0"

SHEET INFORMATION

TYPICAL FLOOR PLAN

PAI # 19112.00

A2.02



14K PLAN DETAIL
A2.03 SCALE 1/4" = 1'-0"

KEY NOTES:

- 1. FIVE ELEVATOR CARS SHALL PROVIDE EMERGENCY ACCESS TO ALL FLOORS AND BE LARGE ENOUGH TO ACCOMMODATE AN AMBULANCE STRETCHER
- 2. DETAIL BUILDING CHANGES BASED ON WOOD FRAME CONSTRUCTION. DETAIL DIMENSION SHALL VARY BASED ON VARYING BUILDING CONSTRUCTION
- 3. EXPOSED STAIR IN CONCRETE TO WINDWAY STAIR ENCLOSURE
- 4. ALTERNATING TREAD STAIR FROM FOURTH FLOOR STAIR LANDING TO ROOF
- 5. USE OF ROOF CANOPY WALKWAY
- 6. VERTICAL SLOPE OFF - REFER TO SITE PLAN AND DETAILS
- 7. MECHANICAL, ELECTRICAL AND PLUMBING CHASE
- 8. CHASE CARPET PATTERNS AND DOORS TO TRANSITION STAIR AS INDICATED - REFER TO KEY PLAN AND TRANSITION DRAWINGS
- 9. FLOOR DRAIN
- 10. FLOOR UNIT
- 11. STAIR RISE MUST NOT ENCRUSH INTO AREA OF REFUGE
- 12. ROOF USE PROOF FRESH AIR INTAKE REQUIRED
- 13. HOTEL LAUNDRY EQUIPMENT - REFER TO ENLARGED PLAN
- 14. GUEST LAUNDRY EQUIPMENT - REFER TO ENLARGED PLAN
- 15. PROVIDE CONDENSATE OUTLETS IN CONDENSERS FOR ROOF DRAINAGE EQUIPMENT AT MINIMUM 2" DIA
- 16. DASHED LINE INDICATES NOT FULLY CONCEALED ROOF LEADER FROM CANOPY ROOF TO EXTERIOR WALL CAVITY
- 17. CANOPY ROOF OVERFLOW SCUPPER
- 18. ACCESSIBLE LIFT MACHINE WITH NO CURBED ACCESSIBLE APPROACH AREA - PROVIDE FLOOR DRAIN CONDENSATE DRAINAGE AND FRESH AIR INTAKE TO MEET ALL CODES WITHOUT AFFECTING ACCESSIBLE REQUIREMENTS. WALLS SHALL BE FINISHED TO MATCH SURROUNDING WALLS. PROVIDE WALLS AND ANCHORS FOR ADDITIONAL REQUIREMENTS FOR ICE MACHINE AREA
- 19. ROOF OF POOL BELOW
- 20. CANOPY TRELLIS BELOW
- 21. REFER VENT COVER - REFER TO ELEVATIONS
- 22. 3" DIA. VENT STACK LOCATION
- 23. MAINTENANCE DECK
- 24. WIRE DRINKING SYSTEM - REFER TO FRESH AIR INTAKE
- 25. FIRE EXTINGUISHER CABINET IN PUBLIC AREAS TO BE INSTALLED SO THAT NO OBSTRUCTION TO WALKWAY OR EGRESS
- 26. MEMBRANE ROOF - SLOPE STRUCTURE TO DRAIN TOWARDS ROOF DRAINAGE SYSTEM
- 27. INSULATED WALL SECTION
- 28. ROOF LEADER AND OVERFLOW DRAIN
- 29. ROOF HATCH, SEE PER LOCAL BUILDING CODES, ACCESSIBLE VIA AN ALTERNATING TREAD STAIR
- 30. ROOF FINISH
- 31. GROUND STOP EDGE
- 32. EXHAUST FAN
- 33. NAME UP AIR UNIT ON ROOF CURB
- 34. ELEVATOR CURB WITH PERFORATED
- 35. UNFINISHED GLASS BEACON, REFER TO EXTERIOR ELEVATIONS
- 36. LAUNDRY CHUTE VENT
- 37. ALUMINUM GUTTER AND DOWNSPOUT
- 38. MECHANICAL EQUIPMENT SCREEN TO BE TALL ENOUGH TO FULLY PROTECT EQUIPMENT, PROVIDE CLEARANCE AND ACCESS AS REQUIRED BY EQUIPMENT MANUFACTURER AND/OR LOCAL CODE PROVISIONS
- 39. KEYCARD READER ENTRANCE WHEREAPPROPRIATE, LOCATED SO THAT TOP OF READER IS MINIMUM OF 48" ABOVE GRADE OR HEIGHT OF ROOF DRAINAGE
- 40. ROOF BULLION INTERIOR OR INSIDE PHONE OPTIONAL VENT TERMINATION, INDICATE TOP DEVICE IS MINIMUM OF 48" ABOVE GRADE, PROVIDE CLEAR FLOOR SPACE AS REQUIRED BY ACCESSIBILITY AT DEVICE
- 41. SPLASHBLOCK
- 42. RFP WANGCOFF 4" OF HIGH ON ALL SIDES INDICATED, PROVIDE APPROPRIATE WIND LOAD TREATMENT
- 43. MECHANICAL LOADER
- 44. FLUORESCENT FLOODLIGHT
- 45. EXPOSED CORNER TO HAVE 1" RADIUS BULGE
- 46. WINDWAY PROTECTION WALL IN CONDENSING COOLER TO ROOF
- 47. ALTERNATING TREAD STAIR TO OPEN ROOF
- 48. INDICATES DIRECTION OF CARPET PATTERNS, REFER TO WIRING SCHEDULE
- 49. ALL WINDY GATE LOCATION CONTAINED WITHIN UNWINDING SWIFT WITH RETRACTION DOOR

SYMBOL / FIXTURES KEY

⊙	ACCESSIBLE ROOM
⊙	5/8" BOLT - REFER TO BULKHEAD SUBSTITUTION PLAN FOR POWER AND SIGNAL
⊙	WANGCOFF DOOR HOLD-OPENER TIED TO BUILDING ALARM SYSTEM - REFER TO DOOR SCHEDULE, SHEET 4

- GENERAL NOTES THIS SHEET
1. REFER TO ENLARGED USE OF RECORD AND FOR DOOR TAGS
 2. REFER TO HOME 2 SUITES BY HILTON ENLARGED MANUAL FOR ADDITIONAL NEEDS FOR PASSENGER BLANKETS, BE IN HOTEL LAUNDRY CONSTRUCTION
 3. REFER TO HOME 2 SUITES BY HILTON ENLARGED MANUAL FOR ADDITIONAL NEEDS FOR STORAGE AREAS
 4. REFER TO HOME 2 SUITES BY HILTON ENLARGED MANUAL FOR ADDITIONAL NEEDS FOR MECHANICAL, ELECTRICAL, & EQUIPMENT PROVISIONS
 5. REFER TO ENLARGED MANUAL FOR ADDITIONAL NEEDS FOR ADDITIONAL NEEDS FOR MECHANICAL, ELECTRICAL, & EQUIPMENT PROVISIONS TO BE LOCATED PER LOCAL CODE, REFER TO ENLARGED MANUAL FOR ADDITIONAL NEEDS FOR MECHANICAL, ELECTRICAL, & EQUIPMENT PROVISIONS
 6. REFER TO HOME 2 SUITES BY HILTON ENLARGED MANUAL FOR ADDITIONAL NEEDS FOR STORAGE AREAS
 7. REFER TO ENLARGED MANUAL FOR ADDITIONAL NEEDS FOR STORAGE AREAS
 8. REFER TO ENLARGED MANUAL FOR ADDITIONAL NEEDS FOR STORAGE AREAS
 9. REFER TO ENLARGED MANUAL FOR ADDITIONAL NEEDS FOR STORAGE AREAS
 10. REFER TO ENLARGED MANUAL FOR ADDITIONAL NEEDS FOR STORAGE AREAS



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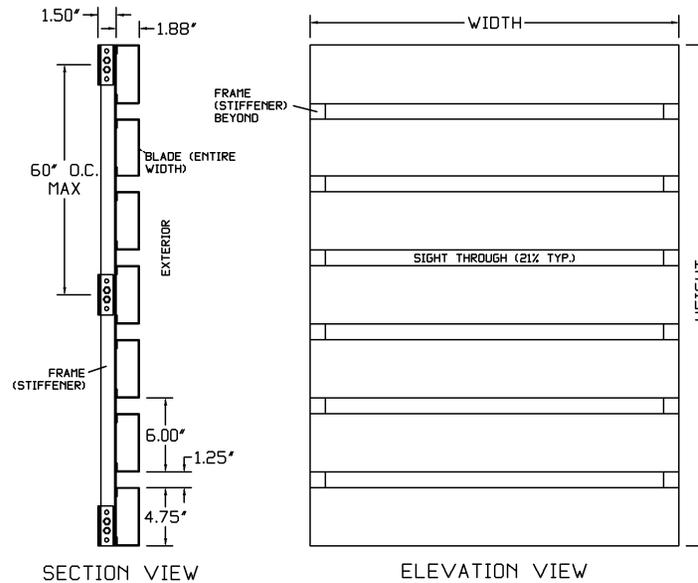
ISSUE INFORMATION

VERSION	DATE	DESCRIPTION
VERSION 2.2		REVISIONS
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04/09/2019	CRT submission to village	
06/10/2019	AMB submission to village	

SHEET INFORMATION
ROOF PLAN

PAI # 19112.00
A2.03

V2TH6 - 2" DEEP HORIZ. TUBE BLADE 6" SPACING EXTRUDED ALUMINUM LOUVERED EQUIPMENT SCREEN

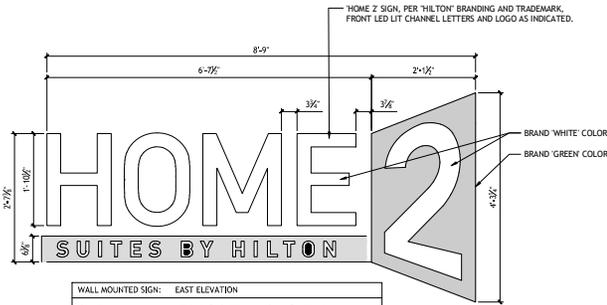


BLADE - 0.081" THICKNESS TYPE 6063-T5 EXTRUDED ALUMINUM
 FRAME - CONCEALED 0.125" THICKNESS TYPE 6063-T5 EXTRUDED ALUMINUM
 DESIGNED FOR 30 PSF WIND LOAD
 SIZES 12" WIDE X 12" HIGH UP TO UNLIMITED SIZE AVAILABLE

OPTIONS:
 HIGHER WIND LOAD RATINGS
 ARCHITECTURAL FINISHES
 HINGED SINGLE AND DOUBLE DOORS

NOTE:
 STRUCTURAL FRAMING TO SUPPORTING STRUCTURE (ROOF DECK, WALLS, CONCRETE PAD, ETC.) BY OTHERS. STRUCTURAL FRAMING IS REQUIRED FOR ATTACHMENT POINTS EVERY 60" OF WIDTH AND HEIGHT TO MEET 30 PSF WIND LOAD.

END PANEL	BLADE STIFFENER	VERTICAL MULLION (MULTIPLE PANELS WIDE)	MITERED OUTSIDE CORNER
<p style="font-size: small;">PLAN VIEW</p>	<p style="font-size: small;">PLAN VIEW</p>	<p style="font-size: small;">PLAN VIEW</p>	<p style="font-size: small;">PLAN VIEW</p>
<p style="font-size: small;">TYPICAL MOUNTING (VERTICAL MULLION SHOWN)</p>		<p style="font-size: small;">HORIZONTAL MULLION (MULTIPLE PANELS HIGH)</p>	
<p style="font-size: small;">PLAN VIEW</p>		<p style="font-size: small;">SECTION VIEW</p>	
<p>266 W Mitchell Ave - Cincinnati, OH 45232 PH: (888) 568-8371 Fax: (888) 568-8370</p>		<p>PROJECT</p> <p>CONTRACTOR</p> <p>ARCHITECT</p>	
DRAWN BY: JRR	DATE: 01/2016	DRAWING TYPE: TECHNICAL SHEET	DRAWING TITLE: V2TH6



WALL MOUNTED SIGN: EAST ELEVATION

SIGN TYPE: FRONT LIT INTERNALLY ILLUMINATED CHANNEL LETTERS WITH L.E.D. LIGHT.

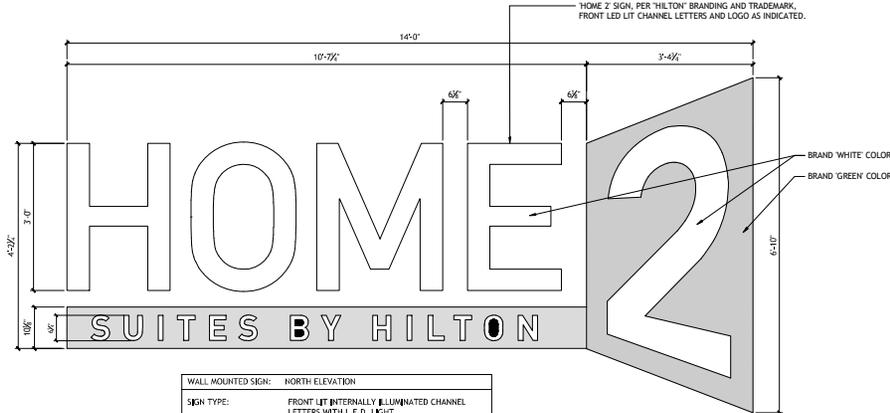
BUILDING FACADE AREA: 10,400 SF

SIGN AREA: 6'-8" x 2'-8" = 17.72 SQ. FT.

TOTAL SIGN AREA: 2'-2" x 4'-4" = 9.38 SQ. FT. (LESS THAN 5% OF EAST ELEVATION)

MOUNTING HEIGHT (BOTTOM OF SIGN): 40'-6" ABOVE GRADE

1C WALL SIGN DETAIL - EAST ELEVATION
SCALE: 1" = 1'-0"



WALL MOUNTED SIGN: NORTH ELEVATION

SIGN TYPE: FRONT LIT INTERNALLY ILLUMINATED CHANNEL LETTERS WITH L.E.D. LIGHT.

BUILDING FACADE AREA: 2,940 SF

SIGN AREA: 10'-8" x 4'-3" = 45.30 SQ. FT.

TOTAL SIGN AREA: 3'-2" x 6'-10" = 21.40 SQ. FT. (LESS THAN 5% OF NORTH ELEVATION)

MOUNTING HEIGHT (BOTTOM OF SIGN): 37'-6" ABOVE GRADE

1B WALL SIGN DETAIL - NORTH ELEVATION
SCALE: 1" = 1'-0"



GROUND SIGN: SEE SITE PLAN FOR LOCATION

SIGN TYPE: ROUTED PUSH THROUGH LETTERS INTERNALLY ILLUMINATED WITH L.E.D. LIGHT (BACK LIT) HALO.

SIGN AREA: BASE: 8'-0" x 2'-0" = 16'-0" S.F.
PANEL: 7'-0" x 4'-0" = 28'-0" S.F.
OVERALL SIGN AREA = 44'-0" S.F.

1A GROUND SIGN DETAIL
SCALE: 3/4" = 1'-0"



DO NOT SCALE OR DIMENSIONS, UNLESS OTHERWISE NOTED. PROVIDE THE DIMENSIONS AS NOTED OR INDICATED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.



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Home2 Hotel by Hilton
350 Knightsbridge Parkway
Lincolnshire, IL 60069

ISSUE INFORMATION

VERSION 2.2

REVISIONS

02/26/2019	20% Preliminary Plans - Hilton
03/02/2019	10% submission to village
04/02/2019	10% submission to village
05/03/2019	ASB submission to village

SHEET INFORMATION

SIGNAGE DETAILS

PAI # 19112.00
A0.04

Final Landscape Plan
HOME2 HOTEL BY HILTON
350 Knightsbridge Parkway
Lincolnshire, Illinois

May 31, 2019

CONSULTANTS:



LANDSCAPE ARCHITECT:
GARY R. WEBER ASSOCIATES, INC
402 WEST LIBERTY DRIVE
WHEATON, ILLINOIS 60187

CIVIL ENGINEER:
ADVANTAGE CONSULTING ENGINEERS
80 MAIN STREET, SUITE 17
LEMONT, ILLINOIS 60439



LOCATION MAP
SCALE: 1"=150'

INDEX OF SHEETS

<u>SHEET NO.</u>	<u>DESCRIPTION</u>
0	COVER SHEET
1	LANDSCAPE PLAN
2	LANDSCAPE SPECIFICATIONS

LANDSCAPE WORK PART 1 - GENERAL

1.1 DESCRIPTION OF WORK

- The work shall consist of furnishing, transporting and installing all seeds, plants and other materials required for:
1. The establishment of trees, shrubs, perennial, annual and lawn areas as shown on Landscape Plan;
 2. The provision of post-planting management, as specified herein;
 3. Any remedial operations necessary in conformance with the plans as specified in this document;
 4. Permits which may be required.

1.2 QUALITY ASSURANCE

- A. Work shall conform to State of Illinois Horticultural Standards and local municipal requirements.
- B. Quality Control Procedures:
1. Ship landscape materials with certificates of inspection as required by governmental authorities. Comply with governing regulations applicable to landscape materials.
 2. Do not make substitutions. If specified landscape material is not obtainable, submit to Landscape Architect proof of non-availability and proposal for use of equivalent material.
 3. Analysis and Standards: Package standard products with manufacturer's certified analysis.

1.3 SUBMITTALS

- A. Planting Schedule
Submit three (3) copies of the proposed planting schedule showing dates for each type of planting.
- B. Maintenance Instruction - Landscape Work
Submit two (2) copies of typewritten instructions recommending procedures to be established by the Owner for the maintenance of landscape work for one full year. Submit prior to expiration of required maintenance periods.
Instructions shall include: watering, fertilizing, spraying, mulching and pruning for plant material and trimming groundcover. Instructions for watering, fertilizing and mowing grass areas shall be provided ten (10) days prior to request for inspection for final acceptance. Landscape Architect shall receive copies of all instructions when issued.
- C. Submit two (2) copies of soil test of existing topsoil with recommendations for soil additive requirement to Landscape Architect for review and written approval.
- D. Submit two (2) samples of shredded hardwood bark mulch, erosion control blankets, and all other products and materials as specified on plans to Landscape Architect for review and written approval.
- E. Nursery packing lists indicating the species and quantities of material installed must be provided to the Owner and/or City upon request.

1.4 JOB CONDITIONS

- A. Examine and evaluate grades, soils and water levels. Observe the conditions under which work is to be performed and notify Landscape Architect of unsatisfactory conditions. Do not proceed with the work until unsatisfactory conditions have been corrected in an acceptable manner.
- B. Utilities: Review underground utility location maps and plans; notify local utility location services; demonstrate an awareness of utility locations; and certify acceptance of liability for the protection of utilities during course of work. Contractor shall be responsible for any damage to utilities or property.
- C. Excavation: When conditions detrimental to plant growth are encountered such as rubble fill, adverse drainage conditions or obstructions, notify Landscape Architect before planting.

1.5 GUARANTEES

- A. Guarantee seeded and sodded areas through the specified maintenance period and until final acceptance.
- B. Guarantee trees, shrubs, groundcover and perennials for a period of one year after date of acceptance against defects including death and unsatisfactory growth, except for defects resulting from neglect by Owner, abuse or damage by others or unusual phenomena or incidents which are beyond Landscape Installer's control.

LANDSCAPE WORK PART 2 - PLANT MATERIALS

2.1 LAWN SOD

Provide strongly rooted sod, not less than two (2) years old and free of weeds and undesirable native grasses. Provide only sod capable of growth and development when planted (viable, not dormant) and in strips not more than 18" wide x 4' long. Provide sod composed of a 5-way blend of Kentucky Bluegrass such as Midnight, Allure, Viva, Washington, Liberty.

2.2 GROUNDCOVERS, PERENNIALS AND ANNUALS

Provide plants established and well-rooted in removable containers or integral peat pots and with not less than the minimum number and length of runners required by ANSI Z60.1 for the pot size shown or listed.

2.3 TREES AND SHRUBS

- A. Name and Variety: Provide nursery grown plant material true to name and variety.
- B. Quality: Provide trees, shrubs and other plants complying with the recommendations and requirements of ANSI Z60.1 "Standard for Nursery Stock" and as further specified.
- C. Deciduous Trees: Provide trees of height and caliper listed or shown and with branching configuration recommended by ANSI Z60.1 for type and species required. Provide single stem trees except where special forms are shown or listed. Provide balled and burlapped (BBB) deciduous trees.
- D. Deciduous Shrubs: Provide shrubs of the height shown or listed and with not less than the minimum number of canes required by ANSI Z60.1 for the type and height of shrub required. Provide balled and burlapped (BBB) deciduous shrubs.
- E. Coniferous Evergreen: Provide evergreens of the sizes shown or listed. Dimensions indicate minimum spread for spreading and semi-spreading type evergreens and height for other types. Provide quality evergreens with well-balanced form complying with requirements for other size relationships to the primary dimension shown. Provide balled and burlapped (BBB) evergreen trees and containerized shrubs.
- F. Inspection: All plants shall be subject to inspection and review at the place of growth or upon delivery and conformity to specification requirements as to quality, right of inspection and rejection upon delivery at the site or during the progress of the work for size and condition of balls or roots, diseases, insects and latent defects or injuries. Rejected plants shall be removed immediately from the site.

2.4 PLANTING SOIL MIXTURE

Provide planting soil mixture consisting of clean uncompacted topsoil (stockpiled at site) for all planting pits, perennial, annual and groundcover areas. Topsoil shall be conditioned based on any recommendations resulting from the soil test, in I.S.C.

2.5 AMENDED SOIL MIXTURE

Provide amended soil mixture consisting of 20% sand, 30% compost & 50% topsoil. Compost shall consist of 35% - 65% organic material and less than 1% manufactured inert material. Amended soil mixture shall pass through a 1/2" screen. Mix materials thoroughly.

2.6 MULCH

Provide mulch consisting of shredded hardwood. Provide sample to Landscape Architect for approval prior to ordering materials.

LANDSCAPE WORK PART 3 - EXECUTION

3.1 PLANTING SCHEDULE

At least thirty (30) days prior to the beginning of work in each area, submit a planting schedule for approval by the Landscape Architect.

3.2 PLANTINGS

- A. Sodding New Lawns
1. Remove existing grass, vegetation and turf. Dispose of such material legally off-site, do not turn over into soil being prepared for lawns.
 2. Till to a depth of not less than 6"; apply soil amendments as needed; remove high areas and fill in depressions; till soil to a homogeneous mixture of fine texture, remove lumps, clods, stones over 1" diameter, roots and other extraneous matter. Dispose of such material legally off-site.
 3. Sodded areas shall receive an application of commercial fertilizer at the rate of 10 lbs. per 1,000 sq. ft. and shall have an analysis of 16-8-8.
 4. Lay sod within 24 hours from time of stripping.
 5. Lay sod to form a solid mass with tightly fitted joints. Butt ends and sides of sod strips; do not overlap. Stagger strips to offset joints in adjacent courses. Work from boards to avoid damage to subgrade or sod. Tamp or roll lightly to ensure contact with subgrade. Work filled soil into minor cracks between pieces of sod; remove excess to avoid smothering of adjacent grass.
 6. Water sod thoroughly with a fine spray immediately after planting.
- B. Groundcover and Perennial Beds
- Groundcover, perennials, and annuals shall be planted in continuous beds of planting soil mixture a minimum of 8" deep. Install per spacing indicated on plan.

C. Trees and Shrubs

1. Set balled and burlapped (BBB) stock plumb and in center of pit or trench with top of ball at an elevation that will keep the root flare exposed upon backfill and mulching. Remove burlap from top and sides of balls; retain on bottoms. When set, place additional topsoil backfill around base and sides of ball and work each layer to settle backfill and eliminate voids and air pockets. When excavation is approximately 2/3 full, water thoroughly before placing remainder of backfill. Repeat watering until no more is absorbed. Water again after placing final layer of backfill.
2. Dish top of backfill to allow for mulching. Provide additional backfill berm around edge of excavations to form shallow saucer to collect water.
3. Mulch pits, trenches and planted areas. Provide not less than 2" thickness of mulch and work into top of backfill and finish level with adjacent finish grades. Maintain exposed root flare at all times.
4. Prune only injured or dead branches from flowering trees, if any. Protect central leader of tree during shipping and pruning operations. Prune shrubs to retain natural character in accordance with standard horticultural practices.
5. Remove and replace excessively pruned or ill-formed stock resulting from improper pruning.
6. The Contractor shall be wholly responsible for assuring that all trees are planted in a vertical and plumb position and remain so throughout the life of this contract and guarantee period. Trees may or may not be staked and guyed depending upon the individual preference of the Contractor; however, any bracing procedure(s) must be approved by the Owner prior to its installation.

3.3 INITIAL MAINTENANCE

- A. Begin maintenance immediately after planting, continuing until final acceptance. A minimum of thirty (30) days.
- B. Maintain planted and seeded areas by watering, rolling/regrading, replanting and implementing erosion control as required to establish vegetation free of eroded or bare areas.
- C. Compensatory Storage and Native Planting areas are to be mowed only once per spring during the initial three year establishment period.

3.4 CLEAN UP AND PROTECTION

- A. During landscape work, store materials and equipment where directed. Keep pavements clean and work areas and adjoining areas in an orderly condition.
- B. Protect landscape work and materials from damage due to landscape operations, operations by other trades and trespassers. Maintain protection during installation and maintenance periods. Treat, repair or replace damaged landscape work as directed by Landscape Architect.

3.5 INSPECTION AND ACCEPTANCE

- A. The Landscape Architect reserves the right to inspect seeds, plants, trees and shrubs either at place of growth or at site before planting for compliance with requirements for name, variety, size, quantity, quality and mix proportion.
- B. Supply written affidavit certifying composition of seed mixtures and integrity of plant materials with respect to species, variety and source.
- C. Notify the Landscape Architect within five (5) days after completing initial and/or supplemental plantings in each area.
- D. When the landscape work is completed, including maintenance, the Landscape Architect will, upon request, make a final inspection to determine acceptability. After final acceptance, the Owner will be responsible for maintenance.



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HOME2 HOTEL BY HILTON
350 KNIGHTSBRIDGE PARKWAY
LINCOLNSHIRE, ILLINOIS
LANDSCAPE SPECIFICATIONS

4	5.31.2019
3	4.08.2019
2	3.08.2019
1	1.22.2019

REVISIONS

DATE	1.18.2019
PROJECT NO.	AC1942
DRAWN	GFB
CHECKED	LAB
SHEET NO.	





AUTUMN BLAZE MAPLE



SUGAR MAPLE



EXCLAMATION!
LONDON PLANETREE



REDMOND
AMERICAN LINDEN



REGAL SMOOTHLEAF ELM



WHITE FIR



PRAIRIFIRE CRABAPPLE



CORNELIANCHERRY DOGWOOD



IVORY SILK JAPANESE
TREE LILAC



BLACK HILLS SPRUCE



MISSION ARBORVITAE



COLORADO SPRUCE



BAILEY'S REDTWIG
DOGWOOD



ARCTIC FIRE REDTWIG
DOGWOOD



ENDLESS SUMMER
HYDRANGIA



LITTLE HENRY VIRGINIA
SWEETPIRE



GRO-LOW SUMAC



JN CRANBERRY
SELECT VIBURNUM



DWARF KOREAN LILAC



PEKING COTONEASTER

PROPOSED PLANT PALETTE
HOME2 HOTEL BY HILTON
LINCOLNSHIRE, ILLINOIS

6/13/2019

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CHICAGOLAND BOXWOOD



DENSE YEW



FEATHER REED GRASS



PRAIRIE DROPSEED



DWARF FOUNTAIN GRASS



KALLAY'S COMPACT PFITZER JUNIPER



BROOKSIDE GERANIUM



SUMMER BEAUTY ONION



HAPPY RETURNS DAYLILY



PATRIOT HOSTA



GOLDSTURM BLACK-EYED SUSAN



WALKER'S LOW CATMINT

PROPOSED PLANT PALETTE
HOME2 HOTEL BY HILTON
LINCOLNSHIRE, ILLINOIS

6/13/2019

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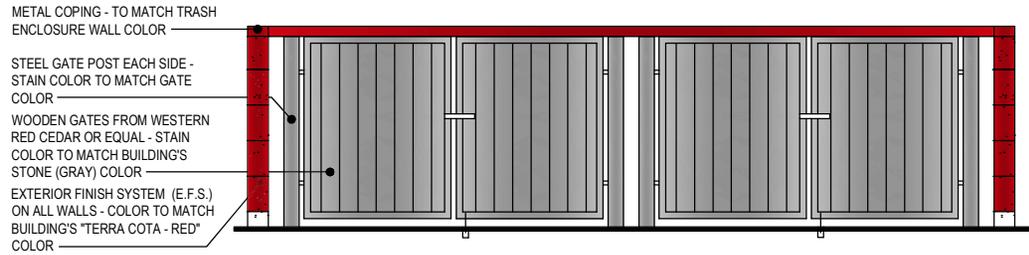
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METAL COPING - TO MATCH TRASH ENCLOSURE WALL COLOR

STEEL GATE POST EACH SIDE - STAIN COLOR TO MATCH GATE COLOR

WOODEN GATES FROM WESTERN RED CEDAR OR EQUAL - STAIN COLOR TO MATCH BUILDING'S STONE (GRAY) COLOR

EXTERIOR FINISH SYSTEM (E.F.S.) ON ALL WALLS - COLOR TO MATCH BUILDING'S "TERRA COTA - RED" COLOR

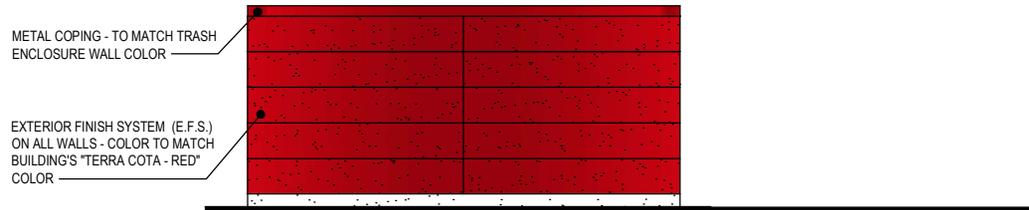
1 TRASH ENCLOSURE FRONT ELEVATION
SCALE: 1/4" = 1'-0"



METAL COPING - TO MATCH TRASH ENCLOSURE WALL COLOR

EXTERIOR FINISH SYSTEM (E.F.S.) ON ALL WALLS - COLOR TO MATCH BUILDING'S "TERRA COTA - RED" COLOR

2 TRASH ENCLOSURE REAR ELEVATION
SCALE: 1/4" = 1'-0"



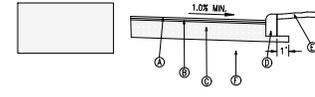
METAL COPING - TO MATCH TRASH ENCLOSURE WALL COLOR

EXTERIOR FINISH SYSTEM (E.F.S.) ON ALL WALLS - COLOR TO MATCH BUILDING'S "TERRA COTA - RED" COLOR

3 TRASH ENCLOSURE SIDE ELEVATION - TYPICAL
SCALE: 1/4" = 1'-0"

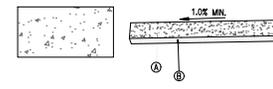
GENERAL NOTES

- ALL PAVING AND RELATED CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, LATEST EDITION, AND ALL APPLICABLE SPECIFICATIONS AND ALL MEASUREMENTS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE SUBDIVISION REGULATIONS OF THE MUNICIPALITY. IN CASE OF CONFLICT, COUNTY CODE SHALL TAKE PRECEDENCE.
- ALL STORM SEWER, SANITARY SEWER AND WATER MAIN CONSTRUCTION SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR WATER AND SEWER MAIN CONSTRUCTION IN ILLINOIS, LATEST EDITION, AND IN ACCORDANCE WITH THE CURRENT SUBDIVISION REGULATIONS OF THE MUNICIPALITY UNLESS OTHERWISE NOTED ON THE PLANS.
- STANDARD SPECIFICATIONS, SUPPLEMENTAL SPECIFICATIONS AND RELATED SPECIAL PROVISIONS, CONSTRUCTION PLANS, AND SUBSEQUENT DETAILS ARE ALL TO BE CONSIDERED AS PART OF THE CONTRACT. INCIDENTAL ITEMS OF CONSTRUCTION NOT SHOWN ON THE PLANS SHALL BE CONSIDERED AS PART OF THIS CONTRACT.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR HAVING THE UTILITY COMPANIES LOCATE THEIR FACILITIES IN THE FIELD PRIOR TO CONSTRUCTION AND SHALL ALSO BE RESPONSIBLE FOR THE MAINTENANCE AND PRESERVATION OF THESE FACILITIES. THE ENGINEER DOES NOT WARRANT THE LOCATION OF THE EXISTING UTILITIES SHOWN ON THE PLANS.
- NO CONSTRUCTION PLAN SHALL BE USED FOR CONSTRUCTION UNLESS COVER SHEET SPECIFICALLY MARKS THIS CONSTRUCTION. PRIOR TO COMMENCEMENT OF CONSTRUCTION THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES. IF THERE ARE ANY DISCREPANCIES WITH WHAT IS SHOWN ON THE CONSTRUCTION PLANS, HE MUST IMMEDIATELY REPORT SAME TO ENGINEER BEFORE WORK COMMENCES. OTHERWISE THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL UTILITIES. THE CONTRACTOR SHALL SECURE WRITTEN INSTRUCTIONS FROM THE ENGINEER PRIOR TO PROCEEDING WITH ANY WORK. ANY WORK AT THE LOCATION OF DISCREPANCIES MUST BE SECURED BY SUCH INSTRUCTIONS. THE CONTRACTOR WILL BE CONSIDERED TO HAVE PROCEEDED AT HIS OWN RISK AND EXPENSE. IN THE EVENT OF ANY DISCREPANCIES ARISING WITH RESPECT TO THE TRUE MEANING OF THE CONSTRUCTION PLANS OR SPECIFICATIONS, THE DECISION OF THE ENGINEER SHALL BE FINAL AND CONCLUSIVE.
- NOTIFICATION OF COMMENCING CONSTRUCTION
 - THE CONTRACTOR SHALL NOTIFY THE OWNER AND/OR HIS REPRESENTATIVE AND THE AFFECTED GOVERNMENTAL AGENCIES IN WRITING AT LEAST THREE FULL WORKING DAYS PRIOR TO COMMENCEMENT OF CONSTRUCTION. IN ADDITION, THE CONTRACTOR SHALL NOTIFY AS NECESSARY, ALL TESTING AGENCIES, OTHER MUNICIPALITIES OR THE OWNER'S, SUFFICIENTLY IN ADVANCE OF CONSTRUCTION.
 - FAILURE OF CONTRACTOR TO ALLOW PROPER NOTIFICATION TIME WHICH RESULTS IN TESTING AGENCIES TO BE UNABLE TO VISIT SITE AND PERFORM TESTING WILL CAUSE CONTRACTOR TO SUSPEND OPERATION (PERTAINING TO TESTING) UNTIL TESTING AGENCY CAN SCHEDULE TESTING. OPERATIONS COST OF SUSPENSION OF WORK TO BE BORNE BY CONTRACTOR.
- ALL CONTRACTORS SHALL KEEP ACCESS AVAILABLE AT ALL TIMES FOR ALL TYPES OF TRAFFIC. AT NO TIME SHALL ACCESS BE DENIED TO PROPERTIES SURROUNDING THE SITE.
- ALL PROPOSED ELEVATIONS SHOWN ON THE PLANS ARE FINISHED SURFACE ELEVATIONS, UNLESS OTHERWISE SPECIFIED.
- THE CONTRACTOR SHALL PRESERVE ALL CONSTRUCTION STAGES UNTIL THEY ARE NO LONGER NEEDED. ANY STAGES DESTROYED OR DISTURBED BY THE CONTRACTOR PRIOR TO THEIR USE SHALL BE RESET BY THE DEVELOPER'S ENGINEER AT CONTRACTOR'S COST.
- ALL PAVES AND LIDS FOR STORM AND SANITARY SEWER STRUCTURES ARE TO BE ADJUSTED TO MEET FINAL FINISH GRADE. THIS ADJUSTMENT IS TO BE MADE BY THE CONTRACTOR AND HIS COSTS TO BE CONSIDERED INCIDENTAL. THESE ADJUSTMENTS TO FINISH GRADE SHALL HAVE AN ALLOWABLE TOLERANCE OF 0.05 FEET. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND DEPTH OF ALL UTILITIES. FINAL GRADES TO BE DETERMINED BY THE COUNTY AT THE TIME OF FINAL INSPECTION AND MAY VARY FROM PLANS.
- ANY EXISTING SIGNS, LIGHT STANDARDS AND UTILITY POLES WHICH INTERFERE WITH CONSTRUCTION OPERATIONS AND NOT NOTED FOR DEPOSIT, SHALL BE REMOVED AND RESET BY THE CONTRACTOR AT HIS OWN EXPENSE AS DIRECTED BY THE ENGINEER. ANY DAMAGE TO THESE SIGNS SHALL BE REPAIRED OR REPLACED BY THE CONTRACTOR AT HIS OWN EXPENSE. TO THE SATISFACTION OF THE OWNER, ANY SIGNS NOT REQUIRED TO BE RESET, SHALL BE DELIVERED TO THE RESPECTIVE OWNERS.
- REPAIRS OF EXISTING UTILITIES, INCLUDING BUT NOT LIMITED TO, PROBING, CLEANING, CURBS AND GUTTER, CLEANERS, ETC., SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR AT HIS OWN EXPENSE. HE IS RESPONSIBLE FOR ANY PERMIT REQUIRED FOR SUCH DISPOSAL.
- ALL FIELD TILE ENGINEERED DURING CONSTRUCTION OPERATIONS SHALL BE CONNECTED TO THE PROPOSED STORM SEWER SYSTEM OR SHALL BE RESTORED TO PROPER OPERATING CONDITION. A RECORD OF THE LOCATION OF ALL FIELD TILE OR DRAIN PIPE ENGINEERED SHALL BE KEPT BY THE CONTRACTOR AND TURNED OVER TO THE ENGINEER UPON COMPLETION OF THE PROJECT. THE COST OF THIS WORK SHALL BE CONSIDERED AS INCIDENTAL TO THE CONTRACT AND NO ADDITIONAL COMPENSATION WILL BE ALLOWED BY OWNER A MUNICIPALITY.
- ALL WORK PERFORMED UNDER THIS CONTRACT SHALL BE GUARANTEED BY THE CONTRACTOR AND HIS SURETY FOR A PERIOD OF 12 MONTHS FROM THE DATE FINAL ACCEPTANCE OF THE PROJECT AND THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR ALL DEFECTS IN MATERIALS AND WORKMANSHIP OF WHATEVER NATURE DURING THAT PERIOD.
- BEFORE ACCEPTANCE BY THE OWNER AND FINAL PAYMENT, ALL WORK SHALL BE INSPECTED BY THE OWNER OR HIS REPRESENTATIVE. FINAL PAYMENT WILL BE MADE AFTER ALL THE CONTRACTOR'S WORK HAS BEEN APPROVED AND ACCEPTED.
- UPON AWAKING OF THE CONTRACT AND WHEN REQUIRED BY THE MUNICIPALITY, THE CONTRACTOR SHALL FURNISH A LABOR, MATERIAL AND PERFORMANCE BOND IN THE AMOUNT REQUIRED BY THE MUNICIPALITY GUARANTEEING COMPLETION OF THE WORK. THE UNDERWRITER SHALL BE ACCEPTABLE TO THE MUNICIPALITY.
- EXEMPTS FOR THE EXISTING UTILITIES, BOTH PUBLIC AND PRIVATE, AND UTILITIES WITHIN PUBLIC RIGHTS-OF-WAY ARE SHOWN ON THE PLANS ACCORDING TO AVAILABLE RECORDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION IN THE FIELD OF THESE UTILITY LINES AND THEIR PROTECTION FROM DAMAGE DUE TO CONSTRUCTION OPERATIONS. IF EXISTING UTILITY LINES OF ANY NATURE ARE ENCOUNTERED WHICH CONFLICT WITH LOCATIONS OF THE NEW CONSTRUCTION OPERATIONS, CONSULTING ENGINEERS IS RESPONSIBLE TO RESOLVE THE CONFLICT. ADVANTAGE CONSULTING ENGINEERS IS NOT RESPONSIBLE FOR THE COST OF CONSTRUCTION.
- OWNER SHALL OBTAIN AGREEMENTS AND PERMITS NECESSARY TO FACILITATE CONSTRUCTION OF THE PROPOSED UTILITIES. THE CONTRACTOR, HOWEVER, SHALL FURNISH ALL REQUIRED BONDS AND EVIDENCE OF INSURANCE NECESSARY TO SECURE THESE PERMITS.
- THE CONTRACTORS SHALL PLAN THEIR WORK BASED ON THEIR OWN BORINGS, EXPLORATIONS AND OBSERVATIONS TO DETERMINE SOIL CONDITIONS AT THE LOCATION OF THE PROPOSED WORK.
- THE CONTRACTOR IS SOLELY RESPONSIBLE FOR SAFETY ON THE JOB IN ACCORDANCE WITH OSHA REGULATIONS.
- THE CONTRACTOR SHALL COLLECT AND REMOVE ALL CONSTRUCTION DEBRIS, EXCESS MATERIALS, TRASH, OIL AND GREASE RESIDUE, MANHOLES, TOOLS AND OTHER MISCELLANEOUS ITEMS WHICH WERE NOT PRESENT PRIOR TO PROJECT COMMENCEMENT AT NO ADDITIONAL EXPENSE TO THE OWNER. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ANY AND ALL PERMITS NECESSARY FOR THE HAULING AND DISPOSAL REQUIRED FOR CLEAN-UP AS DIRECTED BY THE ENGINEER OR OWNER. BURNING ON THE SITE IS NOT PERMITTED.
- IT SHALL BE CONTRACTOR'S SOLE RESPONSIBILITY TO PROVIDE PROPER BARRICADING, WARNING DEVICES AND THE SAFE MANAGEMENT OF TRAFFIC WITHIN THE AREA OF CONSTRUCTION. ALL SUCH DEVICES AND THEIR INSTALLATION SHALL CONFORM TO THE ILLINOIS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREET AND HIGHWAY, LATEST EDITION AND IN CONFORMANCE WITH REGULATIONS OF THE MUNICIPALITY OR DOT.
- NO UNDERGROUND WORK SHALL BE COVERED UNTIL IT HAS BEEN APPROVED BY THE COUNTY. APPROVAL TO PROCEED MUST BE OBTAINED FROM THE COUNTY PRIOR TO INSTALLING PAVEMENT BASE, BINDER, SURFACE AND PRIOR TO POURING ANY CONCRETE AFTER FORMS HAVE BEEN SET.
- ALL EXISTING UTILITIES OR IMPROVEMENTS, INCLUDING WALKS, CURBS, PAVEMENT AND PARKWAYS DAMAGED OR REMOVED DURING CONSTRUCTION SHALL BE PROMPTLY RESTORED TO THEIR RESPECTIVE ORIGINAL CONDITION.
- AT THE CLOSE OF EACH WORKING DAY AND AT THE CONCLUSION OF CONSTRUCTION OPERATIONS, ALL DRAINAGE STRUCTURES AND FLOW LINES SHALL BE FREE FROM DIRT AND DEBRIS.
- TREES NOT MARKED FOR REMOVAL SHALL BE CONSIDERED AS DESIGNATED TO BE SAVED AND SHALL BE PROTECTED UNDER THE PROVISIONS OF ARTICLE 201.05 OF THE STANDARD SPECIFICATIONS.
- LAND PAVING SHALL BE OBTAINED UNDER THE SUPERVISION OF AN APPROVED LANDSCAPE ARCHITECT AND SHALL BE UNDERTAKEN IN A TIMELY FASHION SO AS NOT TO INTERFERE WITH CONSTRUCTION.
- ALL LIMBS, BRANCHES, AND OTHER DEBRIS RESULTING FROM THIS WORK SHALL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR AT HIS OWN EXPENSE.
- ALL CUTS OVER 1" IN DIAMETER SHALL BE MADE FLUSH WITH THE NEXT LARGER BRANCH. BOUNDS OVER 1" IN DIAMETER SHALL BE PAINTED WITH AN APPROVED TREE PAINT.
- ANY IDENTIFICATION OF STORM AND WATER TRENCHES AS WELL AS TEMPORARY DITCHING OR BRACING THAT MAY BE REQUIRED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL NOT BE CONSIDERED EXTRA WORK. IN THE EVENT THAT SOFT MATERIALS WITHIN TRENCHES CAUSE SETTLEMENTS GREATER THAN 0.05 FEET, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR WORK. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL OBTAIN APPROVAL OF THE OWNER AND/OR ENGINEER OVER-EXCAVATE TO A DEPTH OF AT LEAST ONE (1) FOOT BELOW THE BOTTOM OF THE PIPE AND BACKFILL WITH COMPACTED CRUSHED STONE, PROPERLY FORMED TO FIT THE BOTTOM OF THE PIPE.
- CONTRACTOR SHALL VOID TAKE WORK AREA PRIOR TO CONSTRUCTION FOR THE PURPOSE OF DOCUMENTING EXISTING CONDITIONS.
- TRENCH BACKFILL WILL BE REQUIRED TO THE FULL DEPTH ABOVE ALL UNDERGROUND UTILITIES WITHIN TWO FEET OF PROPOSED OR EXISTING PAVEMENT, UTILITIES, SIDEWALKS, AND DRIVEWAYS. THE BACKFILL SHOULD BE DONE IN ACCORDANCE WITH DOT STANDARD SPECIFICATIONS. THE TRENCH BACKFILL AND RECORD MATERIAL SHALL CONSIST OF CRUSHED GRAVEL CONFORMING TO DOT SPECIFICATION CA-1.
- WHERE SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER, EXISTING DRAINAGE STRUCTURES AND SYSTEMS SHALL BE CLEANED OF DEBRIS AND PROVIDED AS NECESSARY TO ASSURE PROTECTION OF THE STRUCTURE. THE WORK WILL BE PAID FOR AT THE CONTRACT UNIT PRICE EACH FOR STRUCTURES AND CONTRACT UNIT PRICE FOR LINEAL FOOT FOR STORM SEWERS, WHICH SHALL BE PAYMENT IN FULL FOR CLEANING, REPAIRING, REMOVING AND DISPOSAL OF DEBRIS AND OTHER STRUCTURES AND SYSTEMS CONSIDERED AS PART OF THIS CONTRACT SHALL BE BORROWED BY THE CONTRACTOR AT HIS OWN EXPENSE.
- UNDERGROUND WORK NOT EXISTING DIRECTLY ON THE ROAD SUBGRADE, WHEREVER POSSIBLE, HOSES SHALL BE USED TO DIRECT THE WATER INTO STORM SEWERS, DRAINAGE TO ROAD SUBGRADE OR LOT AREAS DUE TO EXCESSIVE WATER SATURATION AND/OR DRAINAGE FROM ADJACENT ELEVATIONS FROM LEAKS IN THE WATER DISTRIBUTION SYSTEM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CLEANING, FILLING, OR USING HYDRANT TO MAKE ALL NECESSARY REPAIRS AT HIS EXPENSE. THE CONTRACTOR SHALL PROVIDE ALL CONSTRUCTION WORK AT HIS EXPENSE.
- AFTER THE STORM SEWER SYSTEM HAS BEEN CONSTRUCTED, THE CONTRACTOR SHALL PLACE EROSION CONTROL AT LOCATIONS SHOWN ON THE PLAN OR AS SELECTED BY THE ENGINEER. THE PURPOSE OF THE EROSION CONTROL IS TO BE TO MINIMIZE THE AMOUNT OF SILTATION, WHICH NORMALLY WOULD ENTER THE STORM SEWER SYSTEM FROM ADJACENT AND/OR UPSTREAM DRAINAGE AREAS.
- EROSION CONTROL MEASURES SHALL BE INSTALLED IN ACCORDANCE WITH ILLINOIS URBAN MANUAL AND SHALL BE MAINTAINED BY THE CONTRACTOR AND SHALL REMAIN IN PLACE UNTIL A SATISFACTORY DRAINAGE SYSTEM IS ACCEPTABLE TO THE ENGINEER HAS BEEN DEVELOPED.
- THE OWNER SHALL PROVIDE RECORD DRAWINGS PER MUNICIPAL REQUIREMENTS.



- A 2.0" BITUMINOUS CONCRETE SURFACE COURSE, HOT MIX ASPHALT, MIX. C, N50
- B 3.0" BITUMINOUS CONCRETE BINDER COURSE, HOT MIX ASPHALT, MIX. C, N50
- C 10" CRUSHED GRAVEL BASE
- D CONC. CURB, TYPE B, 4" WITH 4" CA-6 GRAVEL SUB-BASE
- E 4" TOP SOIL AND SEEDING
- F COMPACTED SUBGRADE

ASPHALT PAVEMENT SECTION - PARKING AREA



- A 10" PORTLAND CEMENT CONCRETE PAVEMENT W/8/6 W/F
- B 6" CRUSHED AGGREGATE SUB-BASE TO B

SECTION: DUMPSTER PAD

CONTACTS

ENGINEER
 ADVANTAGE CONSULTING ENGINEERS
 80 MAIN STREET, SUITE 17
 LEWISVILLE, ILLINOIS 60439
 PHONE: (847) 260-4758
 CONTACT: WILLIAM ZALEWSKI, P.E.

DEVELOPER:
 KNIGHT BRIDGE PARKWAY, LLC
 700 BECKER ROAD
 GLENVIEW, IL 60025
 PHONE: (847)-331-4095
 CONTACT: VICTOR SEVALLE

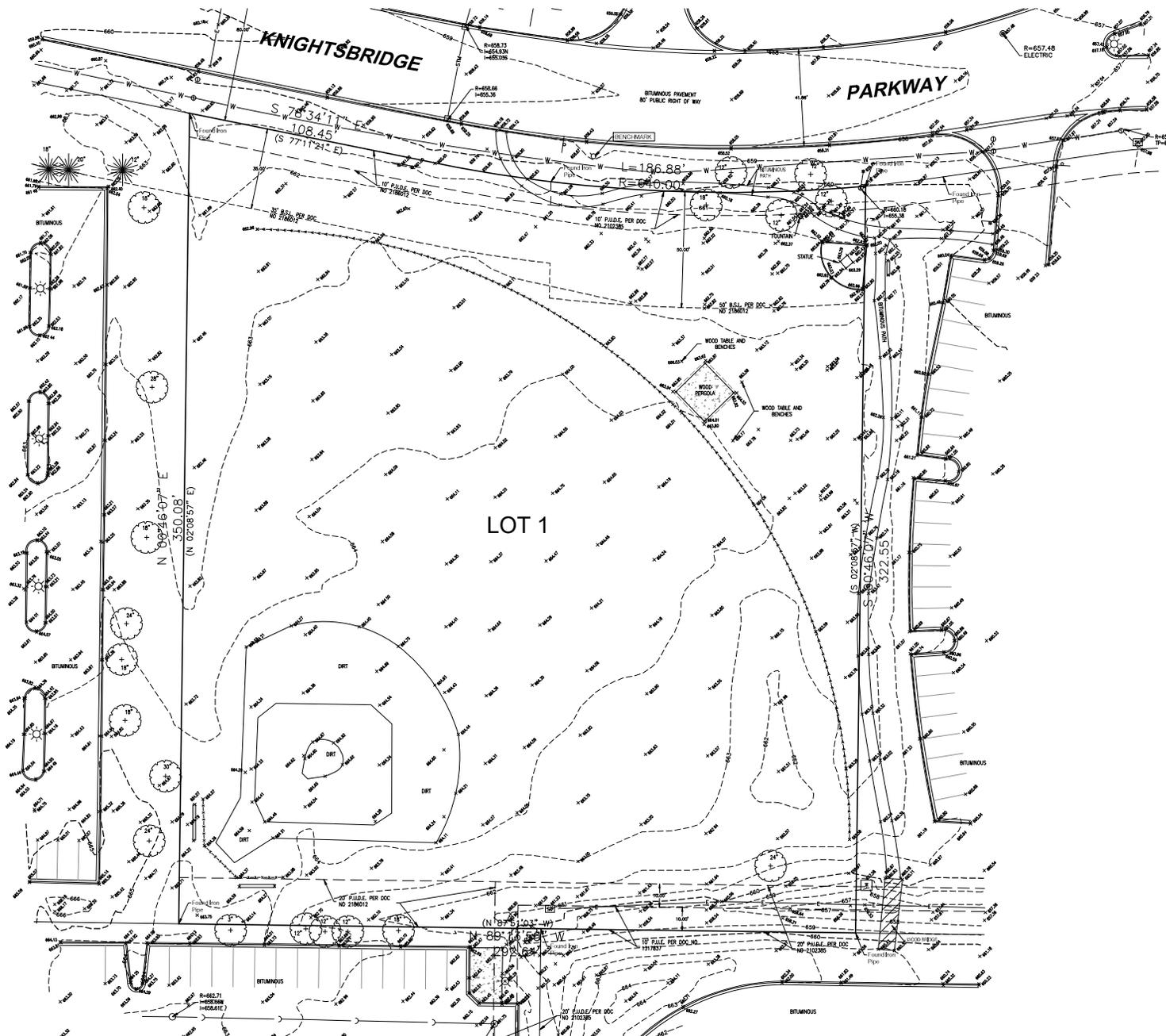
NO.	DATE	REVISED PER	REASON FOR CHANGE
1	04/07/19		
2	05/29/19		

ADVANTAGE CONSULTING ENGINEERS
 80 MAIN STREET, SUITE 17 - LEWISVILLE, ILLINOIS 60439
 (847) 260-4758
GENERAL NOTES AND TYPICAL SECTIONS
HOME 2 HOTEL BY HILTON
350 KNIGHTSBRIDGE PARKWAY
LINCOLNSHIRE, IL

KNIGHT BRIDGE PARKWAY, LLC
 700 BECKER ROAD
 GLENVIEW, IL 60025
 MARCH 1, 2019
 JOB: 18-040
 SHEET:
TS1
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LEGEND

PROPOSED	DESCRIPTION	EXISTING
	STORM SEWER	
	WATER MAIN WITH SIZE	
	SANITARY SEWER	
	RIGHT-OF-WAY	
	SPOT GRADE	
	STORM MANHOLE	
	STORM INLET	
	STORM CATCH BASIN	
	FIRE HYDRANT	
	BUFFALO BOX	
	GATE VALVE W/VAULT	
	STREET LIGHT	
	STREET LIGHT W/VAULT	
	OVERFLOW DIRECTION CURB	
	SILT FENCE	
	FENCE	
	CONSTRUCTION FENCE	
	ROAD SIGN	
	ELECTRIC	
	GAS	
	UTILITY POLE	
	DOWNSPOUT (TO UNDERGROUND)	
	DOWNSPOUT	
	DEPRESSED CURB FOR RAMP/DRIVEWAY	
TF	TOP OF FOUNDATION	
TD	TOP OF CURB, DEPRESSED	
TW, BW	TOP WALL, BOTTOM OF WALL	
R=	RM FOR STRUCTURES	
R	RISER FOR SANITARY SERVICE	
HML/NML	HIGH/NORMAL WATER LEVEL	



NOTE:
 EXISTING TOPOGRAPHIC SURVEY & BOUNDARY PREPARED BY:
 JH LAND SURVEYING, INC.
 DATED: 1/16/19

BENCHMARKS:
 FBM BENCHMARKS:
 NO. A3380
 ELEVATION=687.0 (NAVD88)

SITE BENCHMARKS:
 SITE BENCHMARK #1
 SOUTHEAST FLANGE BOLT OF HYDRANT IN
 SOUTH RIGHT OF WAY OF KNIGHTSBRIDGE
 PARKWAY.
 ELEVATION=660.09 (NAVD88)

NO.	DATE	REVISION
1.	04/07/19	DESIGNED PER PLAN
2.	05/27/19	REVISED PER VALUE

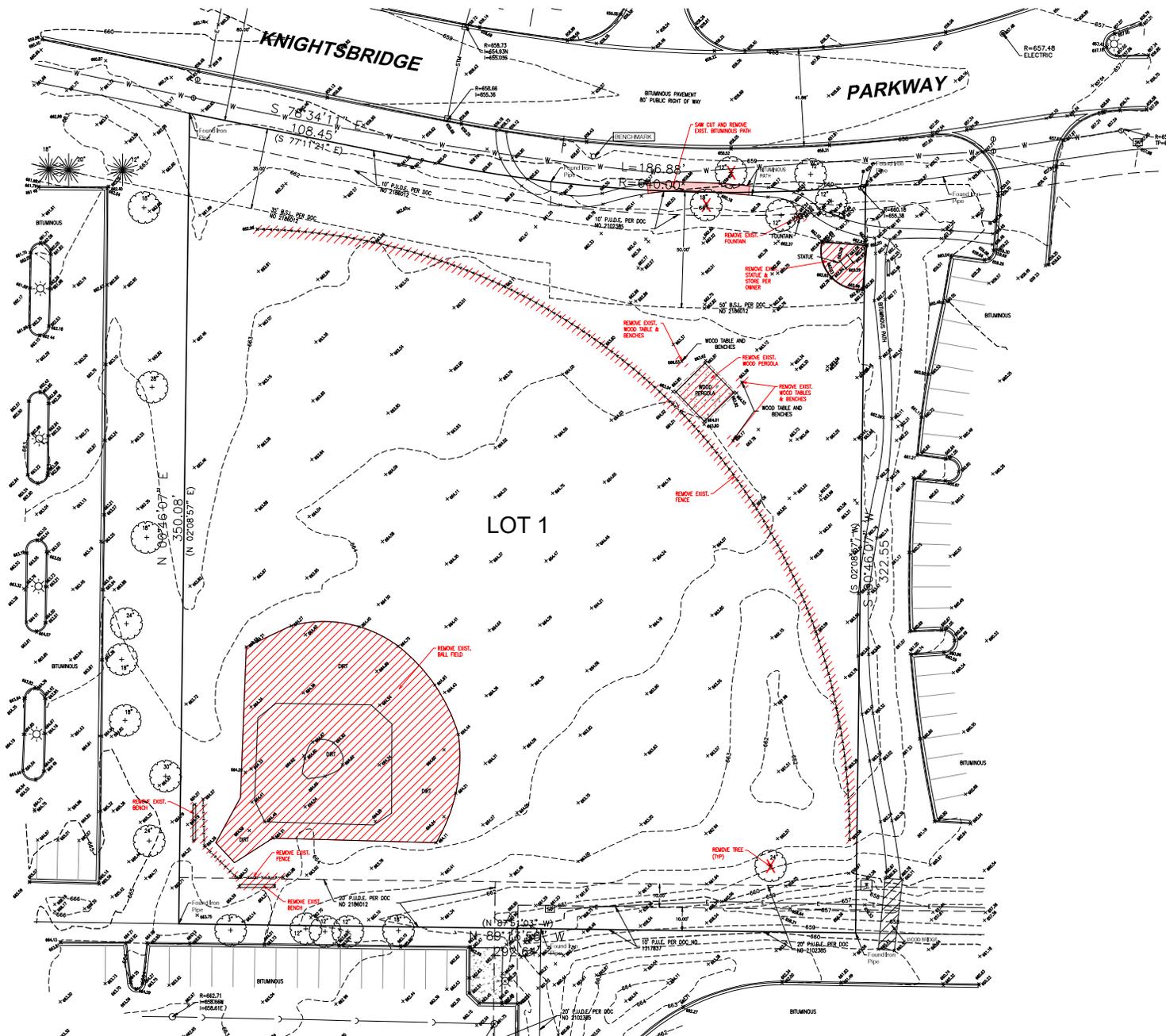
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 CONSULTING ENGINEERS
 80 MAIN STREET, SUITE 17 - LEWIS, ILLINOIS 62439
 (618) 264-4399



EXISTING CONDITIONS
 HOME 2 HOTEL BY HILTON
 350 KNIGHTSBRIDGE PARKWAY
 LINCOLNSHIRE, IL

KNIGHT BRIDGE PARKWAY, LLC
 700 BECKER ROAD
 GLENVIEW, IL 60025

MARCH 1, 2019
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NO.	DATE	BY	REVISION
1.	04/07/19		ISSUED PER PLAN
2.	05/27/19		REVISED PER PLAN

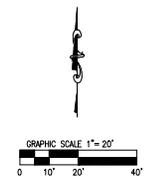
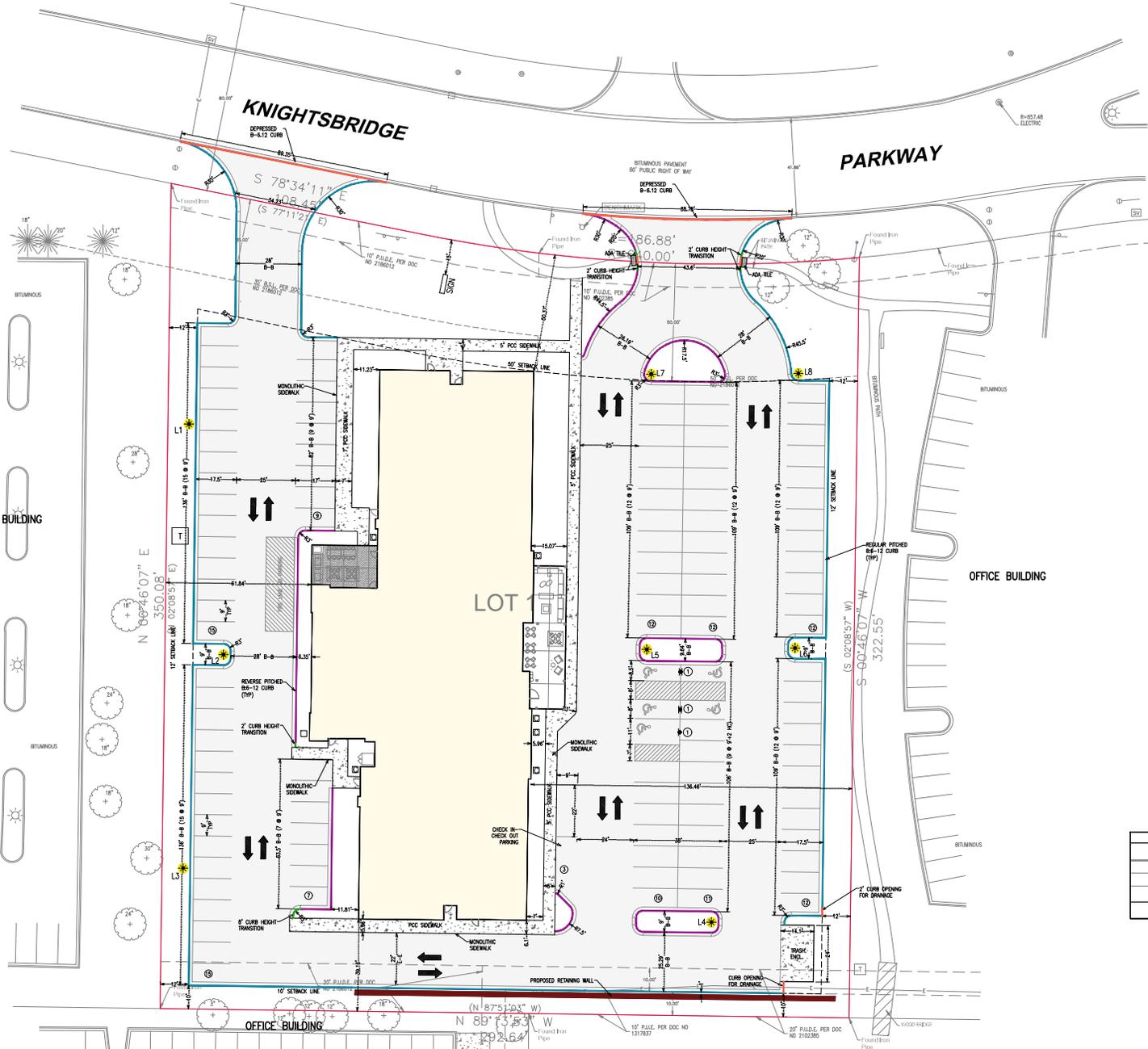
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CONSULTING ENGINEERS
80 JAMES STREET, SUITE 17 - LEWIS, ILLINOIS 62439
(618) 254-3291



DEMOLITION PLAN
HOME 2 HOTEL BY HILTON
350 KNIGHT'S BRIDGE PARKWAY
LINCOLNSHIRE, IL

KNIGHT BRIDGE PARKWAY, LLC
700 BECKER ROAD
GLENVIEW, IL 60025

MARCH 1, 2019
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- CURB LEGEND (COLOR CODED):**
- DEPRESSED CURB OR CURB OPENING
 - TRANSITION CURB
 - 86-12 REGULAR PITCH C&G
 - 86-12 REVERSE PITCH C&G

- GEOMETRIC NOTES**
1. ALL DIMENSIONS ARE TO BACK OF CURB OR OUTSIDE FACE OF BUILDING.
 2. REFER TO LEGEND FOR PITCH OF CURB & GUTTER.
 3. ALL RADI ARE 3-FT UNLESS NOTED OTHERWISE.
 4. ALL PAVEMENT MARKINGS SHALL BE 4-INCH WHITE PAINT UNLESS NOTED OTHERWISE, OR AS PROVIDED FOR ON THE DETAILS.
 5. THE CROSS SLOPE ON ALL SIDEWALKS SHALL NOT EXCEED 1.5%.
 6. FOUNDATION, STAR AND DOORWAY LOCATIONS SHOWN FOR REFERENCE ONLY. REFER TO PLANS BY ARCHITECT FOR EXACT DIMENSIONS AND LOCATIONS.

- SIGN LEGEND:**
- ① HANDICAP SIGN WITH FINE SIGN

PARKING SUMMARY

REGULAR PARKING STALLS	113
H/C PARKING STALLS	5
TOTAL PARKING STALLS	118

RUNOFF COEFFICIENT

ITEM	AREA (AC)	C	A'C
IMPERVIOUS AREA	1.07	0.95	1.59
PERVIOUS AREA	0.54	0.30	0.16
TOTAL	2.21		1.75
C(COMP)		0.794	

NO.	DATE	REVISIONS
1.	04/07/19	ISSUED PER VALUE
2.	05/27/19	ISSUED PER VALUE

ADVANTAGE
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GEOMETRIC PLAN
 HOME 2 HOTEL BY HILTON
 350 KNIGHTSBRIDGE PARKWAY
 LINCOLNSHIRE, IL

KNIGHT BRIDGE PARKWAY, LLC
 700 BECKER ROAD
 GLENVIEW, IL 60025

MARCH 1, 2019
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- GRADING NOTES**
1. ALL SPOT ELEVATIONS SHOWN AT CURB ARE TOP OF CURB ELEVATIONS.
 2. ALL ELEVATIONS SHOWN ON PLANS ARE FINISHED GRADE ELEVATIONS.
 3. ALL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO START OF CONSTRUCTION.
 4. CONTRACTOR SHALL MAINTAIN POSITIVE SITE DRAINAGE DURING CONSTRUCTION.
 5. ALL PROPOSED GRADES SHALL MATCH EXISTING GRADES AT THE PROPERTY LINE.
 6. SEE SPECIFICATIONS FOR SLURRY AND STRUCTURAL FILL COMPACTION REQUIREMENTS.
 7. THE CROSS SLOPE ON ALL SIDEWALKS SHALL NOT EXCEED 1.5%.

NO.	DATE	BY	REVISION
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2.	05/29/19		ISSUED FOR PLAC

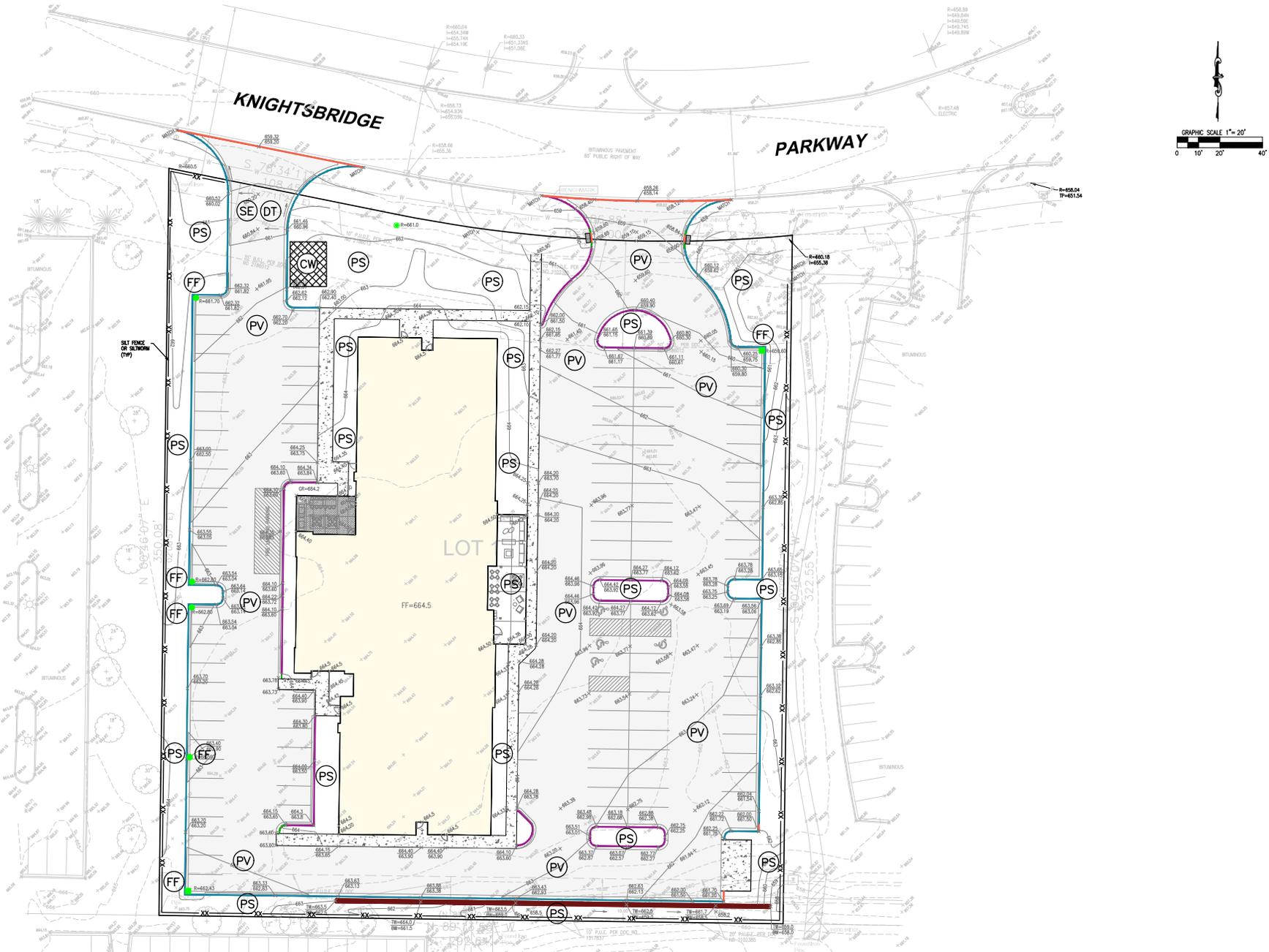
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 CONSULTING ENGINEERS
 80 JAMES STREET, SUITE 17 - LEWIS, ILLINOIS 62439
 (618) 264-2379



GRADING PLAN
 HOME 2 HOTEL BY HILTON
 350 KNIGHTSBRIDGE PARKWAY
 LINCOLNSHIRE, IL

KNIGHT BRIDGE PARKWAY, LLC
 700 BECKER ROAD
 GLENVIEW, IL 60025

MARCH 1, 2019
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NO.	DATE	DESCRIPTION
1.	04/07/19	ISSUED FOR PERMITS
2.	05/20/19	ISSUED FOR PERMITS

ADVANTAGE
 CONSULTING ENGINEERS
 80 MAIN STREET, SUITE 17 - LENOX, ILLINOIS 60451
 TEL: 630-454-2329

SOIL EROSION AND
 SEDIMENT CONTROL PLAN
HOME 2 HOTEL BY HILTON
 350 KNIGHTSBRIDGE PARKWAY
 LINCOLNSHIRE, IL

KNIGHT BRIDGE PARKWAY, LLC
 700 BECKER ROAD
 GLENVIEW, IL 60025

MARCH 1, 2019
 SHEET:
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INLET - TYPE A
STANDARD 600205.04

DATE: 11/13/18
REVISIONS: 1.0 - Initial Design, 2.0 - Final Design

GENERAL NOTES:
1. INLET SHALL BE CONSTRUCTED TO BE AT LEAST 18" ABOVE FINISHED GRADE.
2. INLET SHALL BE CONSTRUCTED TO BE AT LEAST 18" ABOVE FINISHED GRADE.
3. INLET SHALL BE CONSTRUCTED TO BE AT LEAST 18" ABOVE FINISHED GRADE.

WATER AND SEWER SEPARATION

GUIDELINES:
1. REMOVE SELECT GRANULAR BACKFILL WITHIN WIDTH OF PROPOSED SEWER TRENCH AND REPLACE WITH SELECT EDWATED MATERIAL (CLASS V) AND COMPACT.
2. DIRT SELECT GRANULAR SHADE AND GRANULAR BACKFILL TO ONE (1) FOOT OVER TOP OF PIPE AND USE SELECT EDWATED MATERIAL (CLASS V) AND COMPACT FOR 10 FEET ON EITHER SIDE OF WATERMAIN.
3. CONSTRUCT 10 FEET OF PROPOSED SEWER WITH MIN MATERIAL AND PRESSURE TEST, I.C.
4. USE 10 FEET OF CEILING FOR PROPOSED SEWER AND SEAL END OF CEILING.
5. POINT LOADS SHALL NOT BE EXISTING SEWER OR SEWER CEILING AND WATERMAIN.
6. PROVIDE ADEQUATE SUPPORT FOR ALIGNED WATERMAIN TO PREVENT DAMAGE DUE TO SETTLEMENT OF SEWER TRENCH.

SANITARY MANHOLE DETAIL

NOTE:
1. ECCENTRIC CONES REQUIRED, FLAT SLAB TOPS PERMITTED ONLY FOR MANHOLES TOO SHALLOW FOR CONES.
2. USE 4"-Ø MIN. DIAMETER FOR SEWER SIZES 24" OR LESS, 5"-Ø (MIN.) DIAMETER FOR SEWER SIZES 27" OR LARGER UNLESS OTHERWISE NOTED.
3. MAXIMUM SPACING BETWEEN MANHOLES IS 40 FEET.

DESIGNED BY: SCAL
DRAWN BY: PROLOG
CHECKED BY: PROLOG
DATE: NOV. 2018
G-1

CATCH BASIN TYPE A
STANDARD 600205.02

DATE: 11/13/18
REVISIONS: 1.0 - Initial Design, 2.0 - Final Design

GENERAL NOTES:
1. CATCH BASIN SHALL BE CONSTRUCTED TO BE AT LEAST 18" ABOVE FINISHED GRADE.
2. CATCH BASIN SHALL BE CONSTRUCTED TO BE AT LEAST 18" ABOVE FINISHED GRADE.

FRAME AND LIDS TYPE I
STANDARD 600205.04

DATE: 11/13/18
REVISIONS: 1.0 - Initial Design, 2.0 - Final Design

GENERAL NOTES:
1. FRAME AND LIDS SHALL BE CONSTRUCTED TO BE AT LEAST 18" ABOVE FINISHED GRADE.
2. FRAME AND LIDS SHALL BE CONSTRUCTED TO BE AT LEAST 18" ABOVE FINISHED GRADE.

WATERMAIN LOWERING DETAIL

NOTE:
1. FOR SIZES LARGER THAN 14", SPECIAL DESIGN WILL BE REQUIRED.
2. ONE OF THE PIPES SHALL BE PLACED IN A CHANGING PIPE (CMP) OR PILE (V-LAGE APPROVED EQUAL). CASING PIPE SHALL EXTEND A MINIMUM OF 10 FEET ON BOTH SIDES OF THE PIPE CROSSING AND HAVE A WEDGESHOT SEAL AT THE END.

PRECAST MANHOLE TYPE A
4" (1.22 m) DIAMETER
STANDARD 600401.06

DATE: 11/13/18
REVISIONS: 1.0 - Initial Design, 2.0 - Final Design

GENERAL NOTES:
1. PRECAST MANHOLE SHALL BE CONSTRUCTED TO BE AT LEAST 18" ABOVE FINISHED GRADE.
2. PRECAST MANHOLE SHALL BE CONSTRUCTED TO BE AT LEAST 18" ABOVE FINISHED GRADE.

TYPICAL TRENCH DETAIL
PAVEMENT WITH AGGREGATE BASE

NOTE:
MINIMUM TRENCH WIDTH, D=18" FOR DEPTHS ≤ 5' WHERE SHEETING OR SHORING NOT REQUIRED.
D=3'-0" FOR DEPTHS ≥ 5', WHEN SHEETING OR SHORING NOT REQUIRED.

TYPICAL TRENCH DETAIL
NON-PAVED AREAS

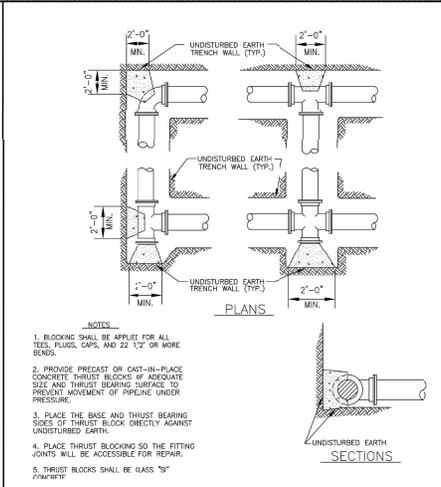
NOTE:
FOR NON-PAVED AREAS
* FOR FLEXIBLE THERMOPLASTIC OR HDPE PIPE COMPLY WITH ASTM 2321, CLASS I OR II.
FOR RIGID PIPE COMPLY WITH ASTM C12, BEDDING CLASS B.

ADVANTAGE CONSULTING ENGINEERS
80 MAIN STREET, SUITE 17, LEWISVILLE, IL 60138-4329
TEL: 630-335-3333

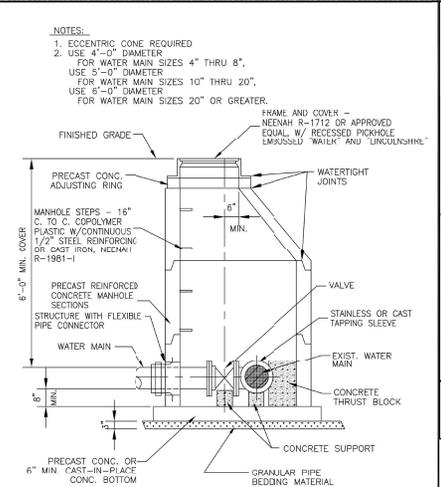
DETAILS
HOME 2 HOTEL BY HILTON
350 KNIGHTSBRIDGE PARKWAY
LINCOLNSHIRE, IL

KNIGHT BRIDGE PARKWAY, LLC
700 BECKER ROAD
GLENVIEW, IL 60025

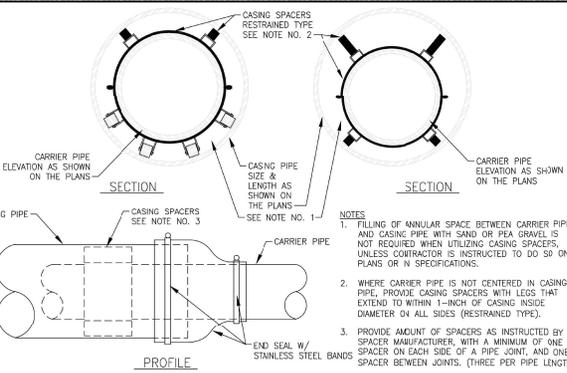
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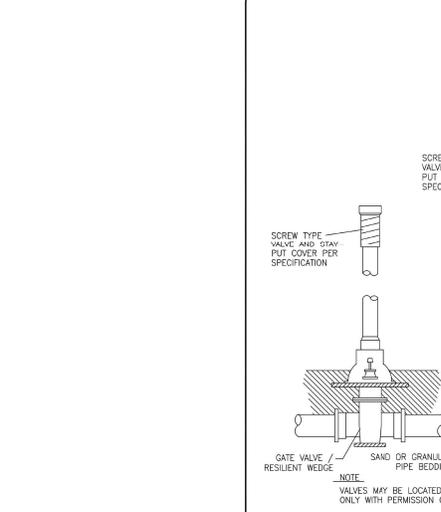
	WATER MAIN THRUST BLOCKING DETAILS	NONE B&W 180900	NOV. 2018 F-10
	<p>1. BLOCKING SHALL BE APPLIED FOR ALL TEES, PLUGS, CAPS, AND 22 1/2" OR MORE BENDS.</p> <p>2. PROVIDE PRECAST OR CAST-IN-PLACE CONCRETE THRUST BLOCKS OF ADEQUATE SIZE AND THRUST BEARING SURFACE TO PREVENT MOVEMENT OF PIPELINE UNDER PRESSURE.</p> <p>3. PLACE THE BASE AND THRUST BEARING SIDES OF THRUST BLOCK DIRECTLY AGAINST UNDISTURBED EARTH.</p> <p>4. PLACE THRUST BLOCKING SO THE FITTING JOINTS WILL BE ACCESSIBLE FOR REPAIR.</p> <p>5. THRUST BLOCKS SHALL BE CLASS "SC" CONCRETE.</p>		



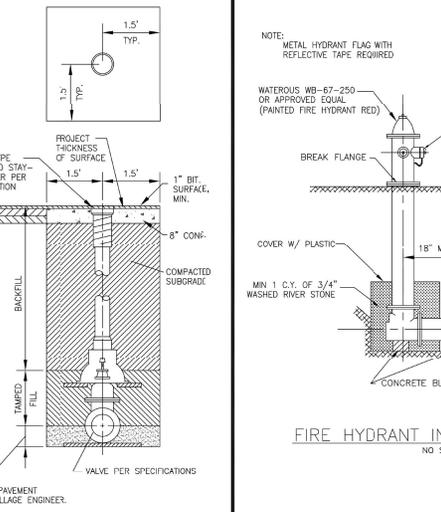
	PRESSURE CONNECTION VALVE VAULT DETAIL	NONE B&W 180900	NOV. 2018 F-3
	<p>NOTES:</p> <p>1. ECCENTRIC CONE REQUIRED</p> <p>2. USE 4"-Ø DIAMETER FOR WATER MAIN SIZES 4" THRU 8", USE 6"-Ø DIAMETER FOR WATER MAIN SIZES 10" THRU 20", USE 6"-Ø DIAMETER FOR WATER MAIN SIZES 20" OR GREATER.</p> <p>FRAME AND COVER - NEENAH R-1712 OR APPROVED EQUAL W/ RECESSED POKERHOLE UNKOSULU "WALK" AND "LINCINSHIRE".</p>		



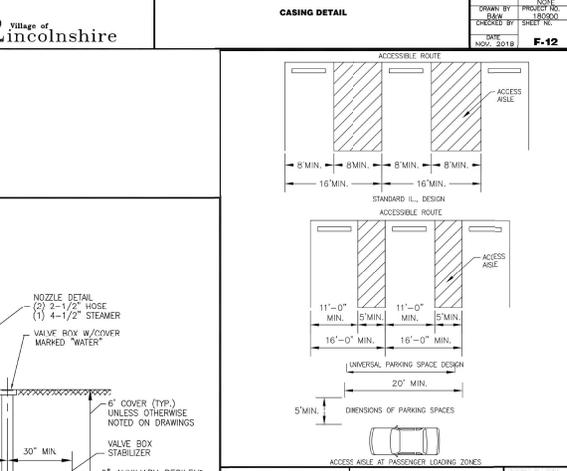
	CASING DETAIL	NONE B&W 180900	NOV. 2018 F-12
	<p>1. FILLING OF ANNULAR SPACE BETWEEN CARRIER PIPE AND CASING PIPE WITH SAND OR PEA GRAVEL IS NOT REQUIRED WHEN UTILIZING CASING SPACERS, UNLESS CONTRACTOR IS INSTRUCTED TO DO SO ON PLANS OR IN SPECIFICATIONS.</p> <p>2. WHERE CARRIER PIPE IS NOT CENTERED IN CASING PIPE, PROVIDE CASING SPACERS WITH LESS THAT EXTEND TO WITHIN 1-INCH OF CASING INSIDE DIAMETER ON ALL SIDES (RESTRAINED TYPE).</p> <p>3. PROVIDE AMOUNT OF SPACERS AS INSTRUCTED BY SPACER MANUFACTURER, WITH A MINIMUM OF ONE SPACER ON EACH SIDE OF A PIPE JOINT, AND ONE SPACER BETWEEN JOINTS. (THREE PER PIPE LENGTH)</p>		



	TYPICAL DETAILS OF NEW VALVE BOX IN PAVEMENT	NONE B&W 180900	NOV. 2018 F-1
	<p>NOTE: VALVES MAY BE LOCATED IN PAVEMENT ONLY WITH PERMISSION OF VILLAGE ENGINEER.</p>		



	FIRE HYDRANT INSTALLATION DETAIL	NONE B&W 180900	NOV. 2018 F-4
	<p>NOTE: METAL HYDRANT FLAG WITH REFLECTIVE TAPE REQUIRED.</p>		



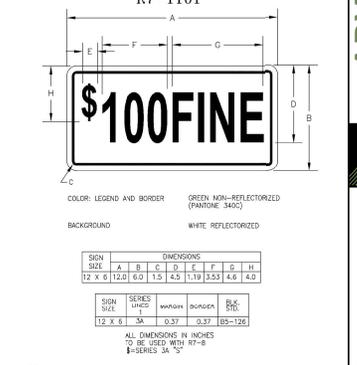
	PARKING SPACE DETAIL	NONE B&W 180900	NOV. 2018 J-1
	<p>STANDARD IL. DESIGN ACCESSIBLE ROUTE.</p>		



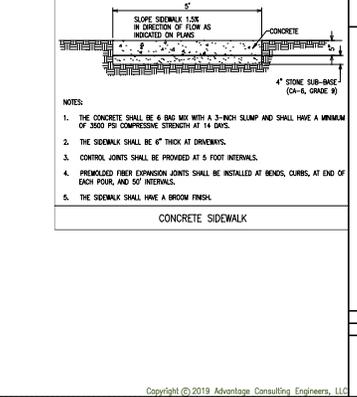
	HANDICAP SYMBOL DETAIL	NONE B&W 180900	NOV. 2018 F-4
	<p>CONCRETE SIDEWALK</p>		



	RESERVED PARKING SIGN	NONE B&W 180900	NOV. 2018 J-2
	<p>LEGEND AND BORDER - PANTONE 340C WHITE SYMBOL ON PANTONE 216 BACKGROUND BACKGROUND - WHITE</p>		



	\$100 FINE SIGN DETAIL	NONE B&W 180900	NOV. 2018 J-3
	<p>NOTE: THIS PLATE MAY BE MOUNTED DIRECTLY BELOW THE R7-B SIGN OR COMBINED WITH THAT SIGN ON A SINGLE 12-INCH BY 24-INCH PANEL.</p>		



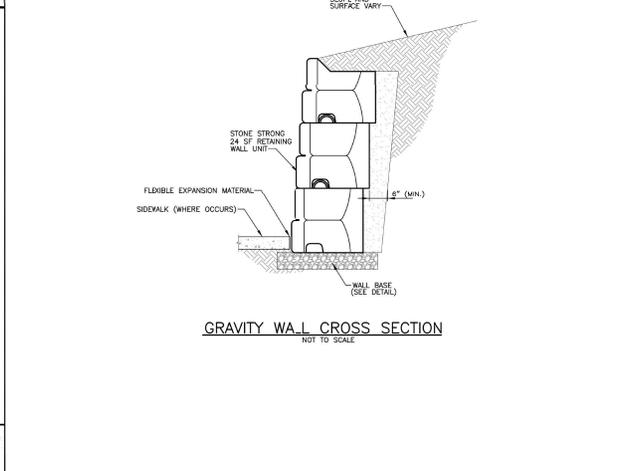
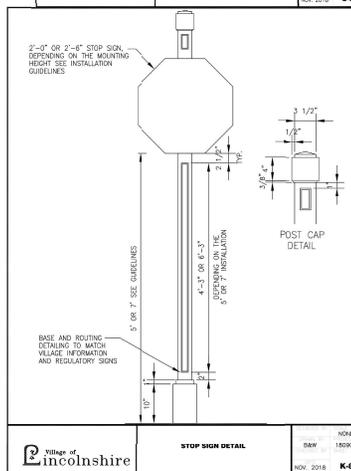
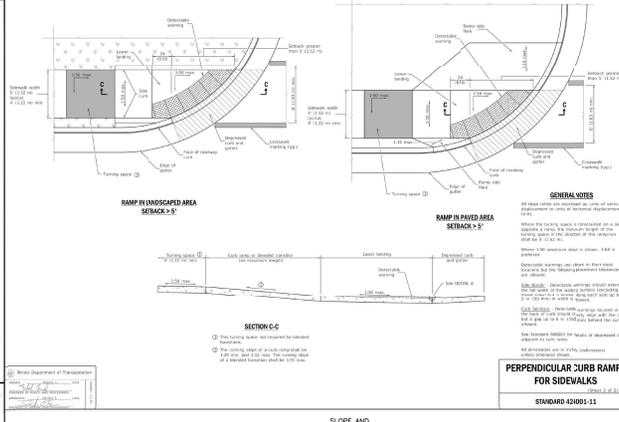
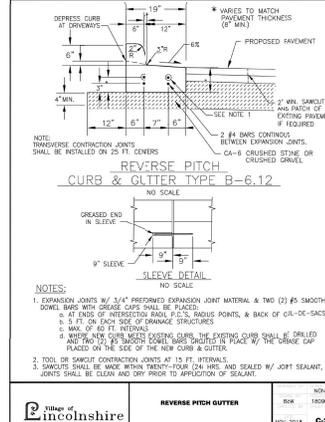
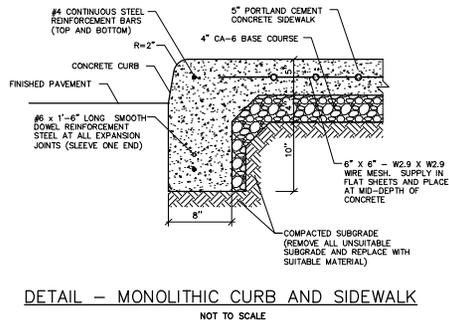
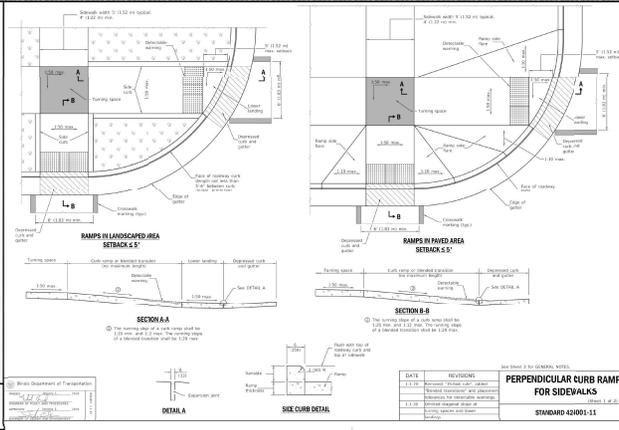
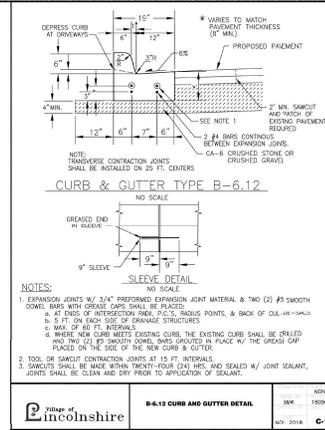
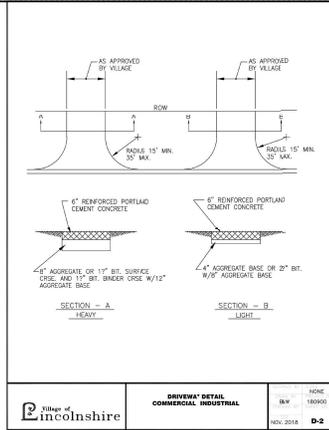
	CONCRETE SIDEWALK	NONE B&W 180900	NOV. 2018 J-3
	<p>NOTES:</p> <p>1. THE CONCRETE SHALL BE 6 BAG MIX WITH A 3-INCH SLUMP AND SHALL HAVE A MINIMUM OF 3600 PSI COMPRESSIVE STRENGTH AT 14 DAYS.</p> <p>2. THE SIDEWALK SHALL BE 6" THICK AT DRIVEWAYS.</p> <p>3. CONTROL JOINTS SHALL BE PROVIDED AT 5 FOOT INTERVALS.</p> <p>4. PRECASTED FIBER EXPANSION JOINTS SHALL BE INSTALLED AT BENDS, CURBS, AT END OF EACH POLE, AND 50 INTERVALS.</p> <p>5. THE SIDEWALK SHALL HAVE A BROOM FINISH.</p>		

ADVANTAGE
CONSULTING ENGINEERS
80 MAIN STREET, SUITE 17 - LENOX, ILLINOIS 60043
(708) 261-3379

DETAILS
HOME 2 HOTEL BY HILTON
350 LINCOLN BRIDGE PARKWAY
LINCOLNSHIRE, IL

KNIGHT BRIDGE PARKWAY, LLC
700 BECKER ROAD
GLENVIEW, IL 60025

MARCH 1, 2019
JOB: 18-040
SHEET:
D2
13 OF 14



ADVANTAGE CONSULTING ENGINEERS
80 MAIN STREET, SUITE 17 - LEANOR, ILLINOIS 60439
TEL: 630-239-1122

DETAILS
HOME 2 HOTEL BY HILTON
350 KNIGHTSBRIDGE PARKWAY
LINCOLNSHIRE, IL

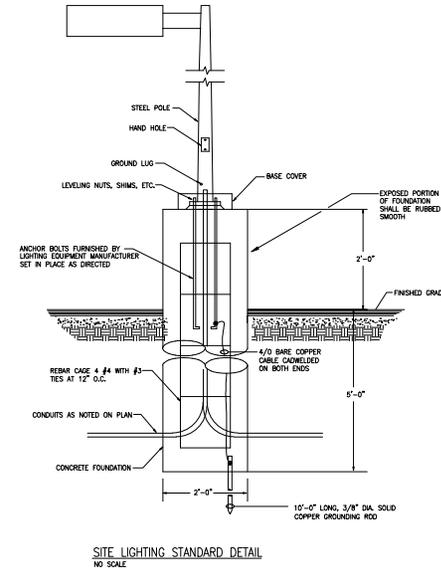
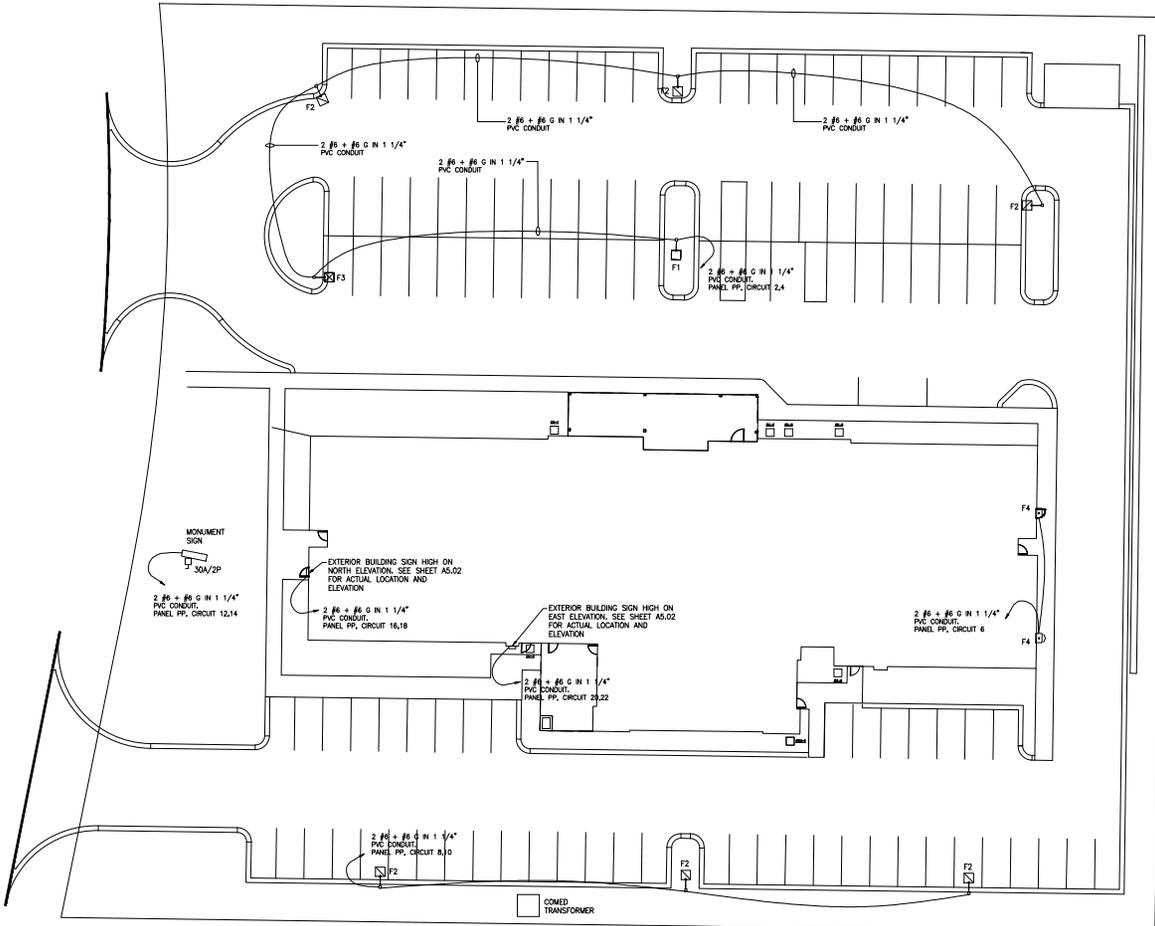
KNIGHT BRIDGE PARKWAY, LLC
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SHEET: D3
14 OF 14

Minor Engineering Co., Inc.
 710 E. Ogden Ave., Ste. 600, OF 13, Naperville, IL 62563
 Tel: 630.654.8774, www.minorcorp.com
 Illinois Design Firm Registration #: 184004218

LUMINAIRE SCHEDULE						
SYMBOL	QUANTITY	LABEL	ARRANGEMENT	LMF	LUMENS	LUMENS PER WATT
F1	1	K3	SINGLE	1,000	17291	130
F2	6	K4B	SINGLE	1,000	13286	130
F3	1	K4	SINGLE	1,000	17291	130
F4	2	X-3M-4L	SINGLE	1,000	4270	31

- SITE LIGHTING NOTES**
- POLES SHALL BE CERTIFIED FOR ACTUAL SOIL CONDITIONS.
 - MANUFACTURER SHALL PROVIDE CONCRETE BASE DETAIL TO ELECTRICAL CONTRACTOR FOR ALL POLE BASES. DETAIL ON DRAWINGS IS FOR RECORD PURPOSES ONLY.
 - PROVIDE RIGID GALVANIZED STEEL HEAVY WALL CONDUIT FOR ALL HOMERUNS TO A POINT 6'-0" FROM BUILDING LINE. PROVIDE PVC TO STEEL ADAPTORS. PROVIDE PVC CONDUIT FROM ADAPTOR TO ALL EXTERIOR AREA LIGHT STANDARDS. PVC CONDUIT SHALL BE TYPE "DW" DIRECT BURIAL. ALL TERMINATIONS ABOVE GRADE SHALL BE RIGID GALVANIZED STEEL HEAVY WALL. ALL CONDUIT SHALL BE 2'-0" BELOW GRADE.
 - EXACT LOCATION OF LIGHTING STANDARDS SHALL BE VERIFIED WITH THE ARCHITECT PRIOR TO INSTALLATION.
 - ALL SITE LIGHTING UNDERGROUND CABLE TO BE TYPE XLP-USE EXCEPT AS NOTED.
 - ALL SITE LIGHTING WIRING SHALL BE #6 AWG EXCEPT AS NOTED.
 - PROVIDE GROUND LUG IN LIGHT STANDARDS.
 - WIRE PROTECT TO RELAY FOR GAPS TO MAIN OPERATION. PROVIDE ALL CONTROL WIRING AND FINAL CONNECTIONS. PROVIDE BYPASS SWITCH.
 - PROVIDE BYPASS SWITCH FOR ALL TIME SWITCHES.
 - VERIFY BOLT CIRCLE WITH MANUFACTURER FOR EACH LIGHT STANDARD TYPE PRIOR TO DOING WORK.
 - ELECTRICAL SHALL NOISE MATERIAL AND LABOR FOR ALL ELECTRICAL WORK FOR PARKING LIGHT POLES AND MONUMENT SIGN.



1 SITE LIGHTING PLAN
 E0.00 SCALE: 1/8" = 1'-0"



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Home2 Hotel by Hilton
 350 Knightsbridge Parkway
 Lincolnshire, IL 60069

ISSUE INFORMATION

VERSION	REVISIONS
10/05/2019	20% Preliminary Plans- Hilton
03/06/2020	DRI submission to village
04/05/2019	DRI submission to village
05/08/2019	20% Preliminary Plans- Hilton

SHEET INFORMATION
 SITE LIGHTING PLAN

PAI # 19112.00
E0.00

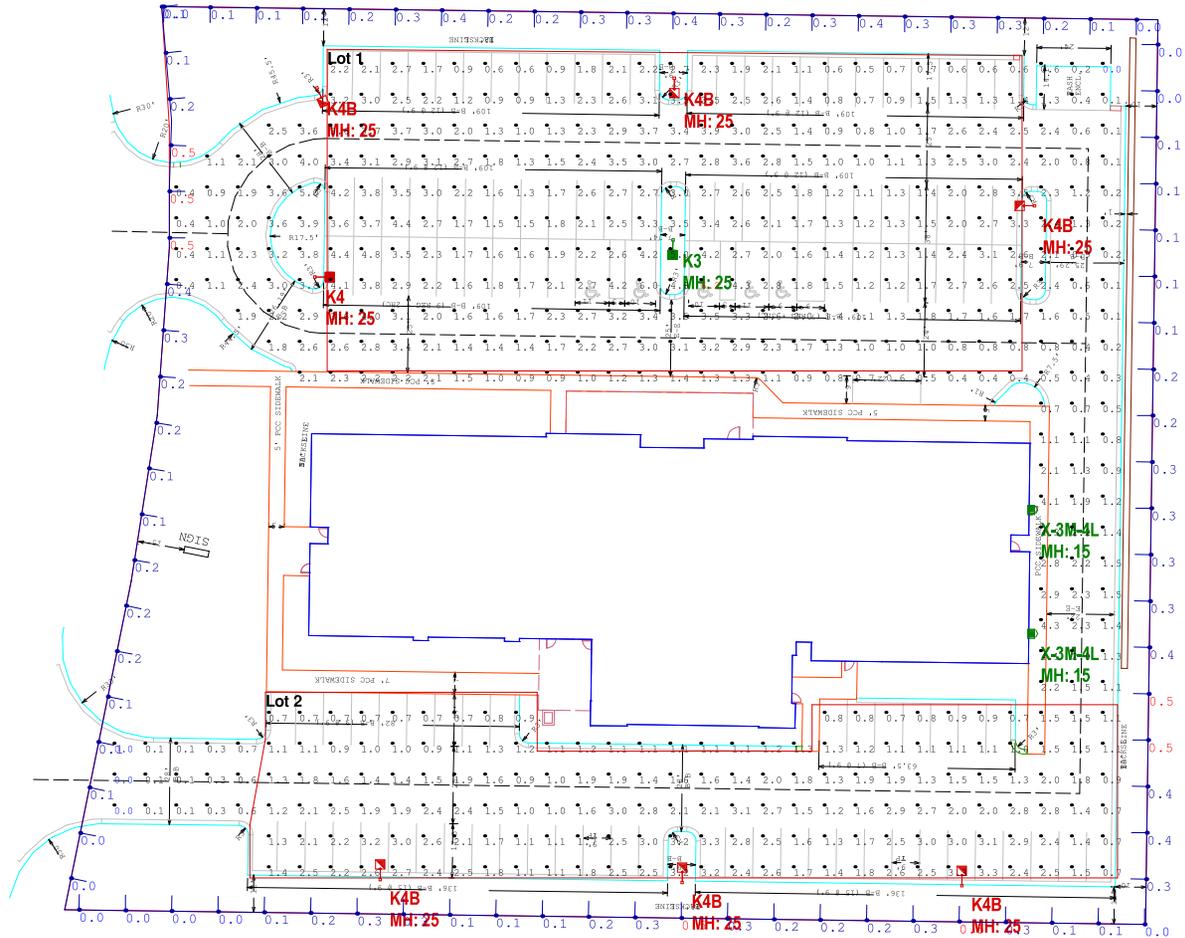
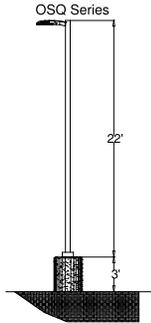
Luminaire Schedule							
Symbol	Qty	Label	Arrangement	LMF	Lum. Lumens	Lum. Watts	Part Number
	1	K3	SINGLE	1.000	17291	130	OSQ-A-NM-3ME-K-57K-... + OSQ-DA
	6	K4B	SINGLE	1.000	13286	130	OSQ-A-NM-4ME-K-57K-... + OSQ-DA + OSQ-BLSMF
	1	K4	SINGLE	1.000	17291	130	OSQ-A-NM-4ME-K-57K-... + OSQ-DA
	2	X-3M-4L	SINGLE	1.000	4270	31	XSPW-B-WM-3ME-4L-57K-...

Calculation Summary (Footcandles calculated using predicted lumen values @ 50K hrs of operation)						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts_1	Fc	1.89	6.2	0.0	N.A.	N.A.
Property Line at 60 in	Fc	0.00	0.5	0.0	N.A.	N.A.
Lot 1	Fc	2.27	6.2	0.5	4.54	12.40
Lot 2	Fc	1.76	3.3	0.7	2.51	4.71

Pole Schedule
 (8) PS4S2251_1 (22' X 4" X 125" STEEL SQUARE POLE)
 Proposed poles meet 130 MPH sustained winds.

Additional Equipment:
 (8) OSQ-DA (Direct Arm Mount)
 (6) OSQ-BLSMF (Backlight Shield)

*** CUSTOMER TO VERIFY ORDERING INFORMATION AND CATALOGUE NUMBER PRIOR TO PLACING ORDER ***



illumination results shown on this lighting design are based on project parameters provided to Cree. Cree shall not guarantee with luminaire test procedures conducted under laboratory conditions. Actual project conditions differing from these design parameters may affect field results. The customer is responsible for verifying dimensional accuracy along with consultation with any applicable electrical, lighting or energy code.

Project Name: H2 Hilton Hotel - 350 Knightsbridge Parkway, Lincolnshire, IL 60069

SR-35979

Footcandles calculated at grade

Filename: 190305SP1BAFR1.AGI

Layout By:

Date: 3/5/2019

Scale 1" = 20'

