

AGENDA
COMMITTEE OF THE WHOLE MEETING
Village Hall – Board Room
Monday, September 9, 2019
Following Regular Village Board Meeting

Reasonable accommodations / auxiliary aids will be provided to enable persons with disabilities to effectively participate in any public meetings of the Board. Please contact the Village Administrative Office (847.883.8600) 48 hours in advance if you need special accommodations to attend. The Committee of the Whole will not proceed past 10:30 p.m. unless there is a consensus of the majority of the Trustees to do so. Citizens wishing to address the Board on agenda items may speak when the agenda item is open, prior to Board discussion.

CALL TO ORDER

1.0 ROLL CALL

2.0 ITEMS OF GENERAL BUSINESS

2.1 Planning, Zoning and Land Use

2.11 Consideration of Courtesy Presentation Regarding Directional Sign Variations and New Ground Identification Sign Design Review (Adlai E. Stevenson High School District 125 – 1 Stevenson Drive)

2.12 New Medical Office Building – 231 Olde Half Day Road (Alexander and Julia Katsnelson)

(A) Consideration of Exterior Architectural Design of a Proposed New Medical Building per Section 6-14-4-E of the Lincolnshire Village Code (Site Plan, Building Design, and Landscape Plan)

(B) Consideration of a Resolution Approving a Plat of Dedication for Right-of-Way and Plat of Easement for Public Utilities and Drainage for 231 Olde Half Day Road

2.2 Finance and Administration

2.21 Consideration and Discussion of Requests from Citizens and Village Organizations Regarding Proposed Fiscal Year 2014 Budget (Village of Lincolnshire)

2.22 Consideration and Discussion of Proposed Goals for 2020 (Village of Lincolnshire)

2.3 Public Works

2.31 Consideration of Approval of an Agreement with the Illinois Department of Transportation (IDOT) for Stage 3 Improvements for the Illinois Transportation Enhancement Program (ITEP) Grant Project (Village of Lincolnshire)

2.32 Consideration of Approval of a Professional Services Agreement with Gewalt Hamilton Associates, Inc. for Phase 3 – Construction Observation Services for Stage 3 Improvements for the Illinois Transportation Enhancement Program (ITEP) Grant Project in an Amount not to Exceed \$38,771.00 (Village of Lincolnshire)

2.33 Consideration of Awarding a Multi-Year Contract to The Mulch Center for Leaf Hauling and Disposal (Village of Lincolnshire)

2.4 Public Safety

2.5 Parks and Recreation

2.6 Judiciary and Personnel

3.0 **UNFINISHED BUSINESS**

4.0 **NEW BUSINESS**

5.0 **EXECUTIVE SESSION**

6.0 **ADJOURNMENT**

**REQUEST FOR BOARD ACTION
Committee of the Whole
September 9, 2019**

Subject: Adlai E. Stevenson High School - 1 Stevenson Drive & 16139 Port Clinton Road

Action Requested: Courtesy Presentation regarding Directional Sign Variations and New Ground Identification Sign Design Review

Petitioner: Adlai E. Stevenson High School District 125

Originated By/Contact: Tonya Zozulya, Planning & Development Manager

Advisory Board Review: Architectural Review Board

Background

- Adlai E. Stevenson High School District 125 (School District 125) seeks variations for proposed directional signs throughout the school campus (1 Stevenson Drive) and design review of a new ground identification sign for the Transition House (16139 Port Clinton Road), as shown in Figure 1 and attached location map.
- Section 12-17-1-C of the Lincolnshire Village Code (Sign Variance) does not require preliminary evaluation at the Village Board for sign variances. However, School District 125 requested an opportunity to make a courtesy presentation to the Village Board (Board) prior to proceeding to the Architectural Review Board (ARB) to obtain the ARB's recommendation. As with other variance requests, the Village Board will have final approval authority over this request, subject to the ARB's recommendation.
- The 76.6-acre Adlai E. Stevenson High School property was developed in 1963 in unincorporated Lake County and annexed into the Village in two phases in 1981 and 1992. It received Special Use and R1 zoning approvals in 1992 (Ordinance #92-1226-04). In 2017, the residential property at 16139 W. Port Clinton Road was annexed to the Village for school use as a Transition House and is covered by the Special Use Ordinance.

Figure 1: Location Map



- Over 10 building additions have occurred since the school was originally constructed. The most recent 56,800-square-foot addition was approved as a Major Amendment to the Special Use in 2017 to accommodate projected enrollment growth to over 4,500 students by 2024 (Ordinance #17-3745-173).
- Recent amendment to the Special Use include a minor amendment to the Special Use for construction of a 100-stall parking lot over inactive tennis courts along the east side of the property (February 2019), as well as a minor amendment to the Special Use for a stadium Hall of Fame and a Transition House pergola (August 2019). Because these projects were minor amendments to the Special Use, only ARB approval was required.

Project Overview & Staff Comments

Directional Signs – School Campus (1 Stevenson Drive)

- School District 125 proposes to replace 17 existing wooden green directional signs with white letters throughout the school campus with 18 new aluminum grey directional signs with white letters. The replacement is required because the existing signs, installed approximately 15 years ago, have deteriorated and are difficult to read (see attached Document 2). The signs are designed to direct students, guests, and vendors to appropriate building and parking facilities. The location and message/text of the signs will remain the same; however, the size and design will be different. The signs will not be illuminated but utilize special reflective coating for wayfinding at night. Some signs will be double-sided while others will have a message only on one side.
- The proposal requests variations regarding sign height, size, message, and locations:

	Sign Area (sq.ft.)	Sign Height (ft.)	Sign Message	Sign Location
Code Requirements	3	4	“Exit”, “Entrance” and similar	Parking and driveway entrances/exits
Proposed Signs*	24.75	8	Various way-finding messages	Various locations
Existing Signs	20	7	Various way-finding messages	Various locations

*Note: The size of the proposed signs varies based on the message but does exceed dimensions shown above.

Ground Identification Sign – Transition House, 16139 Port Clinton Road

- Stevenson also proposes to install a new ground identification sign to identify the Transition House at 16139 Port Clinton Road. Code-compliant sign design and landscape plans will be provided prior to the ARB meeting.

Approval Process

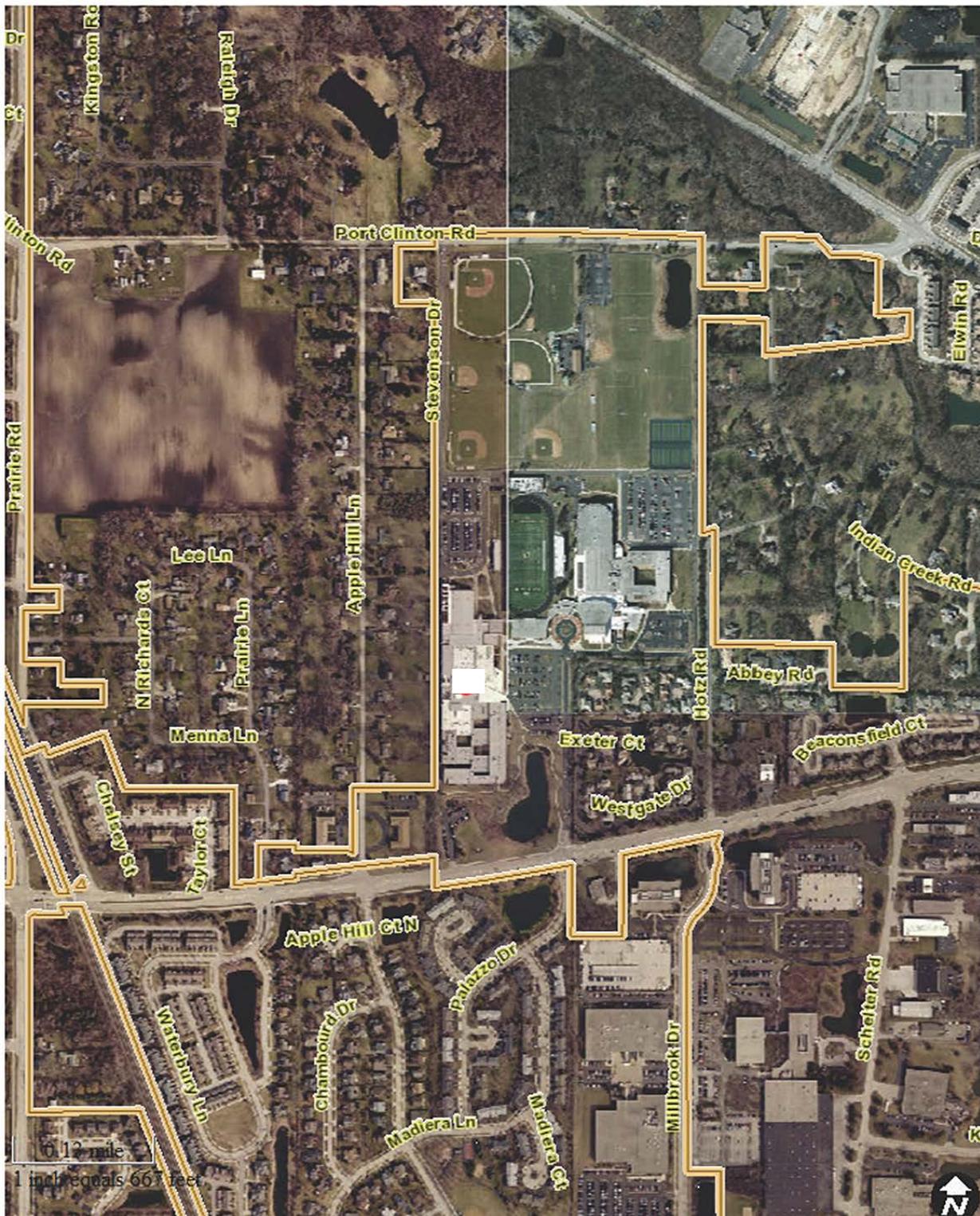
The Architectural Review Board will hold a public hearing regarding the directional sign variations and will review the proposed Transition House ground identification sign. The ARB will provide its recommendations and findings of fact regarding the directional sign variations to the Village Board for final review and approval. The ground identification sign will not be

submitted to the Village Board as the ARB holds final design review and approval authority for new code-compliant ground signs.

Reports and Documents Attached:

- Document 1: Location Map.
- Document 2: Petitioner's cover letter and presentation packet, prepared by Adlai E. Stevenson High School, dated September 9, 2019.

Meeting History	
Committee of the Whole – Courtesy Presentation	September 9, 2019



Map created on: August 13, 2019.

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The GIS Consortium and MGP Inc. are not liable for any use, misuse, modification or disclosure of any map provided under applicable law.

Disclaimer: This map is for general information purposes only. Although the information is believed to be generally accurate, errors may exist and the user should independently confirm for accuracy. The map does not constitute a regulatory determination and is not a base for engineering design. A Registered Land Surveyor should be consulted to determine precise location boundaries on the ground.



September 9, 2019

Mayor Elizabeth Brandt
Village of Lincolnshire
One Olde Half Day Road
Lincolnshire, IL 60069

RE: Directional Signs

Dear Mayor Brandt and Village Trustees

Adlai E. Stevenson High School – District 125 is an established and respected institution in the Village of Lincolnshire and has served the community as one of the most highly recognized secondary education organizations in the nation. Under current zoning ordinances, Stevenson High School is zoned under a special use permit within an R1 residential district. Per Village Code, we are requesting the approval from the Village of Lincolnshire for the following:

1. A variation to allow directional signs of up to 24.75 square feet in area, rather than code permitted maximum sign area of 3 square feet.
2. A variation to allow directional signs of up to 8 feet in height, rather than the code permitted sign height of 4 feet from grade.
3. A variation to allow directional signs in locations that designate other areas in addition to parking and driveway entrances/exits and sign faces to display additional information, rather than code permitted “Entrance”, “Exit” and similar messages.

Currently, there are 17 signs in need of replacement, primarily located along Stevenson Drive as starts from Rt. 22 and ends up at the back entrance off of Port Clinton Road. These signs are designed to provide drivers on our campus with the location of certain Campus locations as well as identify the various parking lots on campus. Unfortunately, the existing signs are outdated, hard to read, and dilapidated. Our request is to replace the 17 signs with 18 new signs that fit the updated image of the school, will be easier to read, and assist in traffic throughout the campus. In addition, we are also seeking approval to add an identification sign at the entrance to our day Transition House, located at 16139 Port Clinton Road bringing the total of new signs to 19. Code compliant sign design and landscaping plans will be submitted to staff prior to the Architectural Review Board meeting.

OUR MISSION: SUCCESS FOR EVERY STUDENT



The new signs will be located in the same spots with identical language. The main difference is the look. We are proposing to go from wooden green signs with white lettering that area approximately 7' tall from the ground. The larger directional sign face itself is 5'3" x 3'10" and the parking lot signs have a 2'6" x 2'6" square faces. The new signs will be similar in size but have an aluminum post with a darker brushed aluminum panel containing vinyl gold and white lettering. The only difference is the sign at the Transition House which will be 6'0" x 3'0". None of the existing signs are illuminated and neither will the new signs. However, we are using a reflective vinyl to make the words easier to read at night. Enclosed in our application are pictures of the existing signs, specs of the signage, and aerial locations of the existing signs.

Please accept our thanks for considering this request and feel free to contact me with any questions or concerns at (847) 415-4117.

Sincerely,

A handwritten signature in blue ink, appearing to read 'Sean P. Carney', is written over a light blue rectangular background.

Sean P. Carney
Assistant Superintendent for Business

SIGN SPECIFICATIONS

[A] - PANEL

Material: Aluminum
 Face Color: Paint to Match PMS 7540c Gray
 Backside Color: Paint Standard Brushed Aluminum

[B] - GRAPHICS

Material: Vinyl
 Color: Gold Reflective

[C] - GRAPHICS

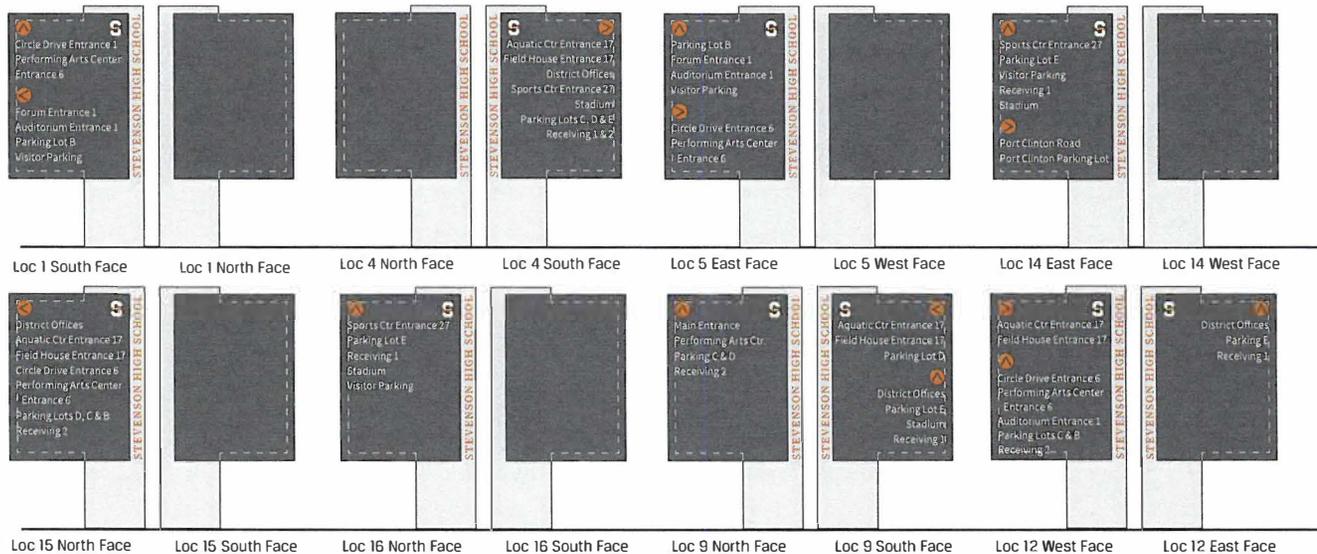
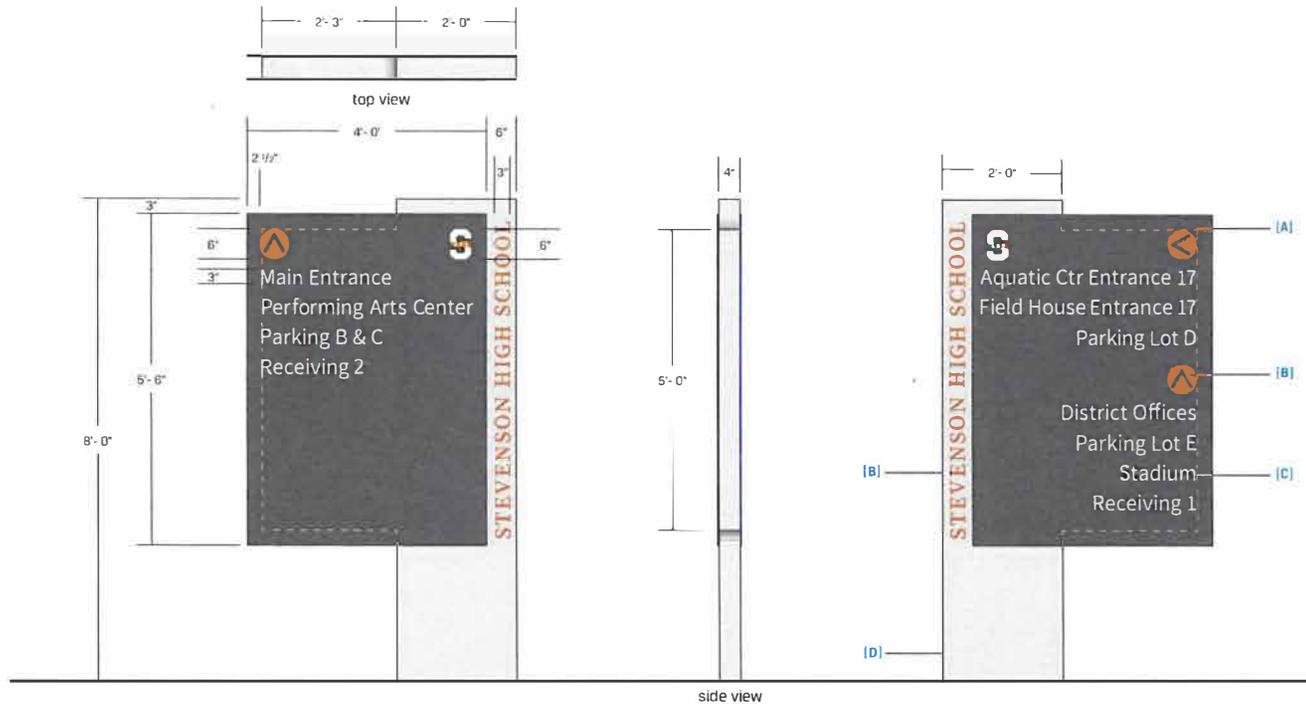
Material: Vinyl
 Color: White Reflective

[D] - BASE

Material: Aluminum
 Color: Paint Standard Brushed Aluminum

[E] - ILLUMINATION

No sign will be illuminated



Scale: 1/4"=1'

Loc 15 North Face Loc 15 South Face Loc 16 North Face Loc 16 South Face Loc 9 North Face Loc 9 South Face Loc 12 West Face Loc 12 East Face



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Project

Aldai Stevenson High School
 Lincolnshire, IL

Scale: 1/2"=1'

Original Page Size: 11" x 17"

Notes

Revisions

REV	DESCRIPTION	BY	DATE

Rev: Dan Schumann
 Drawn By: Andrew Thomas Date: 06/26/19

Sign Loc. No. .

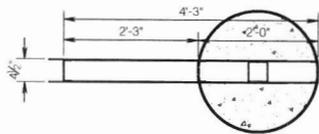
PP-01
 D/F Post & Panel
 Sign Type

85481

OPP - Project - Job No.

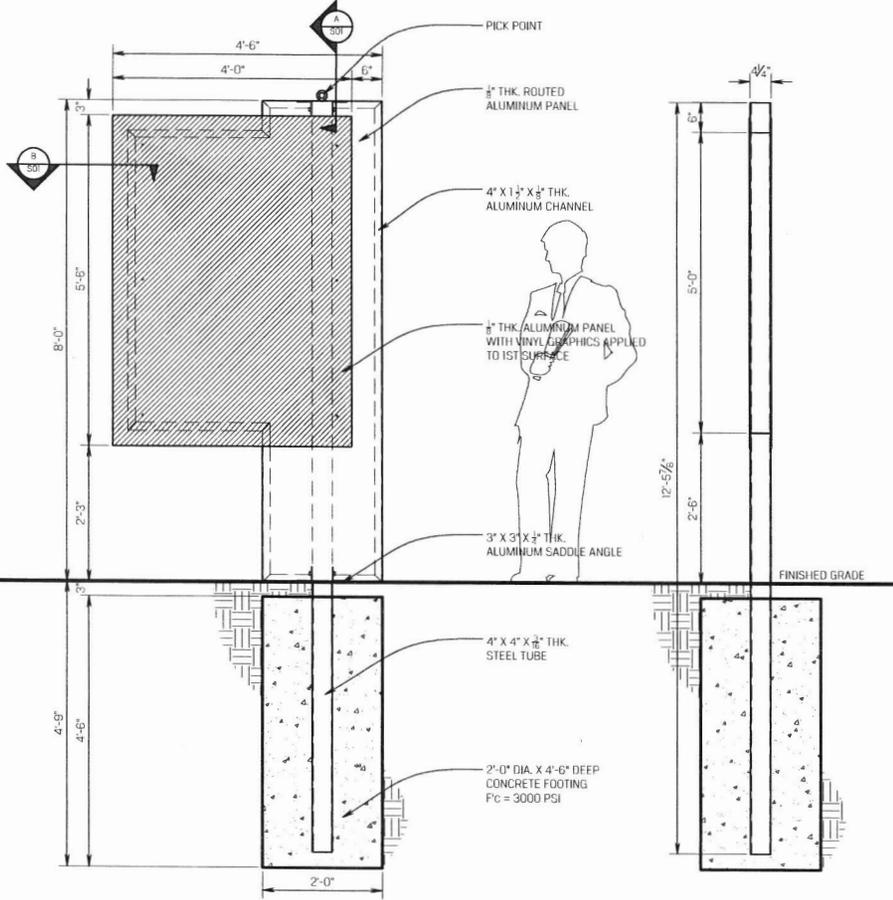
J02

Design



PLAN VIEW

SCALE: 1/2" = 1'-0"

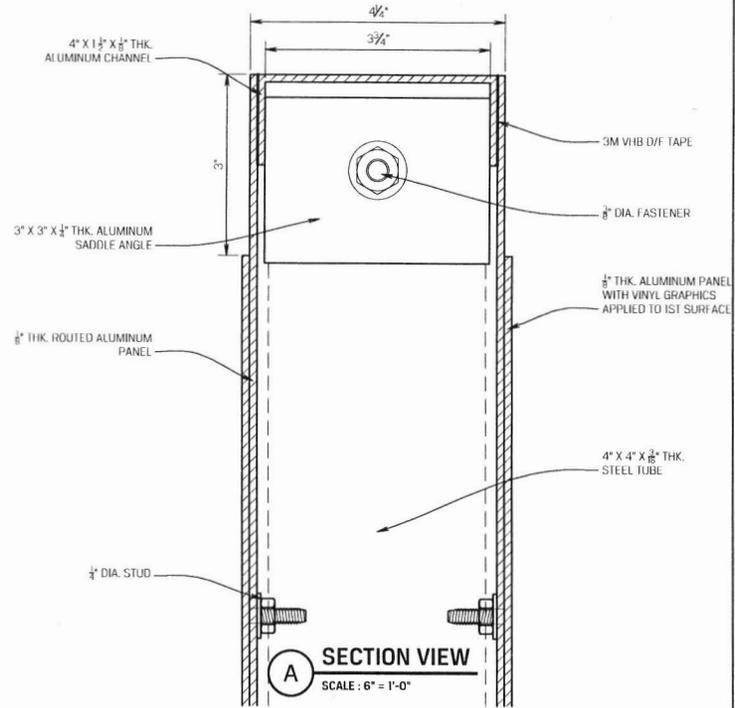


FRONT ELEVATION

SCALE: 1/2" = 1'-0"

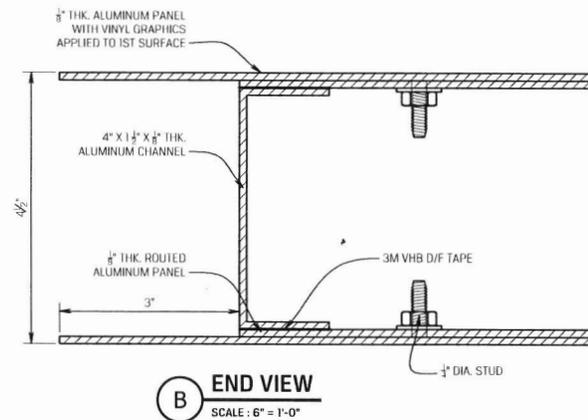
SIDE VIEW

SCALE: 1/2" = 1'-0"



A SECTION VIEW

SCALE: 6" = 1'-0"



B END VIEW

SCALE: 6" = 1'-0"



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Project

**ADLAI STEVENSON
HIGH SCHOOL**

ONE STEVENSON DRIVE
LINCOLNSHIRE, IL 60069

Scale: **AS NOTED**

Original Page Size: 11" x 17"

Notes

Revisions

REV	DESCRIPTION	BY	DATE
X	X	X	X

Rep: **DAN SCHUMANN** Orig. Date: **06/24/19**

Drawn By: **RAY LEBRON**

Sign Loc. No. **VARIOUS**

PP-01

POST & PANEL

Sign Type

85481

DPP-Project-Job No.

S01

Sheet

*NOTE: SEE DESIGN SKETCH FOR COLOR & COPY LAYOUTS

Project: Adlai Stevenson High School (85481) - PP-01.dwg, SHEET: S01, PLOT/DWG: 06/25/2019 8:53 AM, BY: RLEBRO

SIGN SPECIFICATIONS

[A] - PANEL

Material: Aluminum
 Face Color: Paint to Match PMS 7540c Gray
 Backside Color: Paint Standard Brushed Aluminum

[B] - GRAPHICS

Material: Vinyl
 Color: Gold Reflective

[C] - GRAPHICS

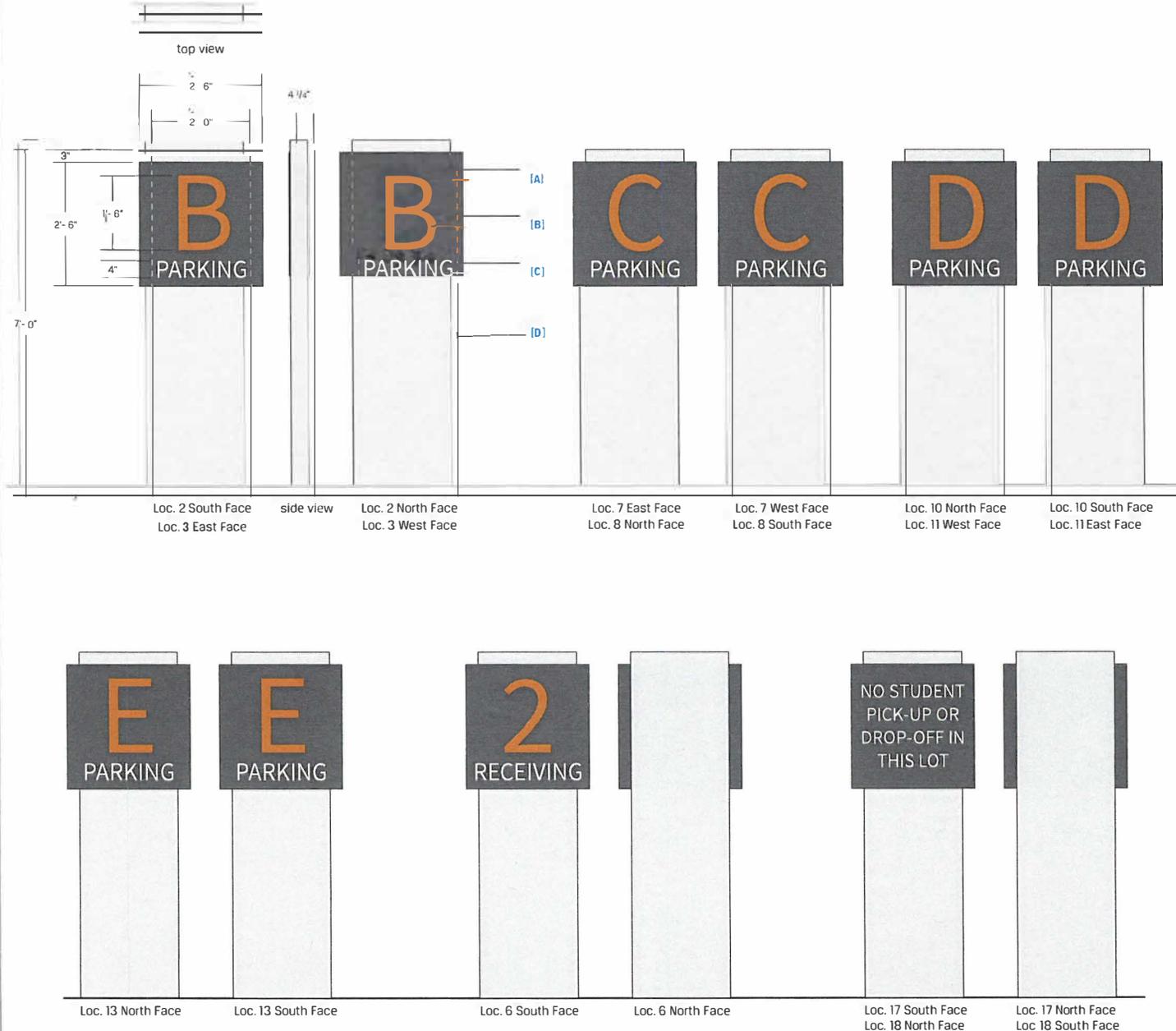
Material: Vinyl
 Color: White Reflective

[D] - BASE

Material: Aluminum
 Color: Paint Standard Brushed Aluminum

[E] - Illumination

No sign will be illuminated



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Project

**Adlai Stevenson
 High School**
 Lincolnshire, IL

Scale: 1/2"=1'

Drawn Page Size: 11" x 17"

Notes

Revisions

REV	DESCRIPTION	BY	DATE

Rep: Ben Schumann

Drawn By: Andrew Troims Eng. Date: 06/26/19

Sign Loc. No. VARIOUS

PP-02

Post & Panel

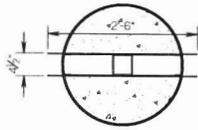
Sign Type

85481

OPP - Project - Job No.

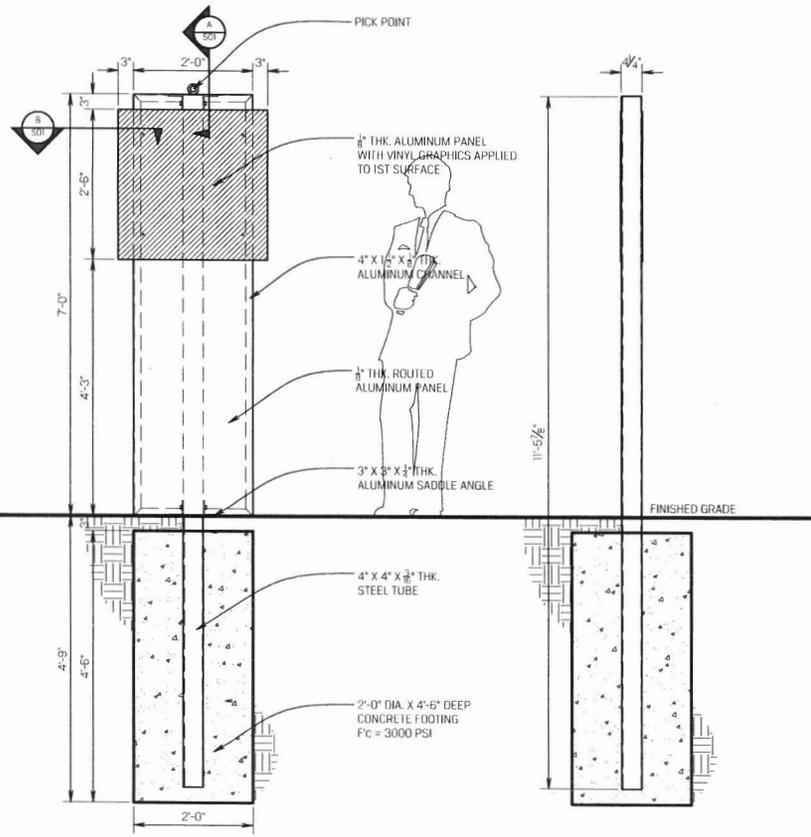
J02

Design



PLAN VIEW

SCALE: 1/2" = 1'-0"

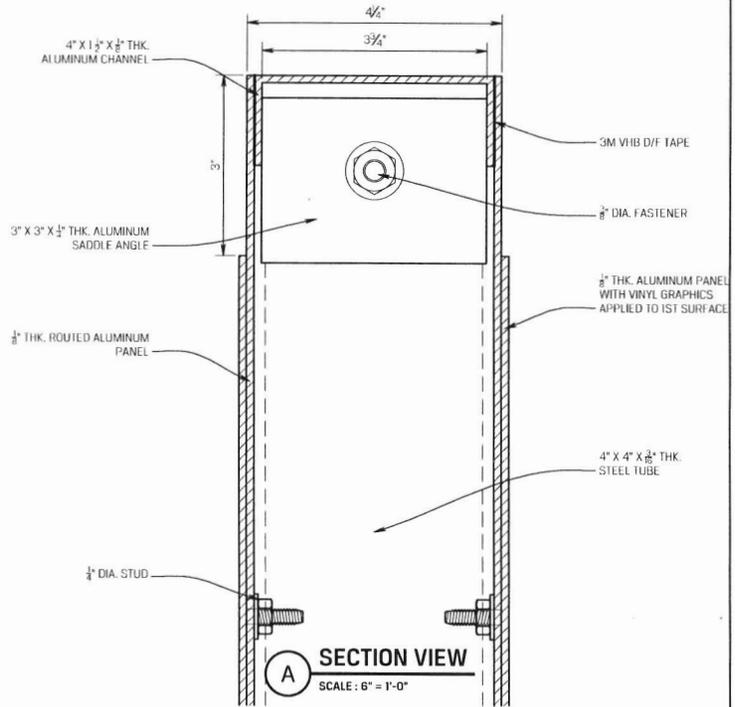


FRONT ELEVATION

SCALE: 1/2" = 1'-0"

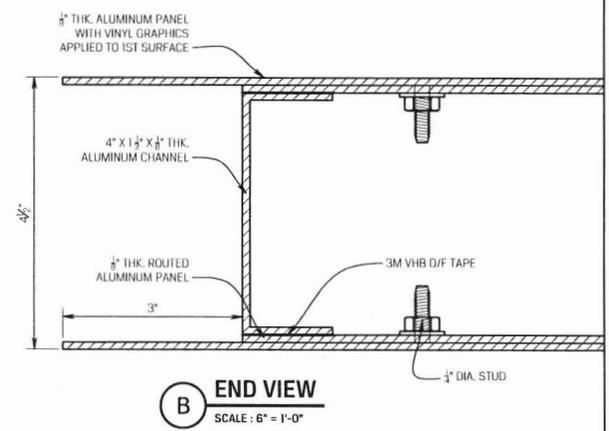
SIDE VIEW

SCALE: 1/2" = 1'-0"



A SECTION VIEW

SCALE: 6" = 1'-0"



B END VIEW

SCALE: 6" = 1'-0"



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Project
ADLAI STEVENSON HIGH SCHOOL

ONE STEVENSON DRIVE
LINCOLNSHIRE, IL 60069

Scale: **AS NOTED**
Original Page Size: 11" X 17"

Notes

Revisions

REV	DESCRIPTION	BY	DATE
X	X	X	X

Rep. **DAN SCHUMANN** Orig. Date: **06/24/19**
Drawn By: **RAY LEBRON**

Sign Loc. No. **VARIOUS**

PP-02

POST & PANEL

Sign Type

85481

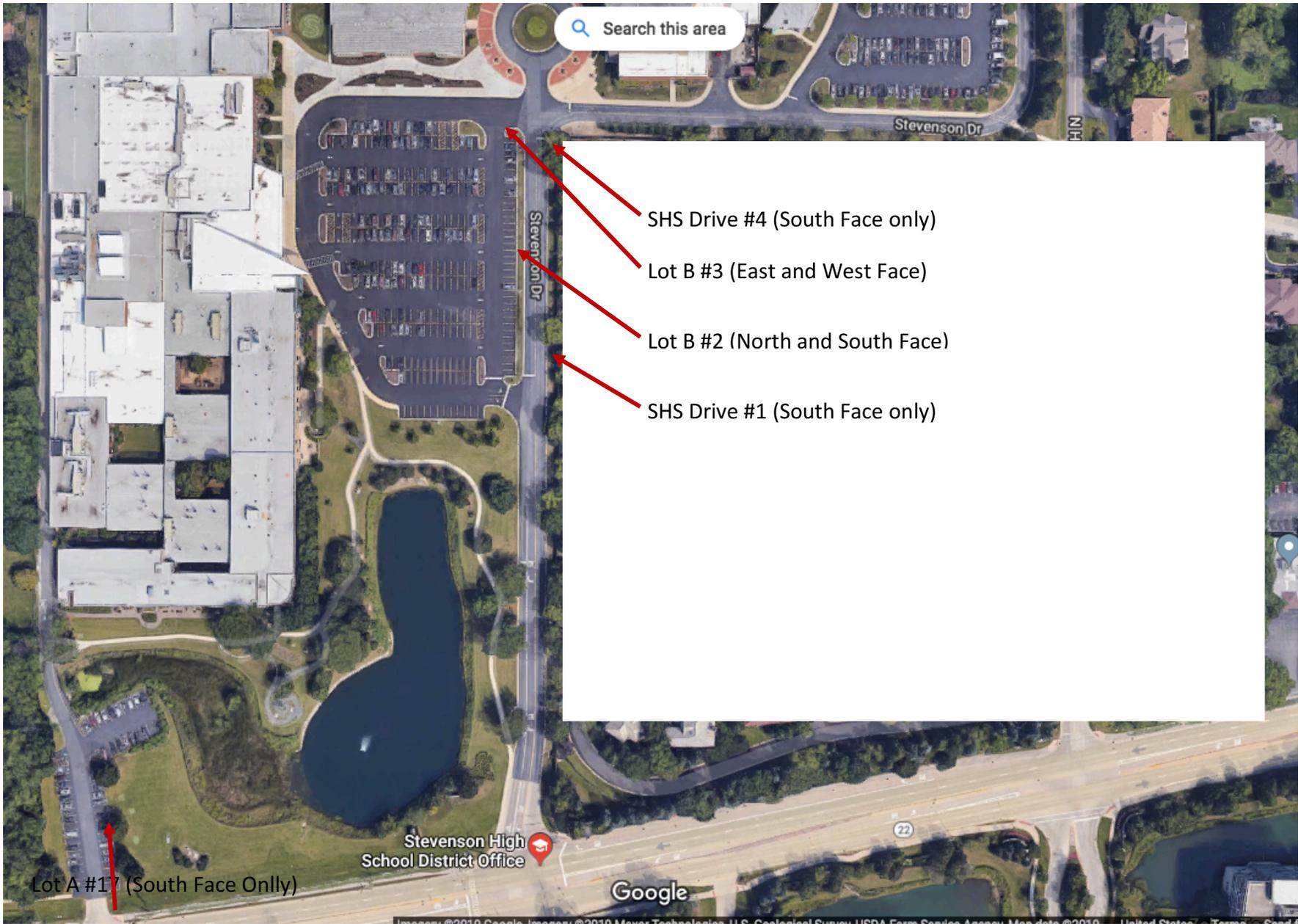
OPP-Project-Job No.

SO1

Sheet

ADLAI STEVENSON HIGH SCHOOL SIGNAGE PROJECT SHEET 501 PLOTTED: JUN 25 2019 10:00 AM BY: ABBOTTSWAY

*NOTE: SEE DESIGN SKETCH FOR COLOR & COPY LAYOUTS



Search this area

Stevenson Dr

Stevenson Dr

- SHS Drive #4 (South Face only)
- Lot B #3 (East and West Face)
- Lot B #2 (North and South Face)
- SHS Drive #1 (South Face only)

Lot A #17 (South Face Only)

Stevenson High School District Office

Google

22



SHS Dr. Lot D #12 (East & West Face)

Lot D #11 (East & West Face)

Lot D #10 (North & South Face)

SHS Dr. Lot D #9 (North & South Face)

Rec. 2 #6 (South Face Only)

Lot C #7 (East & West Face)

Lot C #8 (North & South Face)

Circle Drive #5 (East Face only)

High School

Stevenson Dr

N Hotz Rd

N Hotz Rd

Transition House #19
(North Face Only)

Port Clinton #18 (North Face Only)

SHS Drive #16
(North Face Only)

SHS Drive #15
(North Face Only)

T-Intersection #14
(East Face Only)

Lot E #13 (East & West Face)





SHS Drive by Lot B #1
Sign will have a South Face Only

Lot B #4
Sign has East and West Face





Lot B #3
Sign has North and South Face

Lot B Directional Sign #4
Sign has a South Face Only





Circle Drive #5
Sign has a East Face Only

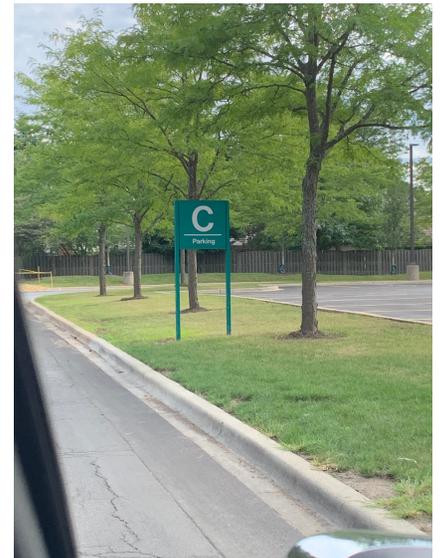


Receiving 2 #6
Sign has a South Face Only



Lot C #7
Sign has an East and West Face

Lot C #8
Sign has a North and South Face

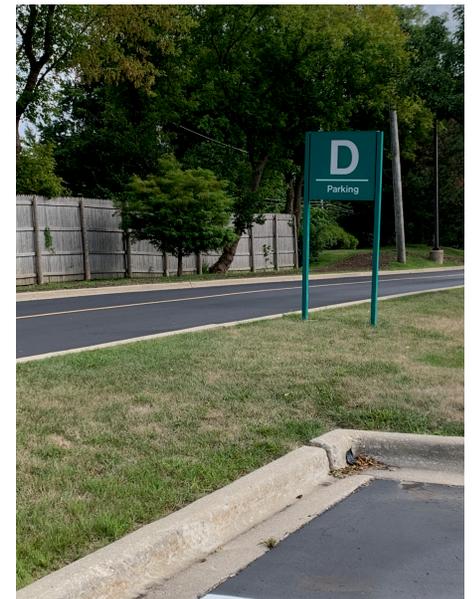




Directional Sign Outside Lot D #9
Sign has a North and South Face



Lot D #10
Sign has a North and South Face





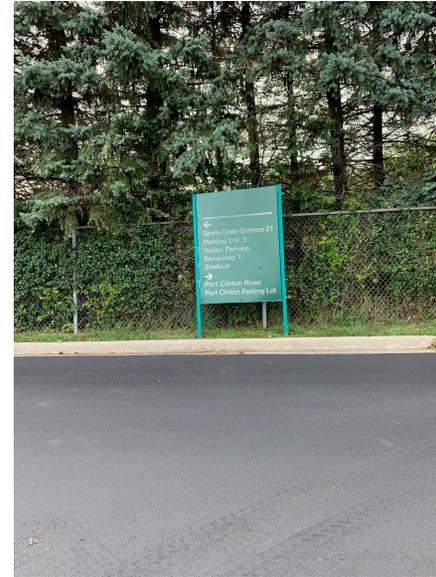
Directional Sign on North side of Lot D #12
Sign has an East and West Face

Lot D #11
Sign has an East and West Face





Lot E #13
Sign has a North and South Face

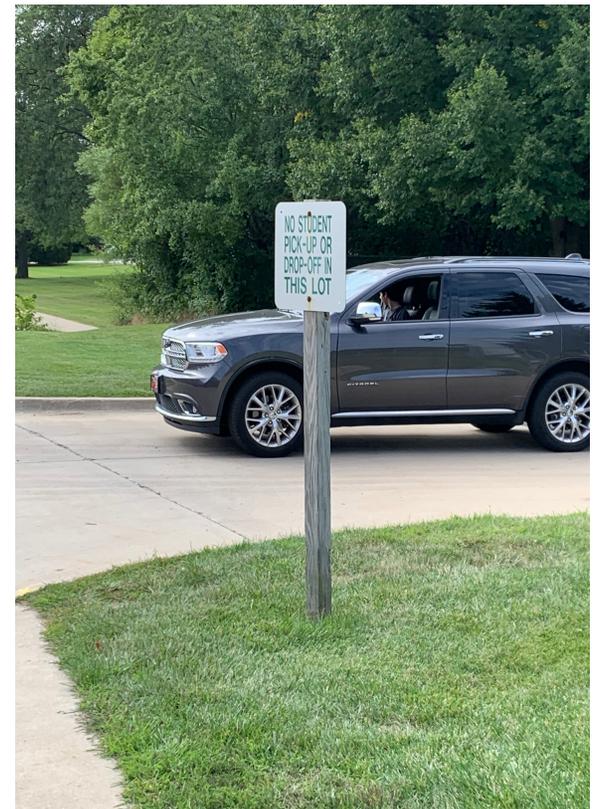


T-Intersection Sign #14
This is located in back by Lot E and
only has an East face



Directional Signs #15 & #16
Signs have a North Face Only

Lot A #17
Sign will face East and West





Port Clinton #18
Sign will be similar to other Parking Lot Signs
with an East and West Face

Transition House #19
This is a new sign with an East and West Face





SHS Dr. Lot D #12 (East & West Face)

Lot D #11 (East & West Face)

Lot D #10 (North & South Face)

SHS Dr. Lot D #9 (North & South Face)

Rec. 2 #6 (South Face Only)

Lot C #7 (East & West Face)

Lot C #8 (North & South Face)

Circle Drive #5 (East Face only)

High School

Stevenson Dr

N Hotz Rd

N Hotz Rd

Transition House #19
(North Face Only)

Port Clinton #18 (North Face Only)

SHS Drive #16
(North Face Only)

SHS Drive #15
(North Face Only)

T-Intersection #14
(East Face Only)

Lot E #13 (East & West Face)



REQUEST FOR BOARD ACTION
Committee of the Whole
September 9, 2019

Subject: New Medical Office Building – 231 Olde Half Day Road

Action Requested: 2.12(A) Consideration of Exterior Architectural Design of a Proposed New Medical Building per Section 6-14-4-E of the Lincolnshire Village Code (Site Plan, Building Design, and Landscape Plan)

2.12(B) Consideration of a Resolution Approving a Plat of Dedication for Right-of-Way and Plat of Easement for Public Utilities and Drainage for 231 Olde Half Day Road

Petitioners: Alexander and Julia Katsnelson

Originated By/Contact: Ben Gilbertson, Assistant Village Manager/CED Director

Advisory Board Review: Architectural Review Board

Background

- Petitioners Alexander and Julia Katsnelson request approval of a site plan, building design, and landscape plans for a new medical office to establish dermatology and oral, maxillofacial, and surgery practices at 231 Olde Half Day Road in the B1 zoning district. The proposal is approved by the property owner, Njb Real Estate LLC.
- The petitioners plan to acquire the property, demolish the existing two-story, 4,572-square-foot vacant building and construct a new one-story, 5,000-square-foot medical office building. Built in 1963, the existing building most recently housed NJB Operations/Taco Bell Corporation offices and became vacant two-and-a-half years ago.
- At the January 12, 2019 Committee of the Whole meeting, the petitioners first requested a preliminary evaluation of a proposed text amendment to the Lincolnshire Village Code to eliminate the 25% ground floor sales tax-generating use restriction in the B1 and B2 zoning districts. The Village Board approved the text amendment at its July 9, 2019 meeting, after proper review and consideration by the Zoning Board on June 25, 2019.
- The petitioners also requested a second preliminary evaluation for review of the site plan and building elevations, which took place on March 18, 2019. At that time, the Village Board referred this request to the Architectural Review Board (ARB).

Architectural Review Board Consideration and Recommendation

- The ARB met on July 16 and August 20, 2019 to review the site design, building elevations, landscaping, exterior lighting, parking, and exterior signage. At the August 20 meeting, the ARB conditioned their approval of the corresponding plans on the following items (the petitioner's responses to these conditions are described in *italicized text*):

- Consideration for masonry stack bonds.
 - *The petitioners have changed the brick from stack bond to running bond.*
- Consideration for revisions to the parapet feature over the main entrance of the building.
 - *The petitioners have increased the depth of the parapet from 3' to 8'-7".*
- Introduction of additional evergreens throughout the site.
 - *The petitioners have added additional Dark American Arborvitae along the western property line to provide additional seasonal color and visual interest. Additional minor changes were made to landscaping throughout the site.*

Lake County Stormwater Management Commission (SMC) Approvals

- On August 9, 2019, SMC issued a letter indicating acceptance of the stormwater management plans. SMC permits will be issued once the applicant purchases the property. Staff does not anticipate additional site plan changes as a result of final SMC permits.

Plats of Easement and Dedication

- Initial plats of the property depicted the property line extending into the Olde Half Day Road right-of-way. Additionally, the Village Engineer recommended a plat of easement for the existing sanitary sewer main on the subject property (located outside the right-of-way). The petitioner has since submitted a plat of dedication for the right-of-way and a plat of easement for the utility connection. Both plats are recommended for approval by the Village Engineer and Village Attorney.

Recommendation:

Consideration of the proposed exterior architectural design for a new medical building, as well as the draft resolution for the plats of dedication and easement, and direct placement on the September 23, 2019 Regular Village Board meeting agenda.

Reports and Documents Attached:

- Document 1: Presentation packet, prepared by Alexander and Julia Katsnelson, and Sara E.F. Gensburg, Ltd., dated September 2, 2019.
- Document 2 July 16 and August 20, 2019 Architectural Review Board staff memoranda and meeting minutes.
- Document 3: June 25, 2019 Zoning Board staff memorandum and meeting minutes.
- Document 4: Lincolnshire Downtown Design Guidelines, approved November 23, 2015.
- Document 5: Draft resolution, prepared by the Village Attorney.

Meeting History	
Committee of the Whole – Preliminary Evaluation (Text Amendment)	January 14, 2019
Committee of the Whole – Preliminary Evaluation (Site Plan and Building Elevations)	March 18, 2019
Zoning Board – Public Hearing (Text Amendment)	June 25, 2019
Regular Village Board (Text Amendment Approval)	July 8, 2019
Architectural Review Board (Site Design Consideration and Discussion)	July 16, 2019

Architectural Review Board (Continued Site Design Consideration and Discussion)	August 20, 2019
Committee of the Whole – First Reading (Exterior Architectural Design and Resolution for Acceptance of Plats of Dedication and Easement)	September 9, 2019

To: Mayor Brandt and Board of Trustees

1 Olde Half Day Rd,

Lincolnshire, IL 60069

In this letter we would like to propose approval of the new medical building at location 231 Olde Half Day Road.

We are husband and wife who would like to open a practice which will combine both of our specialties.

Dr. Alexander Katsnelson is a Board Certified Oral and Maxillofacial Surgeon. He did his Oral and Maxillofacial Surgery residency at University of Illinois and Massachusetts General Hospital/Harvard Medical school programs. Dr. Julia Katsnelson graduated from Rush University Medical School in Chicago, and finished her Dermatology Residency at New York Medical College, in New York City.

In order to establish the practice, we would like to demolish the existing 4572 sq.ft. vacant building located at 231 Olde Half Road, which has been vacant for more than 2 years. The current building is not ADA compliant, and cannot be used for business purposes.

The proposed building will have a footprint of approximately 5000 sq. ft., which will be built compliant to all the codes and stylistic requirements of the Village.

At the January 14, 2019 Committee of the Whole meeting, we first requested a preliminary evaluation of a proposed text amendment to the Village Code to eliminate the existing 25% ground floor sales tax generating use restriction in the B1 and B2 Business zoning districts. The Village Board referred the text amendment request to the Zoning Board for a public hearing.

On March 18th we had a second Preliminary Evaluation by the village board for review of the site plan and building. The Village Board preliminarily approved the plan and referred our request to the Architectural Review Board.

On June 25th we presented our proposal for the text amendment to the Zoning Board and it was unanimously approved.

On July 16th we presented our building design to the Architectural Review Board and they had several suggestions, which we addressed prior to the following meeting:

- They recommended we reconsider the location of the trash enclosure- after reviewing it, we determined that we couldn't change the location, but we changed the orientation, modified the materials to brick as well as provided landscape screening in order to "soften" and improve the view of the trash enclosure.

- The Board also recommended relocation of the potential future generator from the roof to the ground because of the weight of the generator. Since there is no acceptable place for the generator on the ground, we decided to change the structure of the building to a more sturdy structure (CMU), if we decide to incorporate a generator in the future.
- We also switched the brick to larger “Norman” type of brick.
- And lastly, we changed our landscaping by removing two Armstrong Red Maples and four Dark American Arborvitae and adding nine Ground Mound Alpine Currants and two hydrangea.

On August 20th, Architectural Board review unanimously confirmed the design and they had several considerations, which we included in our latest design:

- Parapet feature at the entrance- in our final design we increased the depth of the parapet from 3'-0" to 8'-7"
- Stack bond material- We changed the brick bonding from stack bond, which is prone to cracking, to Norman brick but in running bond.
- Instead of draining the canopies with scuppers, the drain pipe is going to be running on the interior of the building.
- Landscaping (focal point when exiting, taller and more evergreens around the site, location of switch grasses against the building)- We added dwarf boxwood at the foundation for year-round greenery and added some evergreens on the west perimeter planting to give more winter interest.

In addition to that, we provided the village staff with Plats of dedications and easements.

In summary, we are proposing to build Oral and Maxillofacial Surgery and Dermatology practices at 231 Olde Half Day Rd, Lincolnshire. By demolishing an old building and constructing a new building, we will improve the look of a highly traveled road. Both of our practices are high volume, which will increase foot traffic to the area and neighborhood businesses. Our practices will directly generate tax revenue to the village, by selling dermatology related products and also by paying real estate tax on a new building. And most importantly, our goal is to bring state-of-the-art care to the residents of Lincolnshire.

Please approve our building design and plats of dedications and easement.

Thank you very much,

Drs. Alexander and Julia Katsnelson



One Olde Half Day Road
Lincolnshire, IL 60069
847.883.8600
www.lincolnshireil.gov

PLANNING & ZONING APPLICATION

DEPARTMENT OF COMMUNITY & ECONOMIC DEVELOPMENT

Application Number: _____

PROPERTY ADDRESS: 231 Olde Half Day Road

PIN #(s): 15-15-400-039

APPLICANT NAME: Alexander and Julie Watson

APPLICATION REQUEST(S) Please check all that apply

- Amendment**
 - Text*
 - Annexation Agreement
 - Other
- Architectural Review Board (ARB)***
 - New Structure/Development
 - Modification to Structure/Development
 - New Signage
 - Modification to Signage
- Special Use***
 - New Special Use/PUD
 - Major Amendment to Special Use/PUD
 - Minor Amendment to Special Use/PUD
- Appeal of Administrative Decision**
- Annexation***
- Rezoning***
- Subdivision***
- Variance***

* Refer to the applicable **Information Packet** for additional information and required materials.

DESCRIPTION OF REQUEST(S):

Request to change the B code to remove the 25% restriction
non-sales tax generating uses of the ground floor area.

Attach additional pages if necessary

APPLICANT INFORMATION

Applicant Information

Name: Alexander and Julia Kutsnelson Company: _____
 Address: 488 Thorndale Drive Telephone: (847) 9029977
Buttalo Grove, IL, 60089 Fax: ()
 Email Address: alex@kutsnelson.net

Primary Contact Information (if different than Applicant Info)

Name: _____ Company: _____
 Address: _____ Telephone: ()
 _____ Fax: ()
 Email Address: _____

Property Owner Information (if a Trust, see attached Beneficiary Disclosure Form)

Name: NJB Real Estate, LLC Company: _____
 Address: 302 Saunders Road, Suite 100 Telephone: (847) 955-1000
Riverwoods, IL 60015 Fax: (847) 634-2200
 Email Address: neil@tacomakers.com

REPRESENTATIVES INFORMATION

Attorney

Name: _____ Company: _____
 Address: _____ Telephone: ()
 _____ Fax: ()

Architect/Land Planner

Name: Sara EF Gensburg LTD Company: _____
 Address: 105 Revere Dr, #6 Telephone: (847) 715-9591
Northbrook, IL, 60062 Fax: ()

Engineer/Land Surveyor

Name: _____ Company: _____
 Address: _____ Telephone: ()
 _____ Fax: ()

Landscape Architect

Name: _____ Company: _____
 Address: _____ Telephone: ()
 _____ Fax: ()

Other:

Name: _____ Company: _____
 Address: _____ Telephone: ()
 _____ Fax: ()

REQUIRED MATERIALS

The materials identified below must be included with the Application, *incomplete submittals will not be accepted*. Prior to submitting an Application Packet, a pre-application meeting with the Planning Staff is recommended.

- Letter of Request:** The Applicant must provide a letter to the attention of the Mayor and Village Board of Trustees, with this application, which describes the request(s) and outlines the reason(s) for the request(s).
- Legal Description:** The legal description of all subject properties must be submitted in (1) an accurate and legible 8½" x 11" paper format, and (2) an electronic duplicate in Microsoft Word format.
- Plat of Survey:** An accurate Plat of Survey prepared by a registered land surveyor or professional engineer. The Plat of Survey must include all information required by the Illinois Survey Manual.
- Application Fee(s):** See page 4 of this Application.
- Cash Advance Account Deposit:** See page 4 of this Application
- Accompanying Documents Identified in Information Packet (if necessary)**

APPLICANT/OWNER ACKNOWLEDGEMENTS

The Applicant(s) and Owner(s) do hereby certify, acknowledge, and affirm that:

1. I (We) have carefully and fully read this application, and all of the statements contained in this Application Packet are true.
2. I (We) fully understand and agree to comply with the terms and provisions outlined in this application and the Lincolnshire Village Code.
3. I (We) agree to pay all applicable filing fees and assume responsibility for the payment of all reimbursable expenses associated with the processing of this application and request(s).

NJB Real Estate, LLC

Alexander, Jodi L. Kotschenko, Julia
Signature of Applicant

[Signature]
By: Signature of Property Owner

6/27/19
Date

7-10-19
Date

Index of Drawings

A-1	Site Plan, Site Data Chart	EX-1	Autoturn Exhibit
A-2	Floor Plans / Canopy Section		
A-3	Roof / Equipment Screening Plan	L-1	Conceptual Landscape Plan
A-4	Building Elevations		
A-5	Renderings	M-4	Roof Level HVAC Plan
A-6	Sign Plan and Site Amenities		
A-7	Colored Elevations	E-1	Electrical Site Plan
A-8	Colored Elevations	E-2	Basement Level Plan
			Site Photometrics
C-0	Existing Topography		
C-0.1	Demolition Plan		
C-1	Geometric Plan		
C-2	Grading Plan		
C-3	Utility Plan		
C-4	Details		

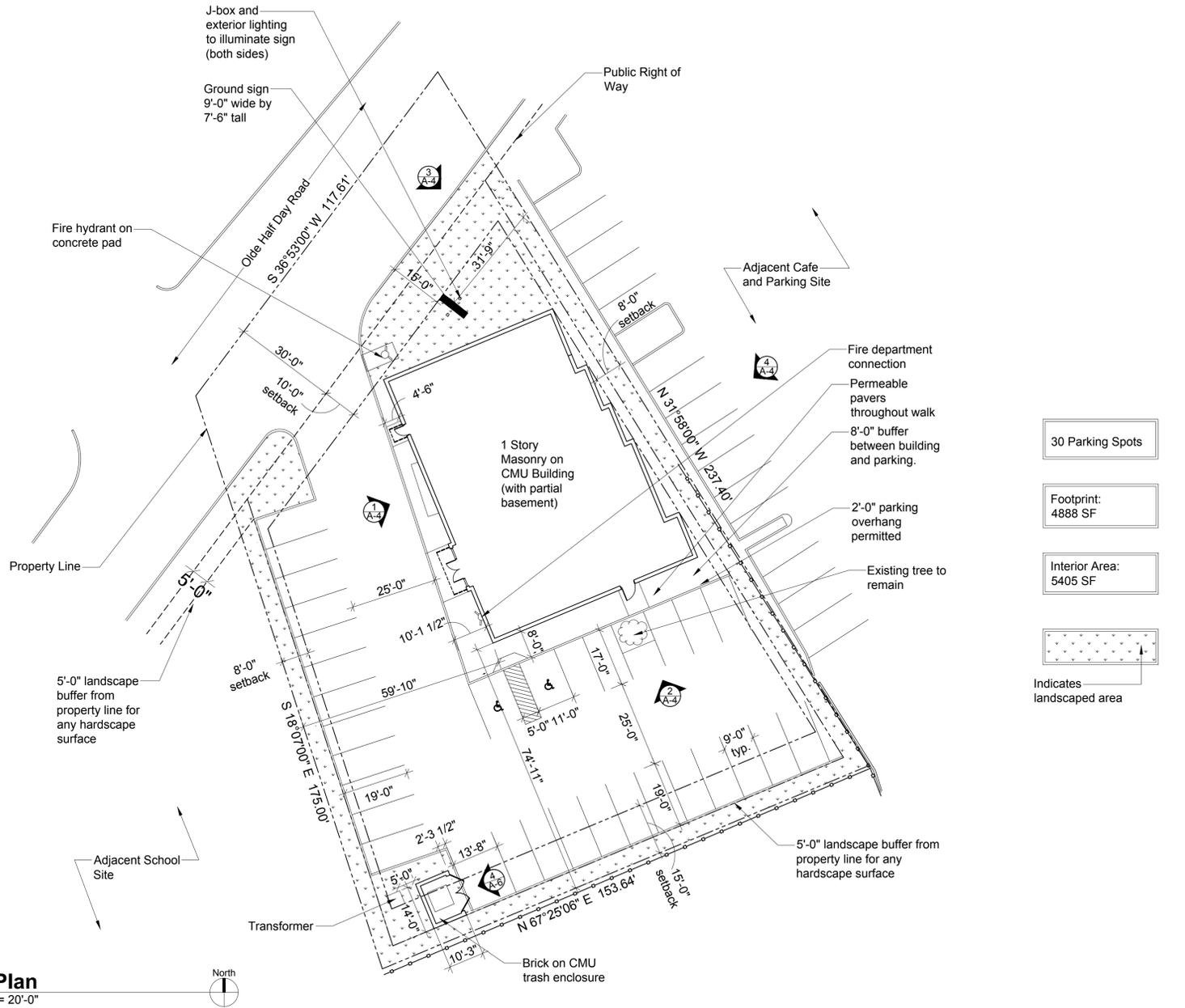
Building Setbacks		
	Required	Provided
Front:	10'-0" from Right of Way line	10'-0"
Side:	8'-0"	8'-0" East Side 59'-10" West Side
Rear:	15'-0"	74'-11"



Site Data	
Zoning District:	B1
Proposed Use:	Medical Office Building
Min. Lot Area:	15,000 SF
Actual Lot Area:	26,422 SF
Min. Lot Width:	100'-0"
Actual Lot Width:	153'-6"
Gross Area of Site:	26,422 SF
Net Area of Site:	22,750 SF
Gross Area of Impervious Surfaces:	18,174 SF
Gross Area of Open Space:	21,534 SF
Gross Building Area:	5,405 SF
Total FAR:	.19
Max. Building Height:	2.5 stories or 30'-0"
Actual Building Height:	1 story and 20'-6"
Code Req. Parking and ADA Spaces:	
Physician's Office - 11 employees + 21 exam room	
9 employees = 9	
10 exam rooms = 20	
1 extra spot = 1	
TOTAL =	30 Parking Spaces
ADA Spaces required - for 26-50 Parking Spaces = 2 ADA spaces required	
Actual Provided Parking and ADA Spaces:	
30 Parking Spaces provided with 2 ADA Spaces	

- Surrounding Context**
- (A) 2 Story School @ 239 Olde Half Day Road
 - (B) 1 Story Church @ 240 Olde Half Day Road
 - (C) 1 Story Restaurant @ 410 Milwaukee Avenue
 - (D) 2 Story Office Building @ 430 Milwaukee Avenue
 - (E) 1 Story Commercial Building @ 435 Milwaukee Avenue
 - (F) 2 Story Office Building @ 440 Milwaukee Avenue
 - (G) 1 Story Restaurant @ 450 Milwaukee Avenue
 - (H) 1 Story Commercial Building @ 490 Milwaukee Avenue
 - (I) 1 Story Restaurant @ 405 Milwaukee Avenue

Surrounding Architectural Context						
Address	Building Type	Style	Roof Style	Materials	Special Elements	Picture
239 Olde Half Day Road	School	Colonial Modern addition	Gabled	Painted white brick Shingled roof	Arches Bell Tower	
240 Olde Half Day Road	Church		Gabled Dormers	Natural wood Brown Shingled roof	Arches Wood supports, decorative brackets	
410 Milwaukee Avenue	Restaurant	Contemporary	Gable	Natural colors Stone Red accent color	Stone details	
430 Milwaukee Avenue Oak Tree Corners	Commercial/Retail	Contemporary	Mansard	Natural colors Brick Shingled roof	Brick clad columns Arched colonnade	
440 Milwaukee Avenue	Office	Neo-Classical Postmodern	Hip roof with varying heights	Shingles	Varied roof with dormers, eyelids	
450 Milwaukee Avenue	McDonalds	Contemporary	Hip roof with varying heights	Shingles	Varied roof heights	
405 Milwaukee Avenue	Culvers	Contemporary	Parapet Roof	Natural colors stone	Accented entry	
Miscellaneous buildings in downtown district		Contemporary	Shingled roofs	Stone lintels Stone details		
Other buildings recently built in Lincolnshire		Contemporary	Parapet roofs	Stucco Stone details		



Sara E.F. Gensburg, Ltd.
Architecture/Design Suite G
105 Revere Dr. #6062
Northbrook, IL 60062
Fax: (847) 715-9581
Phone: (847) 715-9591

MEDICAL OFFICE BUILDING
231 OLDE HALF DAY ROAD
LINCOLNSHIRE, ILLINOIS

No.	Date:	Issued:
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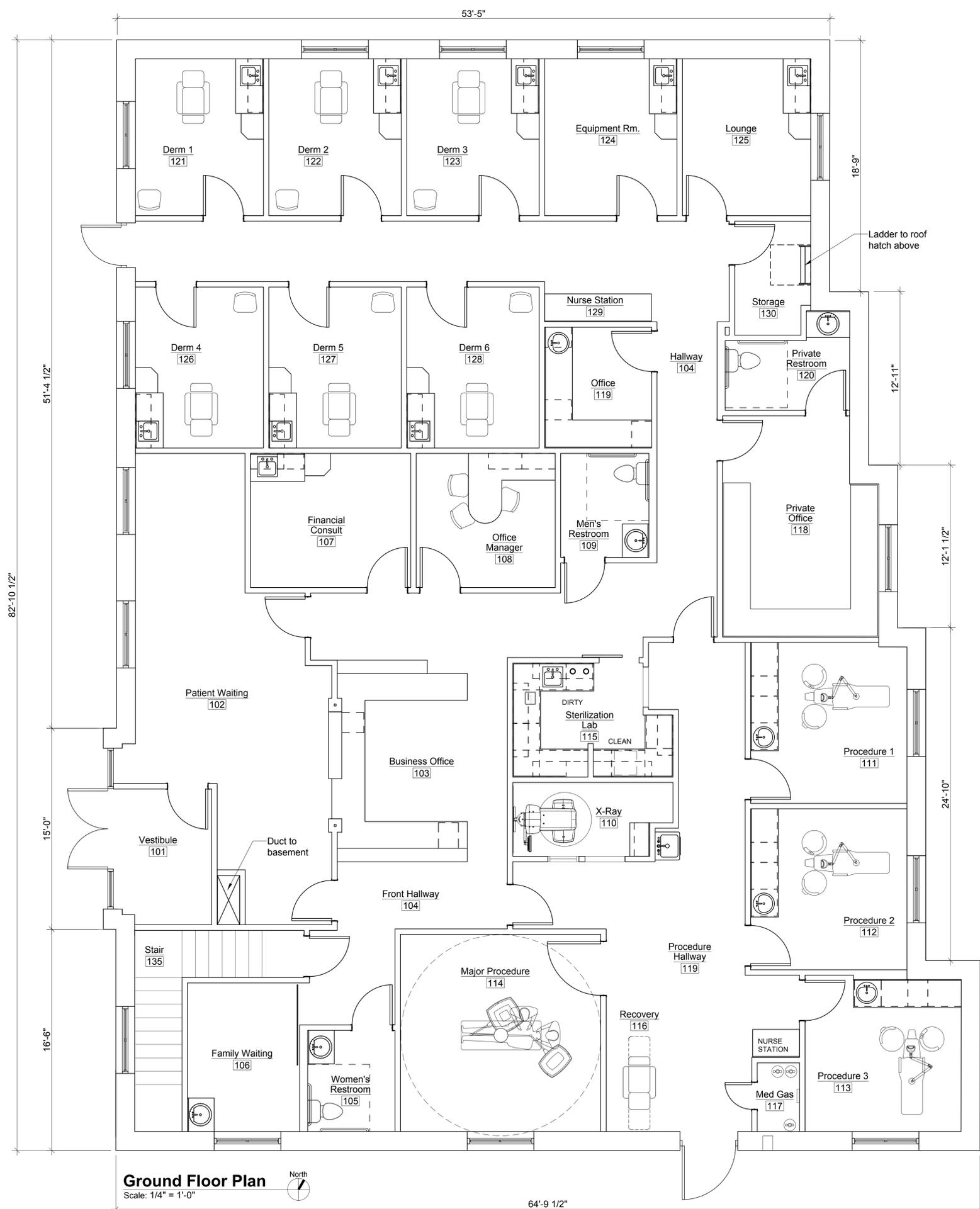
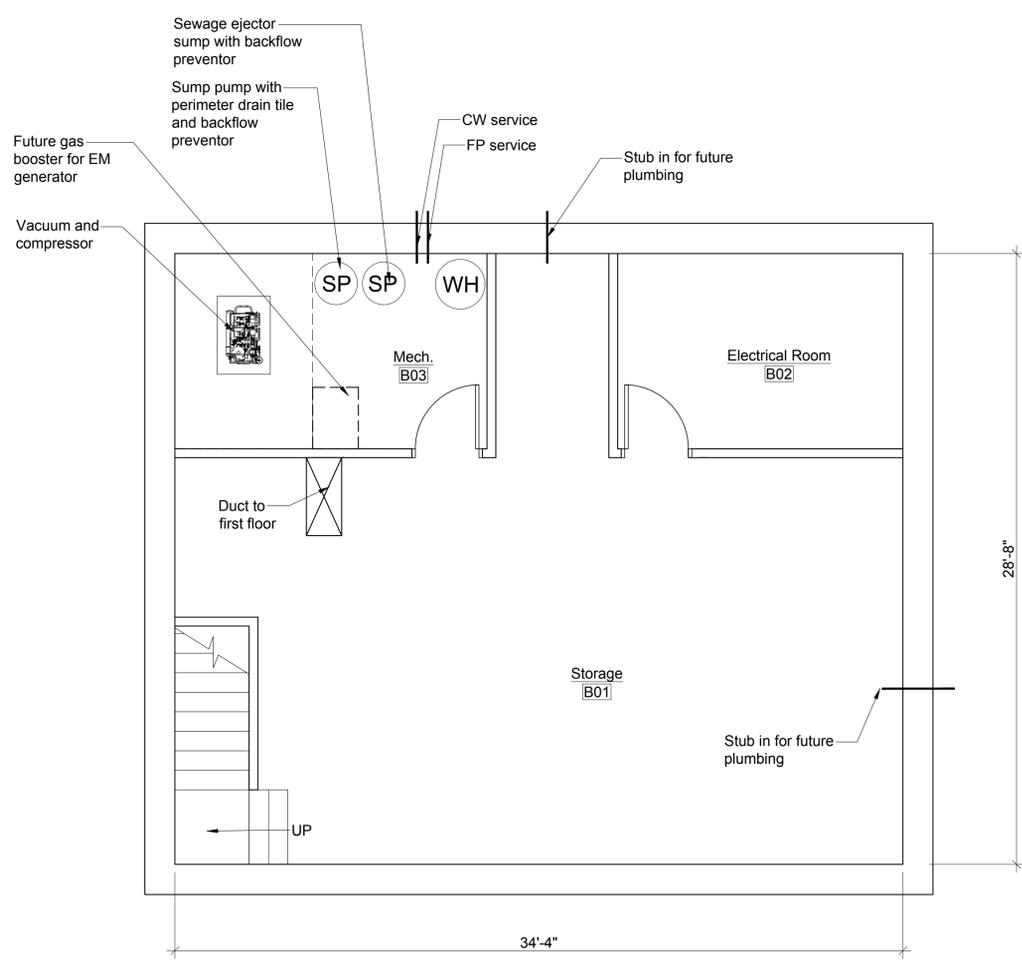
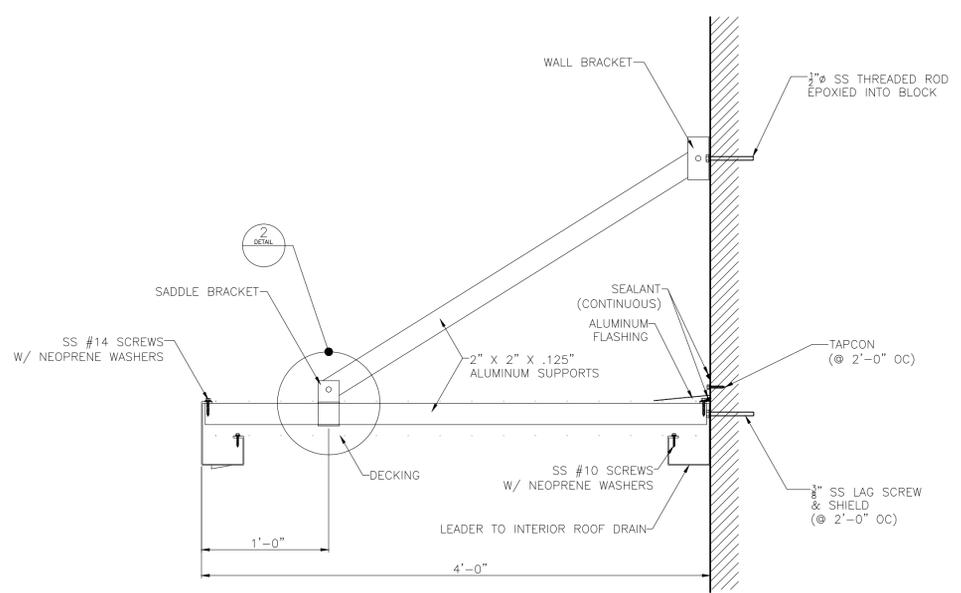
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Checked: S.E.F.G.	
Date: 03-04-19	Sheet 1 of 8

Sara E.F. Gensburg, Ltd.
 Architecture/Design
 705 Revere Drive - Suite G
 Northbrook, IL 60062
 Fax: (847) 715-9598
 Phone: (847) 715-9591

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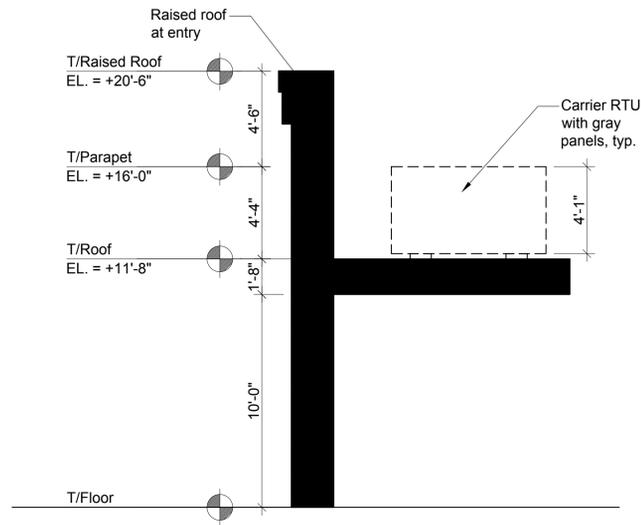
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Date: 03-04-19	Sheet 2 of 8



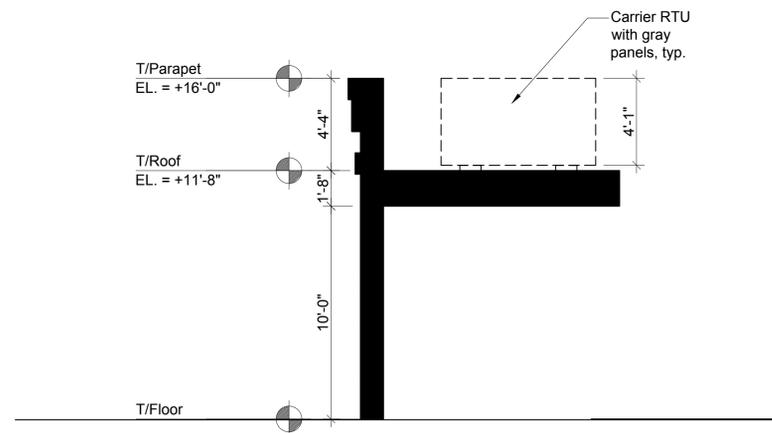
Basement Plan
 Scale: 1/4" = 1'-0"

Ground Floor Plan
 Scale: 1/4" = 1'-0"

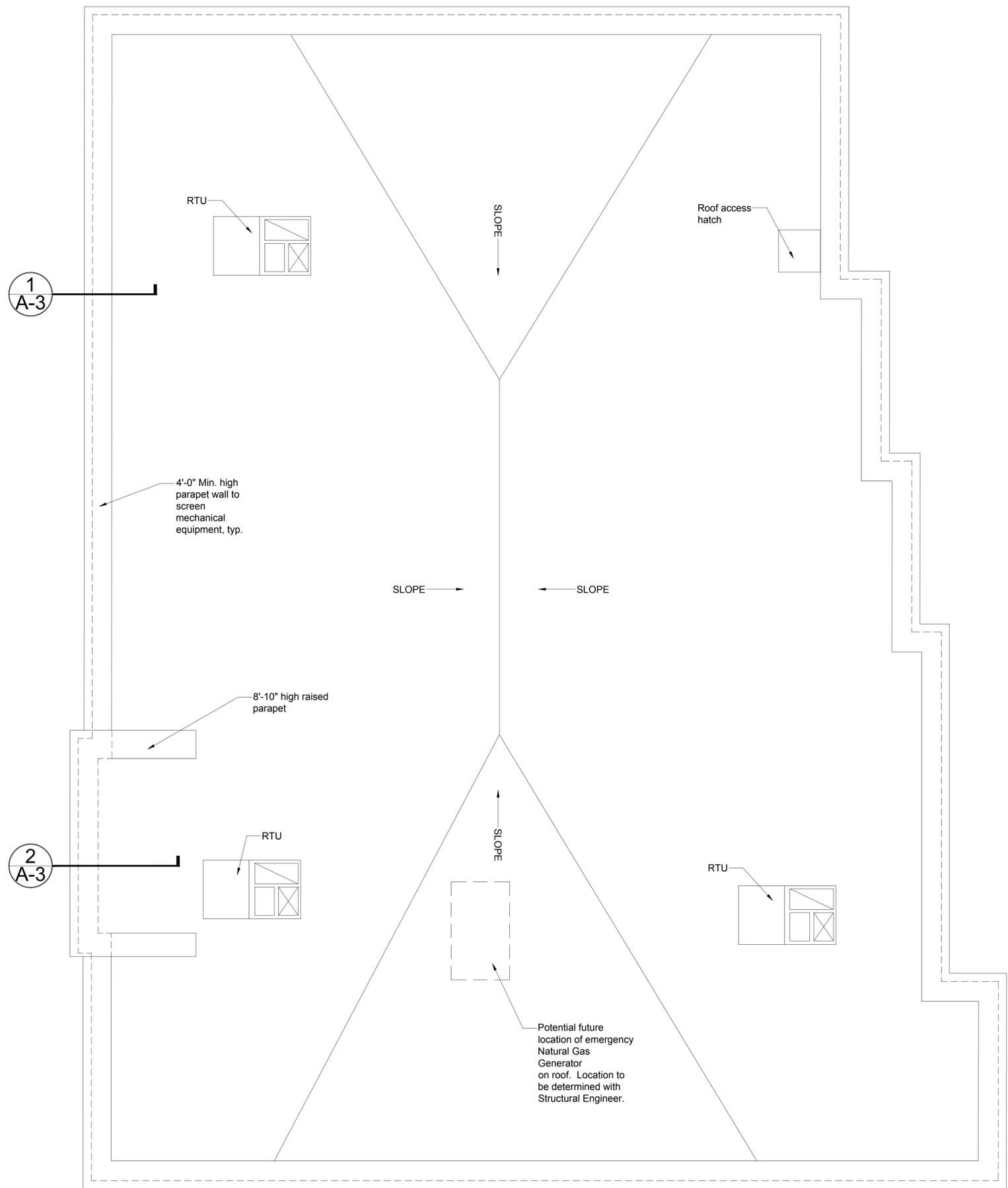
64'-9 1/2"



2 Screening Section
Scale: 1/4" = 1'-0"



1 Screening Section
Scale: 1/4" = 1'-0"



Roof/Equipment Screening Plan
Scale: 1/4" = 1'-0"

Sara E.F. Gensburg, Ltd.
Architecture/Design
105 Revere Drive - Suite G
Northbrook, IL 60062
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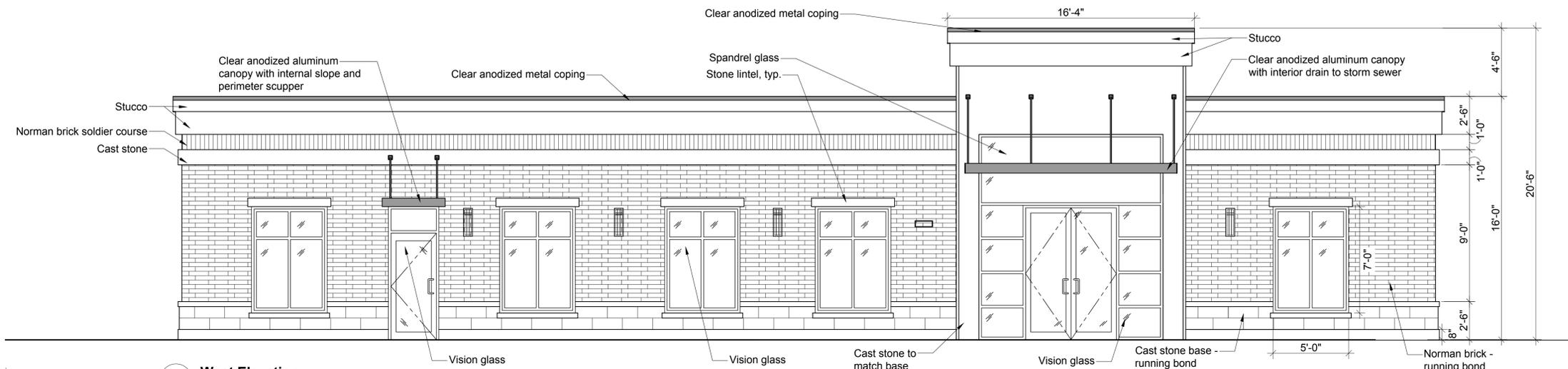
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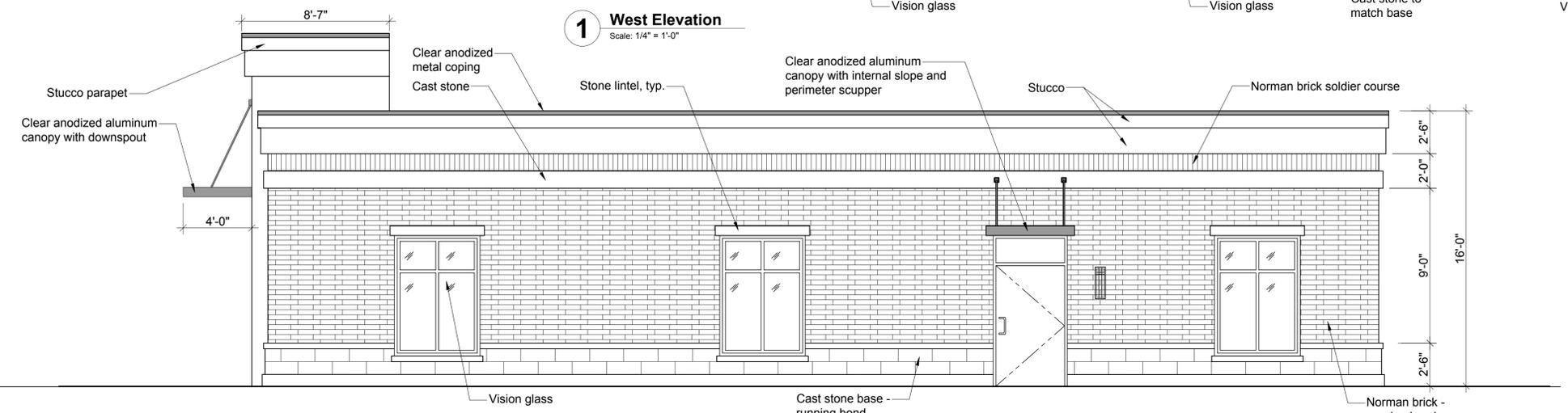
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Date: 03-04-19
Sheet 3 of 8

Sara E.F. Gensburg, Ltd.
Architecture/Design
705 Revere Drive - Suite G
Northbrook, IL 60062
Fax: (847) 715-9598
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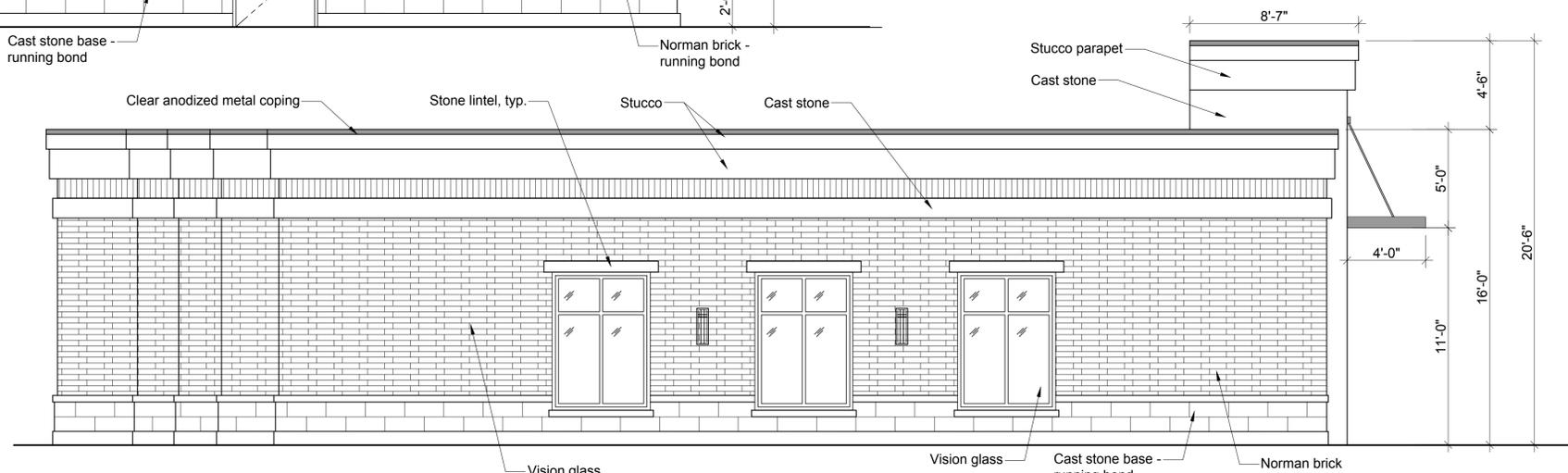
MEDICAL OFFICE BUILDING
231 OLDE HALF DAY ROAD
LINCOLNSHIRE, ILLINOIS



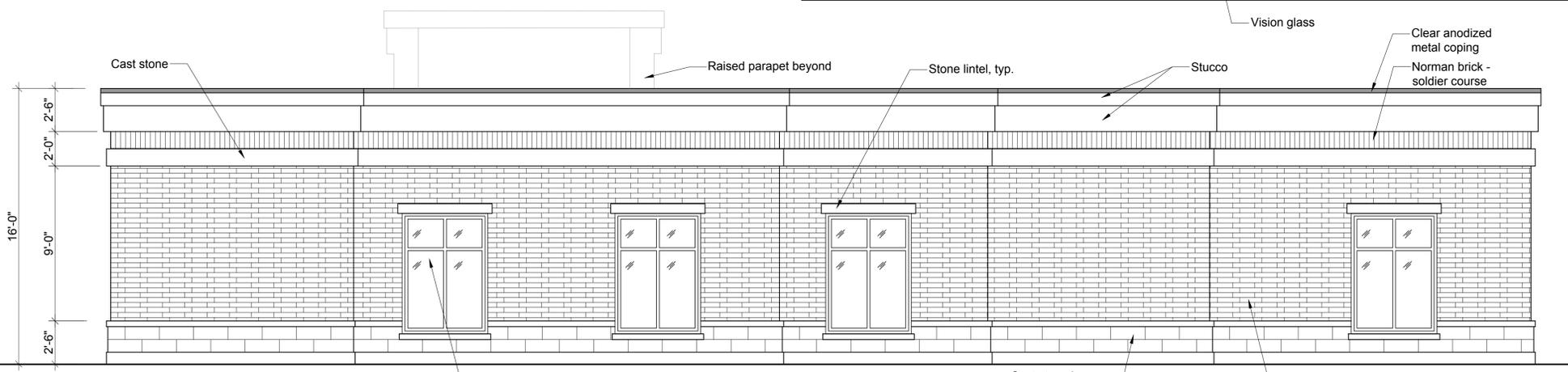
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Scale: 1/4" = 1'-0"



2 South Elevation
Scale: 1/4" = 1'-0"



3 North Elevation
Scale: 1/4" = 1'-0"



4 East Elevation
Scale: 1/4" = 1'-0"

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SEFG No. 118320 SHEET: **A-4**

Drawn: DBF

Checked: S.E.F.G.

Date: 03-04-19 Sheet 4 of 8



1 View from Olde Half Day Road
Not to Scale



2 View of Entry to Site
Not to Scale

Sara E.F. Gensburg, Ltd.
Architecture/Design
405 Revere Drive - Suite G
Northbrook, IL 60062
Fax: (847) 715-9688
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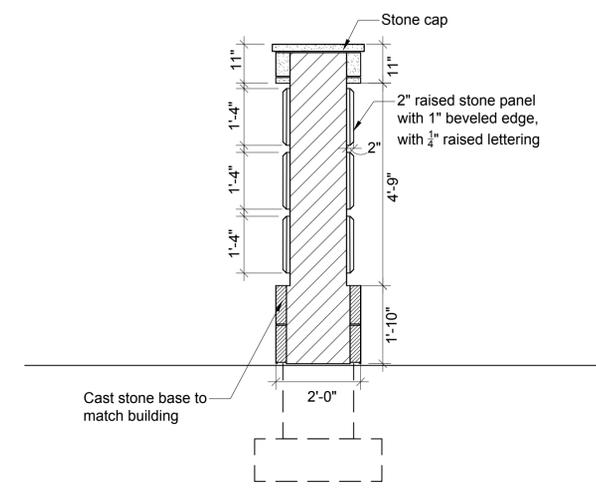
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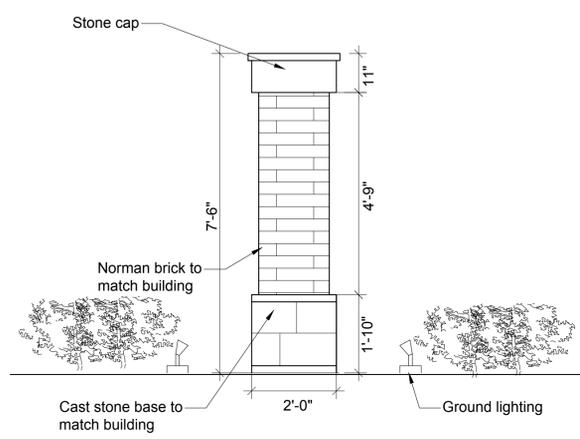
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Checked: S.E.F.G.
Date: 03-04-19

SHEET: **A-5**
Sheet 5 of 8

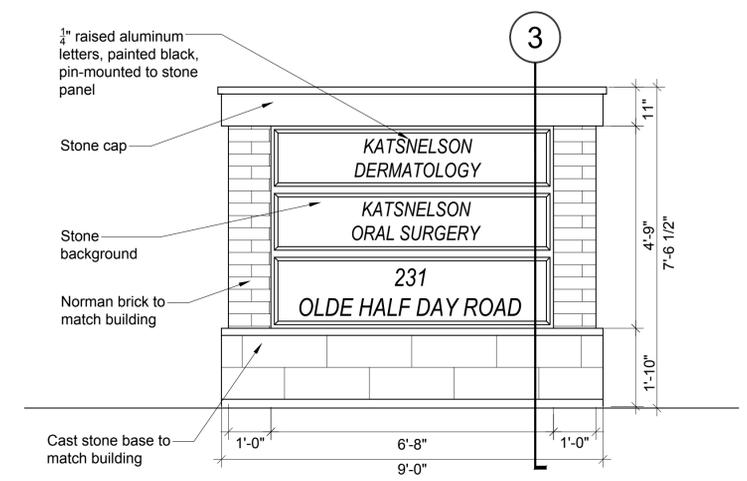
Sara E.F. Gensburg, Ltd.
 Architecture/Design Suite G
 105 Revere Dr. #6062
 Northbrook, IL 60062
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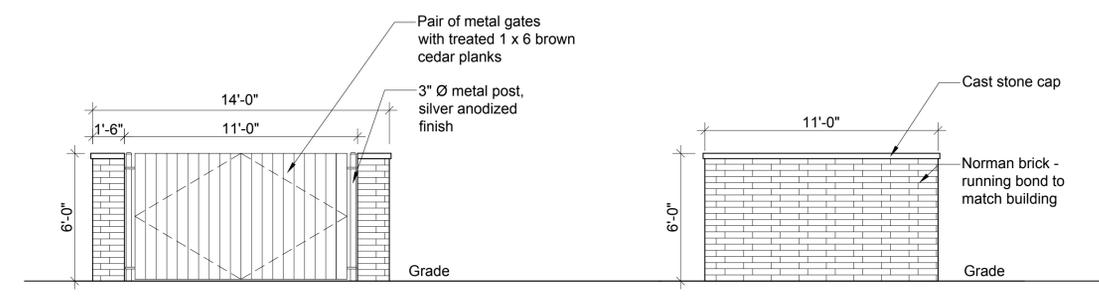
3 Ground Sign Section
 Scale: 1/2" = 1'-0"



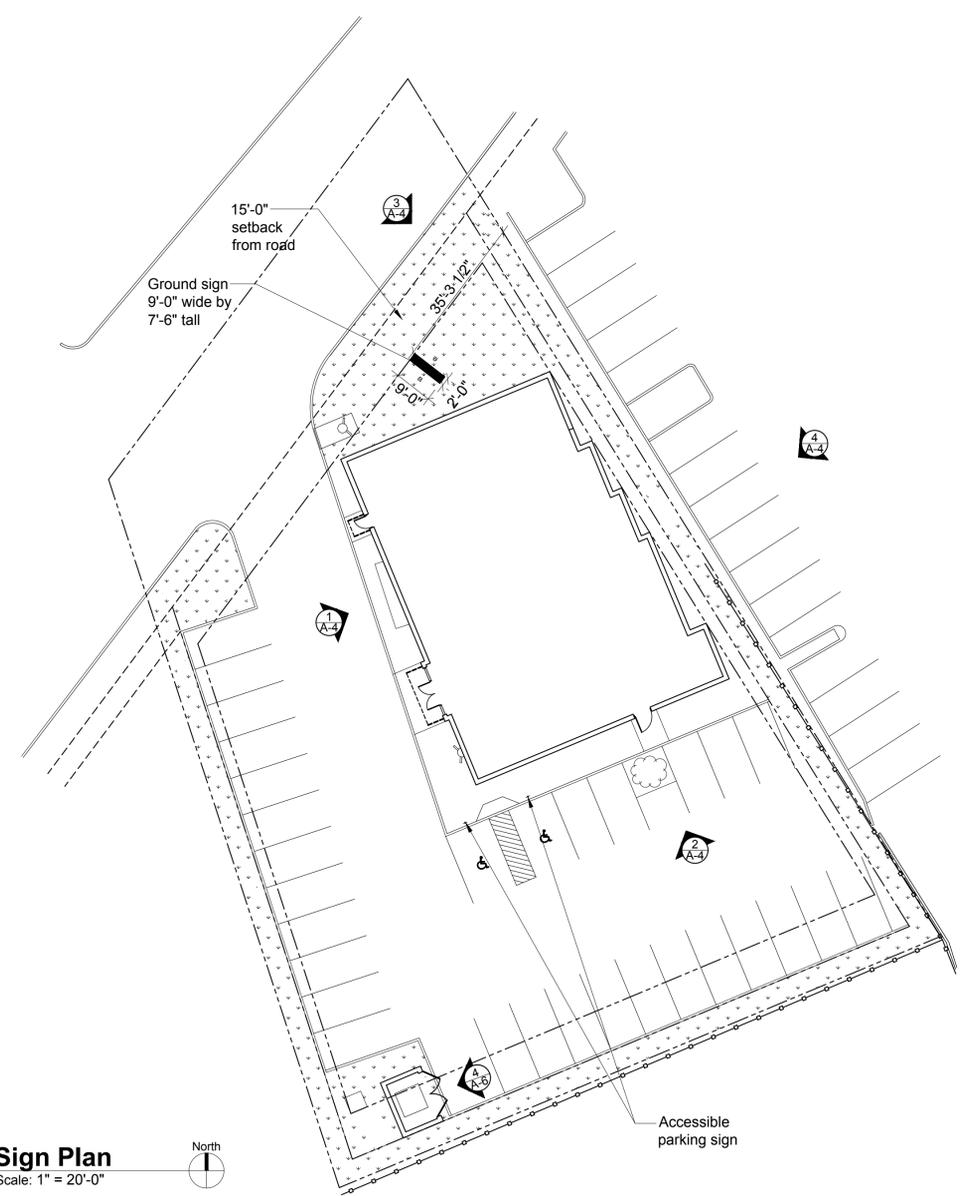
2 Ground Sign Elevation - North and South Sides
 Scale: 1/2" = 1'-0"



1 Ground Sign Elevation - East and West Sides
 Scale: 1/2" = 1'-0"



4 Trash Enclosure Elevations
 Scale: 1/4" = 1'-0"



Sign Plan
 Scale: 1" = 20'-0"



5 Line of Sight View
 Not to Scale

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SEFG No.	SHEET:
118320	A-6
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S.E.F.G.	
Date:	
03-04-19	Sheet 6 of 8

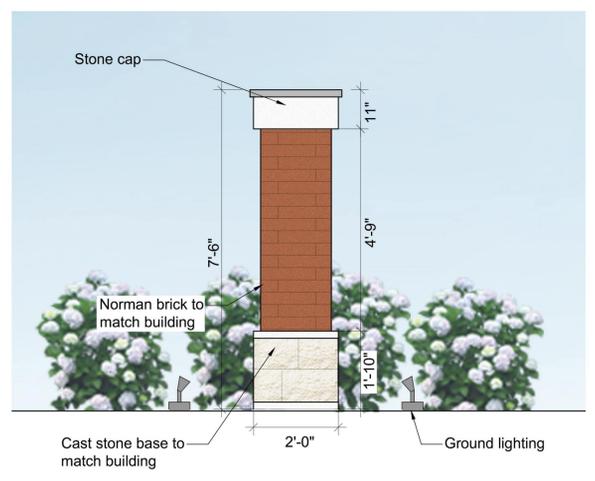
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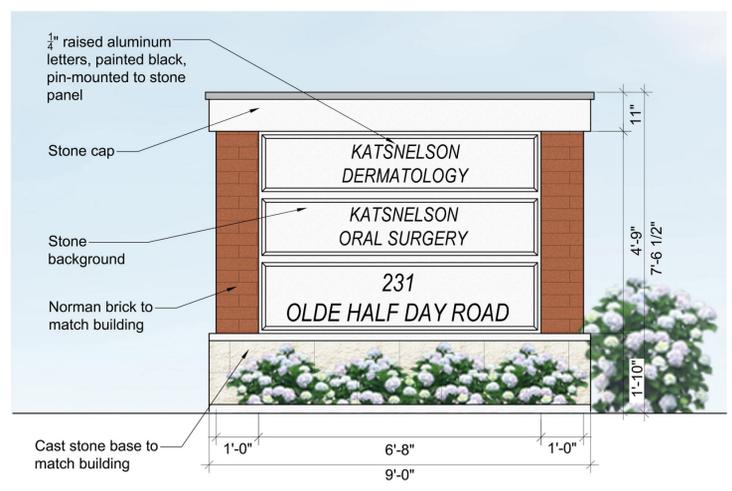
1 West Elevation with Color
 Scale: 1/4" = 1'-0"



2 South Elevation with Color
 Scale: 1/4" = 1'-0"



3 Ground Sign Elevation - North and South with Color
 Scale: 1/2" = 1'-0"



4 Ground Sign Elevation - East and West with Color
 Scale: 1/2" = 1'-0"

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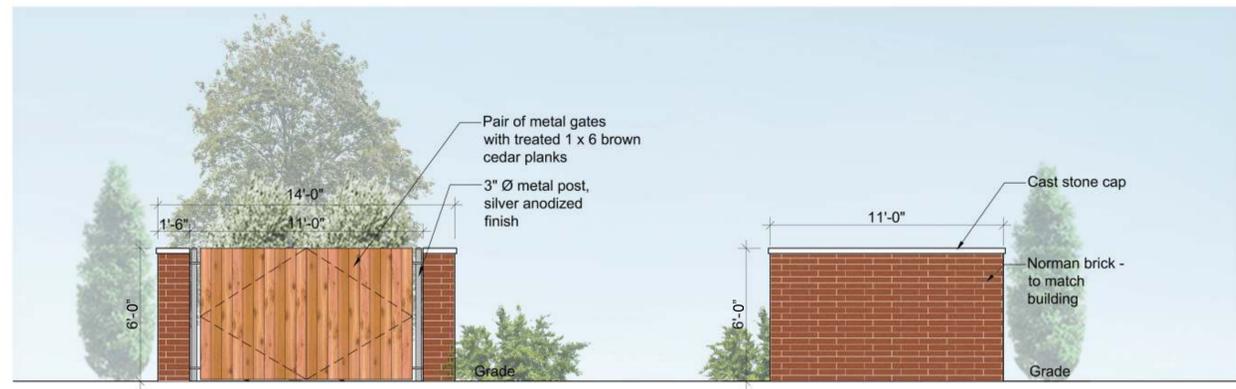
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1 North Elevation with Color
 Scale: 1/4" = 1'-0"



2 East Elevation with Color
 Scale: 1/4" = 1'-0"



3 Trash Enclosure Elevations with Color
 Scale: 1/4" = 1'-0"

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SEFG No. 118320	SHEET:
Drawn: DBF	A-8
Checked: S.E.F.G.	
Date: 03-04-19	Sheet 8 of 8

GENERAL NOTES:

- The contractor is responsible for contacting JULIE for utility locates a minimum of 48 hours in advance of beginning excavation.
- The contractor is solely responsible for safety on the job site.
- The contractor shall be required to obtain all necessary permits as required, prior to commencing construction.
- The Illinois Department of Transportation "Standard Specifications for Road and Bridge Construction", latest edition, and all addenda thereto, and Village of Bolingbrook requirements shall govern the earthwork and paving work under this contract.
- The "Standard Specifications for Water and Sewer Main Construction in Illinois," latest edition, shall govern the underground work under this contract, except as modified by these specifications, or where in conflict with Village of Lincolnshire Standards.
- All work shall be conducted in accordance with OSHA requirements and Village of Lincolnshire regulations and standards, and shall conform in all respects to all state and federal laws and regulations. The contractor is solely responsible for safety on job site.
- The Contractors shall notify all utility companies for filed locations of their facilities prior to beginning construction. The Contractor will be responsible for the maintenance and preservation of these facilities. Any utility locations shown on the plans are based on available records and are for general direction only.
- Construction operation shall be conducted in such a way as to prevent tracking of mud or soil, debris, asphalt and concrete onto public thoroughfares. At the end of each day, the contractor shall remove materials deposited onto public streets and alleys.
- Public streets and alleys shall be restored promptly meeting Village of Lincolnshire standards and specifications.
- The contractor shall verify the exact elevation and location of all existing utilities and appurtenances prior to construction, to avoid interferences.
- Appropriate precautions shall be taken to avoid damage to and to protect existing utilities and appurtenances in the vicinity of work.
- All building layouts should be done by a registered land surveyor after confirming the property corners in the field. Any discrepancies should be brought to the attention of the design engineer prior to initiating construction.

LOCATION MAP NOT TO SCALE



SITE

SURVEY BY: GREENGARD, INC.

111 Barclay Blvd # 310, Lincolnshire, IL 60069
PHONE: (847) 634-3883

ILL. REGISTRATION NO. 184-000995

ADDITIONAL SURVEY BY: Bono Consulting INC.

SITE BENCHMARK IS THE RIM OF THE SANITARY MANHOLE AT THE NORTHEAST CORNER OF THE PROPERTY. ELEVATION = 658.34
REFERENCE BENCHMARK IS BM 4-45A AT THE INTERSECTION OF HALF DAY RD. AND MILWAUKEE AVE., ELEV. 658.54 (NVD 88)

NOTE:
EXISTING CONDITIONS ARE BASED UPON A TOPOGRAPHIC SURVEY. THIS IS NOT A BOUNDARY SURVEY. PROPERTY LINES SHOWN ARE FOR INFORMATIONAL PURPOSES ONLY AND SHALL NOT BE USED AS A BASIS FOR CONSTRUCTION LAYOUT. PROPERTY LINE INFORMATION SHOWN IS BASED ON THE PLAT OF SURVEY RECEIVED FROM THE OWNER AND ANY IRON PIPES (AS INDICATED) FOUND BY BCI'S SURVEY CREW.

PROPERTY BOUNDARY INFORMATION SHOWN HEREON IS TAKEN FROM OFFICIAL PLATS AND RECORDS

LOCATION OF UNDERGROUND UTILITIES WHERE NOT SUBSTANTIATED BY PHYSICAL EVIDENCE ARE TAKEN FROM RECORDS NORMALLY CONSIDERED RELIABLE. NO RESPONSIBILITY FOR THEIR ACCURACY IS ASSUMED BY THE SURVEYOR.

FOR LOCATION OF BURIED CABLE CALL J.U.L.I.E. @ 1-800-892-0123 BEFORE DIGGING

LOCATIONS OF EXISTING UTILITY SERVICES ARE BASED ON VISUAL OBSERVATIONS. CONTRACTOR MUST CONFIRM LOCATION AND CONDITION OF ALL UTILITY SERVICES TO REMAIN.

I HEREBY CERTIFY THAT THIS PLAN WAS PREPARED BY ME OR UNDER MY DIRECT PERSONAL SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF ILLINOIS.

[Signature] 8/28/2019
SIGNATURE DATE

MY LICENSE EXPIRES ON NOVEMBER 30, 2019

INDEX TO SHEETS	
NO.	DESCRIPTION
C-0.0	TOPOGRAPHIC SURVEY
C-0.1	DEMOLITION AND TREE REMOVAL PLAN
C-1.0	GEOMETRIC PLAN
C-2.0	GRADING AND EROSION CONTROL PLAN
C-3.0	UTILITY PLAN
C-4.0	DETAILS

LEGEND	
	EXISTING CONTOUR
	PROPOSED CONTOUR
	EXISTING ELEVATION
	PROPOSED ELEVATION
	EXISTING SANITARY
	COMBINATION SEWER
	PROPOSED SANITARY SEWER
	PROPOSED COMBINATION SEWER
	EXISTING STORM SEWER
	PROPOSED STORM SEWER
	EXISTING WATERMAIN
	PROPOSED WATERMAIN
	GAS EXISTING GAS LINE
	EXISTING UNDERGROUND ELECTRIC
	EXISTING UNDERGROUND TELEPHONE
	EXISTING UNDERGROUND CABLE
	EXISTING TREE
	REMOVE TREE
	TEMPORARY TREE FENCE
	TEMPORARY SILT / CONSTRUCTION FENCE
	SUMP PUMP [PROPOSED/EXISTING]
	DOWNSPOUT (IN-GROUND) [PROPOSED]
	SWALE [PROPOSED]
	OUTLET / POP-UP EMITTER
	CATCH BASIN
	STORM MANHOLE
	SANITARY MANHOLE
	CLEANOUT
	B BOX
	WOOD UTILITY POLE
	LIGHT POLE
	FLARED END SECTION (F.E.S.)
	INLET / DRAIN
	WATER VALVE VAULT / WATER METER
	SIGN
	MANHOLE (UNCLASSIFIED)
	FIRE HYDRANT
	TREE TAG NO.
	STOP LIGHT
	GAS VALVE
	ROOT PRUNE
	TOP OF GARAGE SLAB
	TOP OF FOUNDATION
	FINISH FLOOR
	TOP OF WALL



EXISTING TOPOGRAPHY
SCALE 1"=20'



Sara E. F. Gensburg, Ltd.
Architecture/Design
105 Revere Drive - Suite G
Northbrook, IL 60062
Fax: (847) 715-9581
Phone: (847) 715-9591

BCI
BONO CONSULTING, INC.
CIVIL ENGINEERS
1018 BUSSE HIGHWAY
PARK RIDGE, IL 60068
PH: (847) 823-3300
FAX: (847) 823-3303
bbono@bonoconsulting.com

MEDICAL OFFICE BUILDING
231 OLDE HALF DAY ROAD
LINCOLNSHIRE, ILLINOIS

No.	Date	Issued for
1	03-12-19	Issued for Preliminary Evaluation
2	04-08-19	DRT Progress Set
3	06-26-19	Revised per Village Comments
4	07-10-19	Revised per LCSRMC
5	08-13-19	Revised per village comments

SEFG No. 118320 SHEET:
Drawn: MW
Checked: RW
Date: 04-05-19
C-0
Sheet 1 of 7

Sara E.F. Gensburg, Ltd.
 Architecture/Design
 105 Revere Drive - Suite G
 Northbrook, IL 60062
 Phone: (847) 715-9581
 Fax: (847) 715-9581

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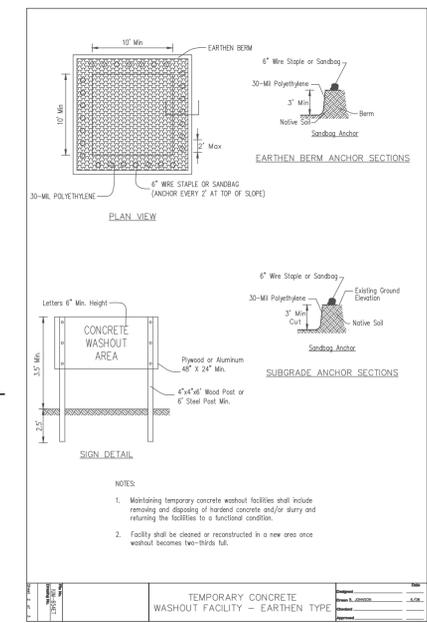
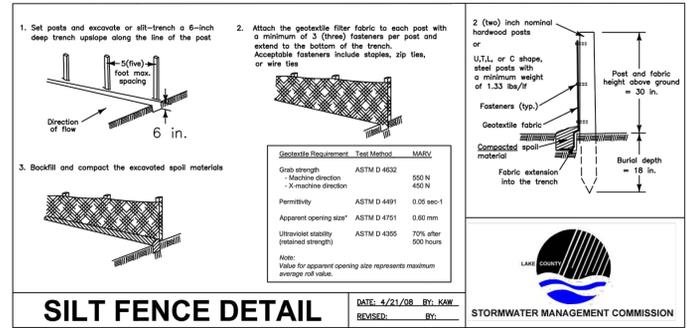
MEDICAL OFFICE BUILDING
 231 OLDE HALF DAY ROAD
 LINCOLNSHIRE, ILLINOIS

No.	Date	Issued for Preliminary Evaluation	Issued for Progress Set	Revised per Village Comments	Revised per LCSR/C	Revised per village comments
1	03-12-19					
2	04-08-19					
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4	07-10-19					
5	08-13-19					

SEFG No. 118320 SHEET: C-0.1
 Drawn: MW
 Checked: RW
 Date: 04-05-19 Sheet 2 of 7

DEMOLITION NOTES

- Contractor shall remove the existing building, pavement and utilities as shown.
- All trenches created by removing utilities shall be backfilled with trench backfill.
- Contractor to remove trees as shown. If any other trees are to be removed due to conflict with proposed improvements, contractor MUST contact Bono Consulting for approval.
- All demolition debris shall be properly disposed of.
- The contractor shall provide dust control fencing with fabric mesh.

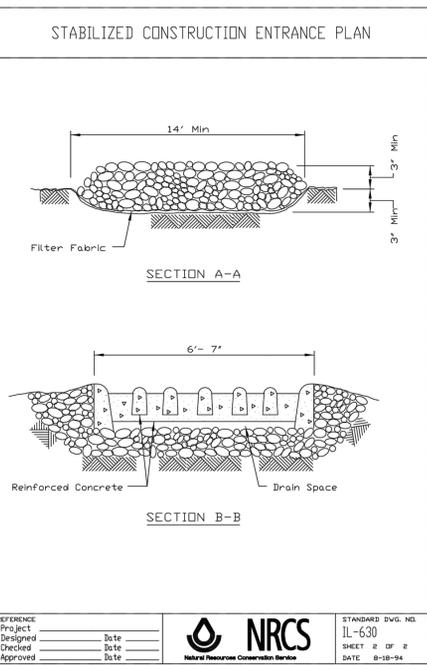
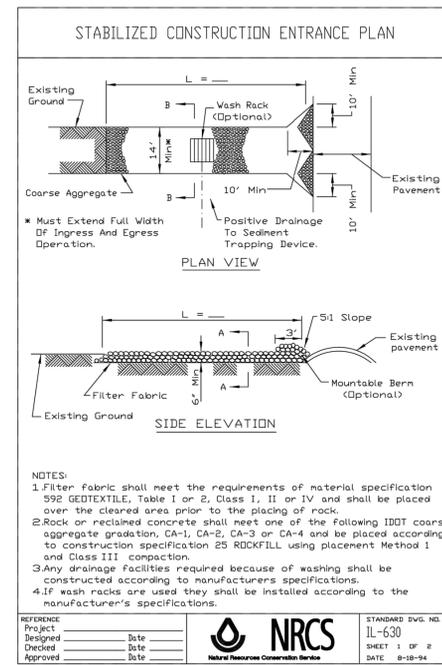


Tag	Common Name	Scientific Name	Size	Cond.	Form	Notes	No action	Remove
1	Alder	<i>Alnus glutinosa</i>	9,11	2	3			X
2	Catalpa	<i>Catalpa speciosa</i>	35,9	5	5	Trunk decay, leaning.		X
3	Catalpa	<i>Catalpa speciosa</i>	26,24	5	4	Trunk decay, pruned for utilities.		X
4	Honeylocust	<i>Gleditsia triacanthos</i>	27	2	3	Included bark.		X
5	Honeylocust	<i>Gleditsia triacanthos</i>	23	2	2			X
6	Silver Maple	<i>Acer saccharinum</i>	46	2	4	Girdling roots, included bark.	X	
7	Catalpa	<i>Catalpa speciosa</i>	46,10	5	5	Trunk decay.		X
8	Black Walnut	<i>Juglans nigra</i>	18	2	3			X
9	American Elm	<i>Ulmus americana</i>	17,11	2	4	Overtopped.		X
10	Boxelder	<i>Acer negundo</i>	8	4	4	Dieback, leaning.		X
11	Boxelder	<i>Acer negundo</i>	8	4	4	Dieback, leaning.		X
12	Boxelder	<i>Acer negundo</i>	7,6	4	4	Dieback, leaning.		X
13	Boxelder	<i>Acer negundo</i>	14,10,7,5	4	4	Dieback.		X
14	Mulberry	<i>Morus alba</i>	7,3	5	5	Very weak.		X
15	Boxelder	<i>Acer negundo</i>	8,8	5	5	Half dead.		X
16	Siberian Elm	<i>Ulmus pumila</i>	8	4	5	No top.		X
17	Boxelder	<i>Acer negundo</i>	12,12,6	5	5	Half dead.		X
18	American Elm	<i>Ulmus americana</i>	17	4	4	Dieback, trunk scars.		X
19	Silver Maple	<i>Acer saccharinum</i>	16,15,13	5	5	Basal, trunk decay.		X
20	Arbutae	<i>Thuja occidentalis</i>	8,3	2	3		X	
21	Arbutae	<i>Thuja occidentalis</i>	7,3	2	3		X	
22	Arbutae	<i>Thuja occidentalis</i>	7,4	2	3		X	
23	Arbutae	<i>Thuja occidentalis</i>	6,2	2	3		X	
24	Arbutae	<i>Thuja occidentalis</i>	8	2	4		X	
25	Siberian Elm	<i>Ulmus pumila</i>	18	2	3		X	
26	Arbutae	<i>Thuja occidentalis</i>	5,3	2	3		X	
27	Arbutae	<i>Thuja occidentalis</i>	5,4	2	3		X	
28	Arbutae	<i>Thuja occidentalis</i>	7	2	3		X	
29	Arbutae	<i>Thuja occidentalis</i>	8,6	2	2		X	
30	Arbutae	<i>Thuja occidentalis</i>	6,2	2	3		X	
31	Arbutae	<i>Thuja occidentalis</i>	8	2	2		X	
32	Norway Maple	<i>Acer platanoides</i>	27	2	3	Included bark.		X
33	Boxelder	<i>Acer negundo</i>	18	4	4	Dieback, metal in trunk.		X
34	Boxelder	<i>Acer negundo</i>	7	5	5	Half dead, overtopped.	X	
35	Boxelder	<i>Acer negundo</i>	26,24	5	5	Decay, dieback.		X
36	Mulberry	<i>Morus alba</i>	8	4	5	No top.		X
37	Mulberry	<i>Morus alba</i>	24,15	4	4	Decay, dieback.		X
38	Mulberry	<i>Morus alba</i>	34	5	4	Trunk decay.		X
39	Green Ash	<i>Fraxinus pennsylvanica</i>	15	5	5	Nearly dead.		X
40	Honeylocust	<i>Gleditsia triacanthos</i>	25	3	2	Dieback.	X	
41	Mulberry	<i>Morus alba</i>	21	4	3	Decay, dieback.		X
42	Colorado Spruce	<i>Picea pungens</i>	19	3	4		X	

Tree Condition: A visual assessment and rating of the overall health and vigor of the tree, as follows:

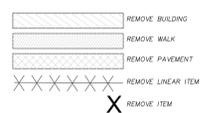
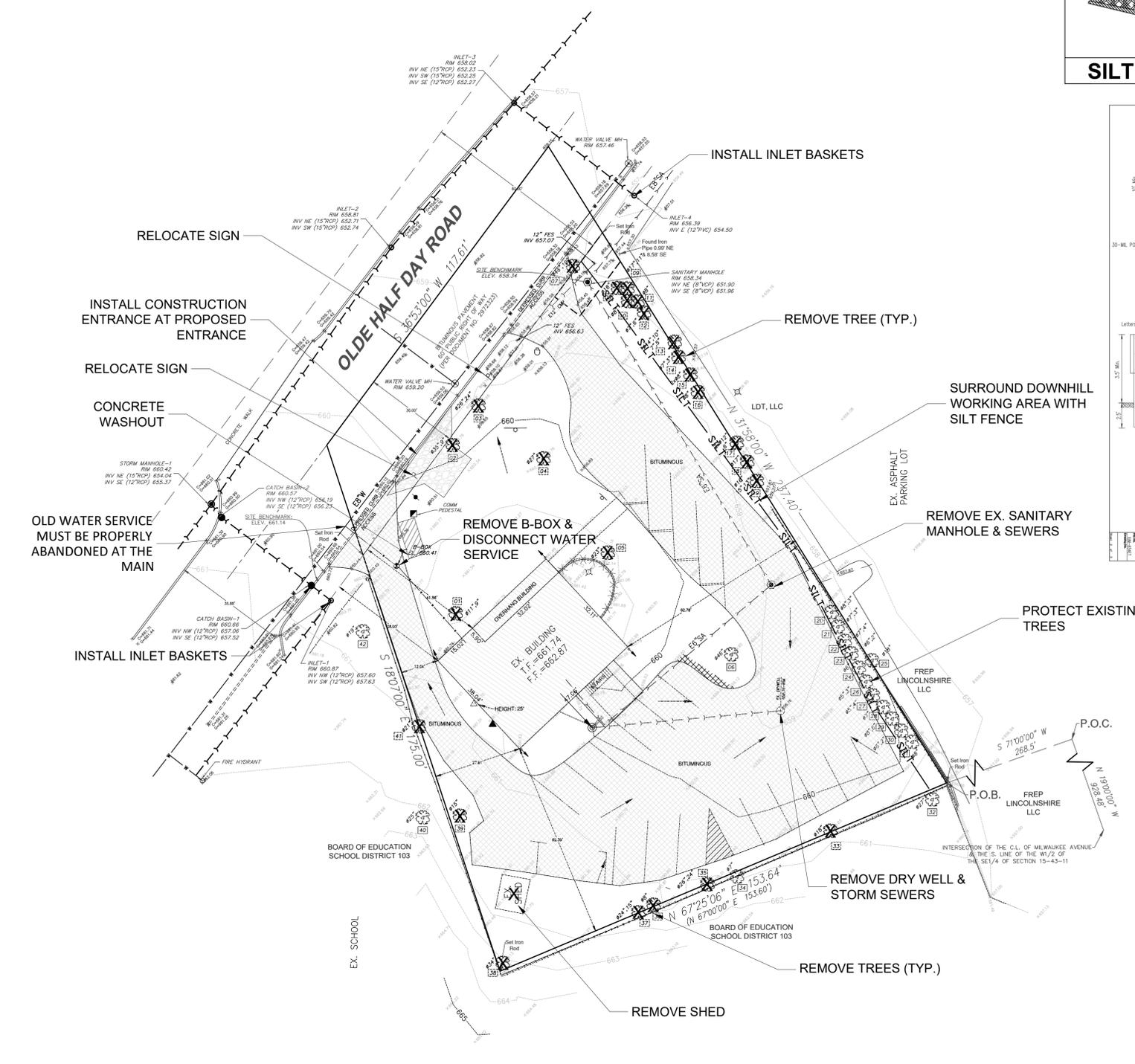
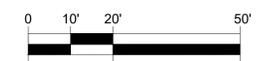
1 - Excellent
2 - Very Good
3 - Good
4 - Below Average
5 - Poor
6 - Dead

Prepared by: David Coulter, Osage Inc.
 ISA Certified Arborist #IL-0094 (Exp. 12/31/19)



REFERENCE Project	Date	DESIGNED Project	Date	CHECKED Project	Date	APPROVED Project	Date

STANDARD ENG. NO. IL-630	DATE: 8-18-94	STANDARD ENG. NO. IL-630	DATE: 8-18-94
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PAVEMENT LEGEND	
	STANDARD DUTY PARKING LOT PAVEMENT 1 1/2" BITUMINOUS SURFACE COURSE, SUPERPAVE, MIX D, NS0 3 1/2" BITUMINOUS BINDER COURSE, SUPERPAVE, IL-19, NS0 10" AGGREGATE BASE COURSE CA-6, TYPE B
	IDOT STANDARD B-6.12 CURB AND GUTTER
	APRONS, DRIVEWAY & TRASH ENCLOSURE 8" PORTLAND CEMENT CONCRETE 4" COMPACTED AGGREGATE BASE COURSE CA-6
	PERMEABLE PAVER
	LANDSCAPE AREA

SITE DATA:

TOTAL AREA = 22,753 sf = 0.52 ac

BUILDING AREA = 4,883 sf
PAVEMENT AREA = 11,865 sf
SIDEWALK AREA = 1,141 sf
LANDSCAPE AREA = 4,864 sf

IMPERVIOUS AREA:

TOTAL IMPERVIOUS AREA = 17,889 sf = 0.41 ac (79%)

PARKING:

28 - 19'x9' PARKING SPACES
2 - 19'x16' ADA PARKING SPACE

STORMWATER MANAGEMENT

STORMWATER MANAGEMENT NOT REQUIRED

SPECIAL MANAGEMENT AREAS:

THERE IS NO FLOODPLAIN OR WETLANDS WITHIN 100 FT OF THE SITE

PARKING RESTRICTIONS AROUND FIRE HYDRANTS, FIRE DEPARTMENT CONNECTION:
NO PARKING ALLOWED WITHIN 15' EITHER SIDE OF THE FIRE HYDRANT/FIRE DEPARTMENT CONNECTION ALONG THE CURB.

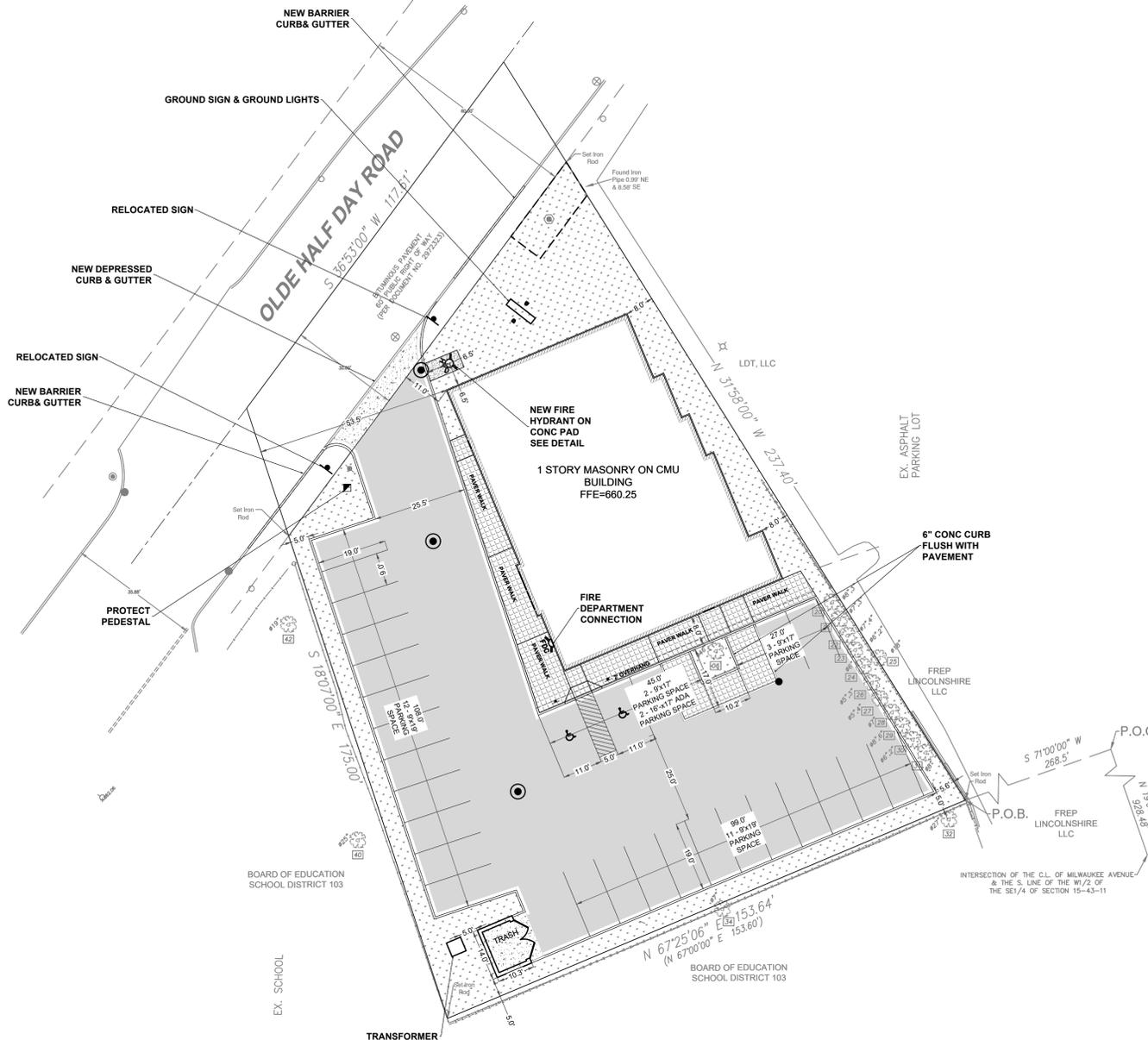
FIRE TRUCKS CAN PARK AT WEST AND SOUTH SIDE OF THE BUILDING AND BACK OUT TO OLDE HALF DAY ROAD.

CONCRETE AND ASPHALT NOTES:

- Concrete shall be placed in accordance with IDOT Standard Specifications Section 420. Concrete surfaces must be warranted for one year against any birdbathing, ponding or cracks over 1/4 wide.
- All concrete shall be minimum 3,500 psi.
- Clean, full depth sawcuts through existing sidewalk and curb scheduled for removal.
- Combination curb & gutter is 6" high unless otherwise noted.
- A 3/4" fiber expansion joint shall be installed when the new sidewalk or curb abuts any building.
- Contraction joints should be sawcut a minimum of two inches deep within 4-12 hours of concrete placement, but no later than 24 hours after concrete placement, be in accordance with Section 420.05 IDOT Standard Specifications.
- Maximum 50' c-c between contraction joints in curbs or sidewalk.
- Asphalt shall be placed in accordance with IDOT Standard Specification 406. Asphalt surfaces must be warranted for one year against birdbathing/ponding of 1/4" standing water for areas greater than 25 square feet.
- All parking lots to be proof rolled prior to placement of aggregate subbase and again prior to initial asphalt lift. Proof roll to be done with loaded double axle dump truck and witnessed by an owner's representative.
- The sidewalk thickness across the driveway shall be a minimum of 8" PCC on 4" aggregate subbase.

PAVEMENT STRIPING NOTES

- Marking paint shall be High Quality Traffic paint intended for striping asphalt parking lots.
Color: Yellow
Width: 4"
Coverage Rate: 450 feet per gallon per IDOT Article 780.



GEOMETRIC PLAN
SCALE 1"=20'

Sara E.F. Gensburg, Ltd.
Architecture/Design
105 Revere Drive - Suite G
Northbrook, IL 60062
Phone: (847) 715-9681
Fax: (847) 715-9681

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BONO CONSULTING, INC.
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MEDICAL OFFICE BUILDING
231 OLDE HALF DAY ROAD
LINCOLNSHIRE, ILLINOIS

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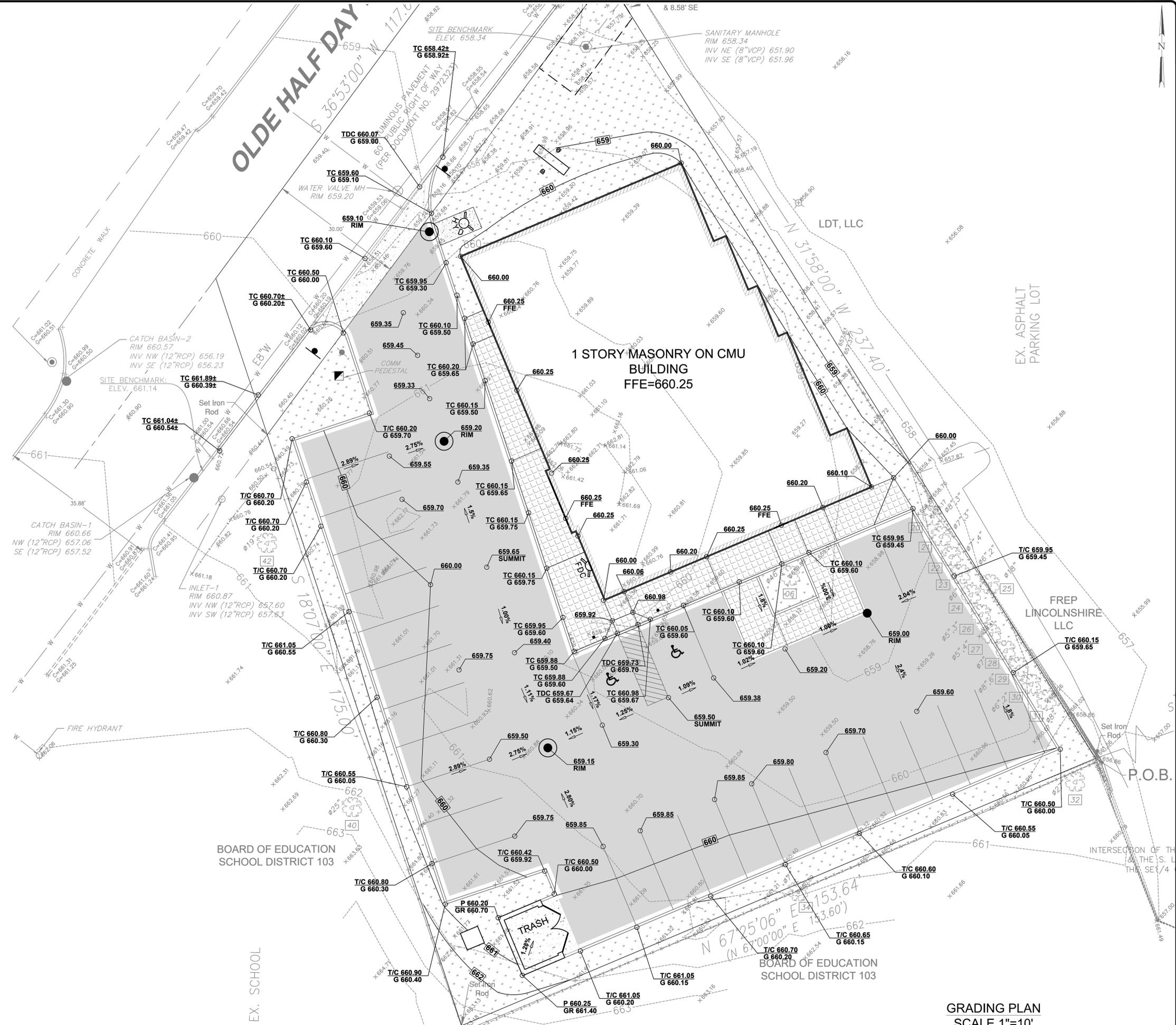
SEFG No. 118320	SHEET: C-1
Drawn: MW	
Checked: RW	
Date: 04-05-19	Sheet 3 of 7

EARTHWORK NOTES:

- All existing foundations, pavement, aggregate base, soil surfaces, excavated soil and vegetation shall be removed and disposed properly off site.
- Remove soft or otherwise unstable subgrade materials.
- Embankment shall be placed in accordance with Section 205 of the "Standard Specifications for Road and Bridge Construction." All embankments located within structural fill areas shall be constructed to a minimum 95% of the modified proctor density (ASTM D1557). Embankments located in non-structural fill areas shall be constructed to a minimum of 90% of the modified proctor density (ASTM D1557).
- Subbase shall be adequately compacted and proof rolled with a loaded semitrailer prior to placing aggregate base. Any soft areas shall be removed and replaced with aggregate base.
- Fill and subgrade to be compacted to 95% standard proctor density.
- All earthwork shall be done in accordance with the state of Illinois, "Standard Specifications for Road and Bridge Construction," latest edition and "Supplemental Specifications and Recurring Special Provisions," latest edition. Included in this work, but not necessarily limited to the following are: clearing, stripping and stockpiling of topsoil, mass grading and fine grading of the site and roadways, excavation of unsuitable materials and excavation of detention ponds, landscape mound construction, and miscellaneous topsoil respread and seeding.
- All grading operations are to be supervised and inspected by the owner's engineer or their representative. All testing, inspection, and supervision of soil quality, unsuitable soil removal and its replacement, and other soils related operations shall be entirely the responsibility of the soils engineer. No undercut shall be performed or claims for extra work without authorization by the owner and documentation by the soils engineer.
- After stripping to the proposed subgrade level, as required, the building and parking areas should be proof-rolled with a loaded, tandem-axle dump truck or similar rubber tired vehicle, loaded with at least 9 tons per axle. Proof-rolling aids in providing a firm base for compaction of fills, and help to delineate soft, loose, or disturbed areas that may exist below subgrade level. Proof-rolling is especially important to help evaluate the surface stability of existing fill soils that may be left in place below floor slabs and pavements. Soils which are observed to rut or deflect excessively (more than 1 inch) under the moving load should either be scarified and re-compacted with a smooth drum vibratory roller for granular soils, a sheeps foot roller for cohesive soils, or undercut and replaced with properly compacted and documented structural fill. The proof-rolling and undercutting activities should be observed and documented by a representative of the geotechnical engineer and should be performed during a period of dry weather. In addition to proof-rolling, the subgrade soils should be scarified and compacted to at least 90 percent of the Modified Proctor maximum dry density ASTM D 698 for a depth of at least 8 inches below the surface.
- Where encountered, loose sands should be re-compacted with a vibratory roller. Clay subgrade soils can be easily disturbed by construction activities and are sensitive to moisture. Therefore, extra care should be used to avoid disturbing these soils during construction activities. If the soils become unstable during construction, or if near surface soft subgrade soils are encountered, it is recommended that coarse aggregate be placed on the subgrade until a stable base for compaction of fill is achieved. Typically, 12 to 24 inches of coarse aggregate are required, depending on the consistency of the subgrade, the coarse aggregate should consist of clean, crushed stone gravel between 1/4 and 3 inches in size. The coarse aggregate should be spread in a max. of 12-inch layers and consolidated with compaction equipment until it is "locked" in place.
- It shall be the responsibility of the contractor to remove from the site any and all materials and debris which results from their construction operations at no additional expense to the owner.
- When in the opinion of the soils engineer, unsuitable soil conditions are encountered within utility trenches which require the removal of unsuitable materials below the depth of the bedding specified, the contractor shall obtain approval by the owner and the owner's engineer prior to removing the unsuitable soils and replace the material with granular compacted bedding material as directed by the soils engineer and the Municipality. The depth of the removal and replacement shall be documented by the owner's engineer and witnessed by the contractor. This work, when approved by the owner and owner's engineer, will be measured and paid for at the contract unit price per cubic yard in place for unsuitable soil which price shall include the removal and off-site disposal of unsuitable soil, the additional bedding material, and all labor, materials and equipment required to perform the work as specified.
- The contractor shall be responsible for hiring and scheduling a qualified testing firm for all soil testing. This shall be included in the cost of work.
- Subgrade for pavement and sidewalks shall be finished to +/-.0.1 foot of design subgrade elevations by the earthwork contractor. Fine grading shall be the responsibility of the paving contractor.
- Subbase shall be adequately compacted and proof rolled with a loaded semitrailer prior to placing aggregate base. Any soft areas shall be removed and replaced with aggregate base.
- Gravel subgrade preparation shall be in accordance with Article 212 of IDOT standard specifications.
- Aggregate base course under sidewalks, driveways, curbs, and pavement shall be type B in accordance with IDOT Article 351.
- All landscaping and lawn areas shall have a minimum of 6" topsoil per IDOT Article 211.
- Proposed elevations are top of sod (lawn areas), top of asphalt or top of concrete.
- Finished dirt grade in lawn areas shall be 2" below top of sod.

SOIL EROSION AND SEDIMENTATION CONTROL NOTES:

- Install row silt fence prior to any earth disturbing activities.
- Contractor to install construction entrance.
- Contractor to install inlet filters in existing and proposed structures.
- Contractor to remove any mud tracked onto existing pavement every night.
- A concrete washout should be provided on-site. Concrete cannot be washed out into the public right-of-way or storm sewer system.
- All disturbed green space areas to receive minimum 6" topsoil and be temporary seeded upon achievement of final grade of that area.
- All disturbed green space areas to be planted/landscaped per landscape plan. Minimum seeding IDOT Type 1 turfgrass seeding per IDOT specifications.



GRADING PLAN
SCALE 1"=10'

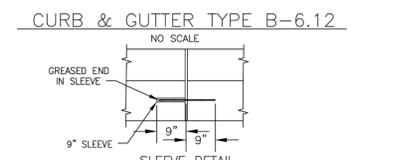
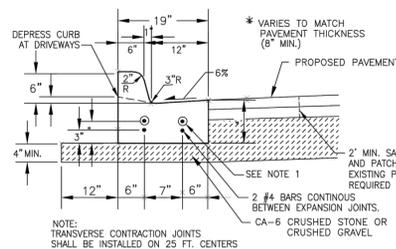
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MEDICAL OFFICE BUILDING
 231 OLDE HALF DAY ROAD
 LINCOLNSHIRE, ILLINOIS

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5	08-13-19					

SEFG No. 118320 SHEET:
 Drawn: MW
 Checked: C-2
 RW
 Date: 04-05-19 Sheet 4 of 7



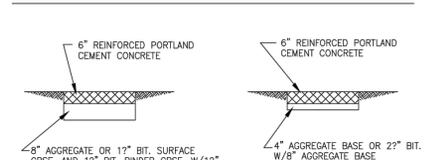
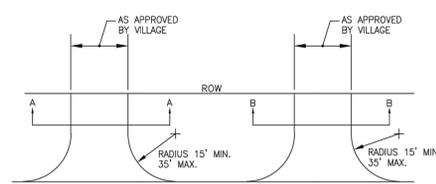
- NOTES:**
- EXPANSION JOINTS W/ 3/4" PREFORMED EXPANSION JOINT MATERIAL & TWO (2) #5 SMOOTH DOWEL BARS WITH GREASE CAPS SHALL BE PLACED:
 - AT ENDS OF INTERSECTION RADI, P.C.'S, RADIUS POINTS, & BACK OF CUL-DE-SACS
 - 5 FT. ON EACH SIDE OF DRAINAGE STRUCTURES
 - MAX. OF 60 FT. INTERVALS
 - WHERE NEW CURB MEETS EXISTING CURB, THE EXISTING CURB SHALL BE DRILLED AND TWO (2) #5 SMOOTH DOWEL BARS GROUTED IN PLACE W/ THE GREASE CAP PLACED ON THE SIDE OF THE NEW CURB & GUTTER.
 - TOOL OR SAWCUT CONTRACTION JOINTS AT 15 FT. INTERVALS.
 - SAWCUTS SHALL BE MADE WITHIN TWENTY-FOUR (24) HRS. AND SEALED W/ JOINT SEALANT. JOINTS SHALL BE CLEAN AND DRY PRIOR TO APPLICATION OF SEALANT.

Village of Lincolnshire

B-6.12 CURB AND GUTTER DETAIL

DESIGNED BY: NONE
 DRAWN BY: B&W
 CHECKED BY: B&W
 SHEET NO.: 180900
 DATE: NOV. 2018

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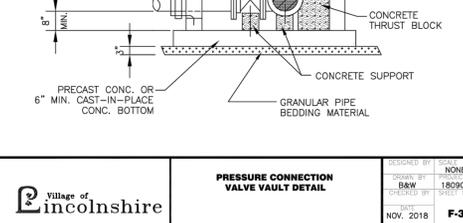
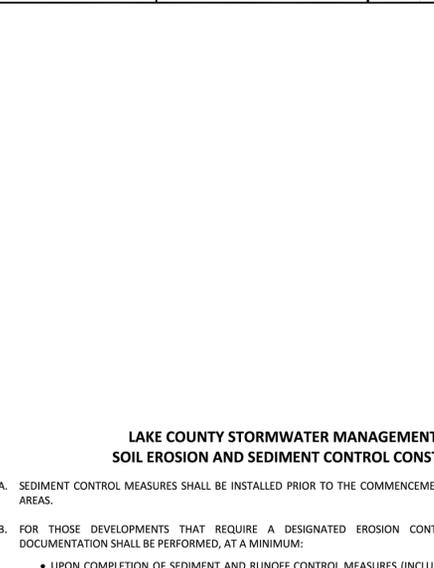
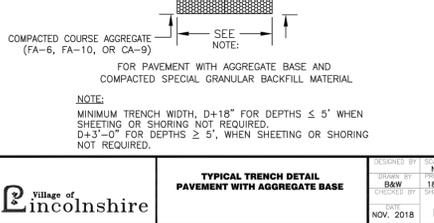
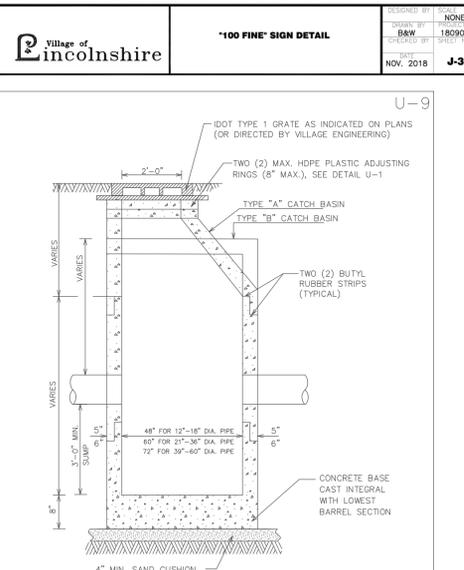
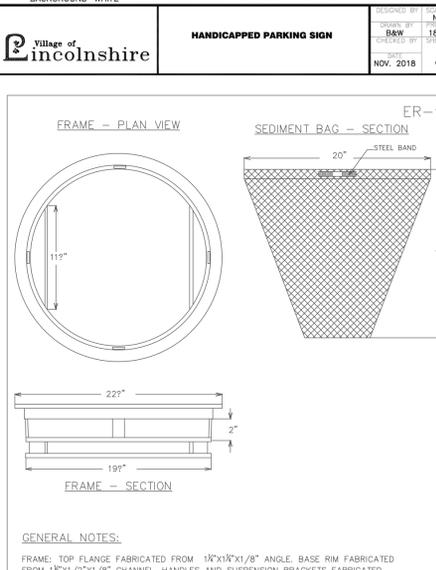
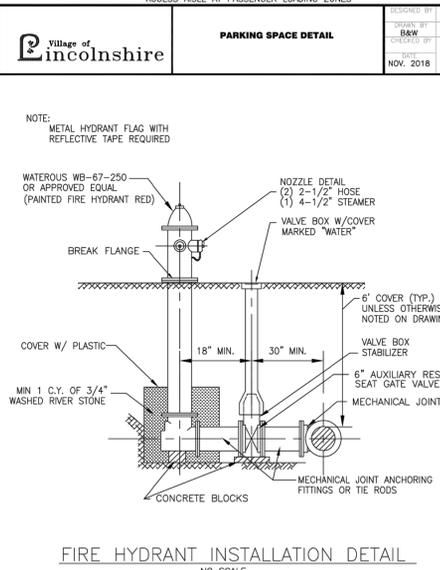
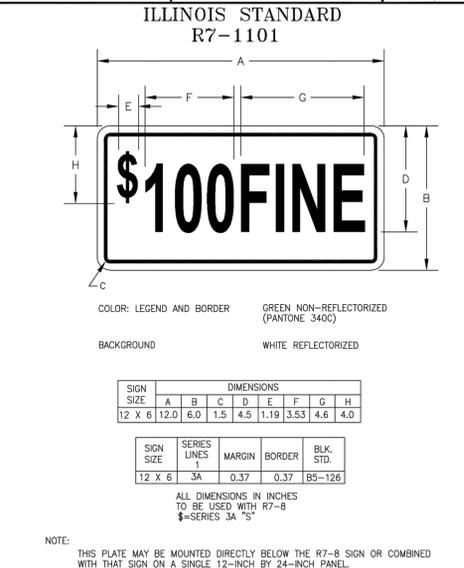
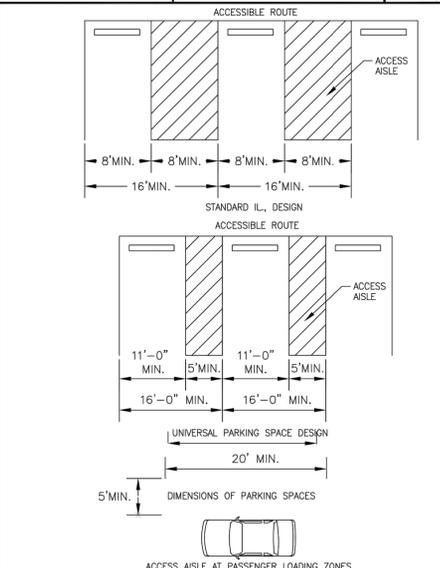
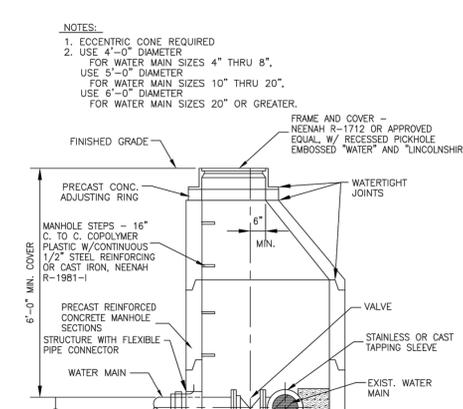
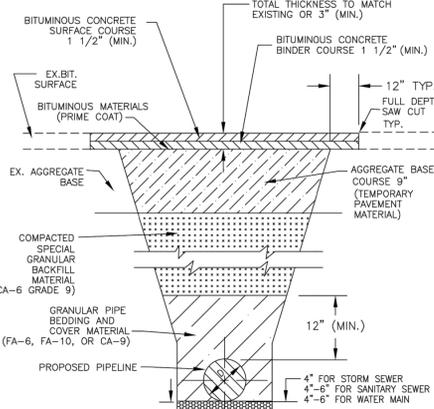
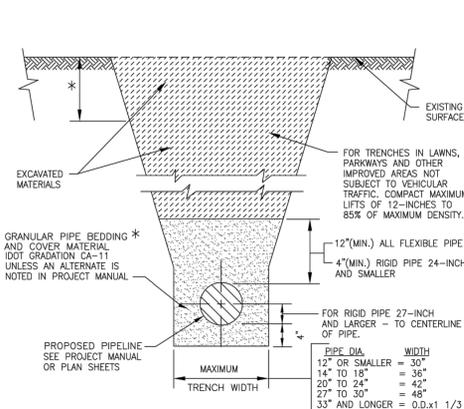
- EXCAVATED MATERIALS
 BITUMINOUS CONCRETE SURFACE COURSE 1 1/2" (MIN.)
 BITUMINOUS CONCRETE BINDER COURSE 1 1/2" (MIN.)
 EX. AGGREGATE BASE
 COMPACTED SPECIAL GRANULAR BACKFILL MATERIAL (CA-6 GRADE 9)
 GRANULAR PIPE BEDDING AND COVER MATERIAL (IDOT GRADATION CA-11 UNLESS AN ALTERNATE IS NOTED IN PROJECT MANUAL OR PLAN SHEETS)
 12" (MIN.) ALL FLEXIBLE PIPE
 4" (MIN.) RIGID PIPE 24-INCH AND SMALLER
 FOR RIGID PIPE 27-INCH AND LARGER - TO CENTERLINE OF PIPE.
 PIPE DIA. WIDTH
 12" OR SMALLER = 36"
 14" TO 18" = 36"
 20" TO 24" = 42"
 27" TO 30" = 48"
 33" AND LONGER = 0.0.1 x 1/3
- FOR NON-PAVED AREAS
 * FOR FLEXIBLE THERMOPLASTIC OR HDPE PIPE COMPLY WITH ASTM 2321, CLASS I OR II.
 FOR RIGID PIPE COMPLY WITH ASTM C12, BEDDING CLASS B.

Village of Lincolnshire

DRIVEWAY DETAIL COMMERCIAL / INDUSTRIAL

DESIGNED BY: NONE
 DRAWN BY: B&W
 CHECKED BY: B&W
 SHEET NO.: 180900
 DATE: NOV. 2018

D-2



Sara E.F. Gensburg, Ltd.
 Architecture/Design
 105 Revere Drive - Suite G
 Northbrook, IL 60062
 Phone: (847) 715-9881
 Fax: (847) 715-9881
 Phone: (847) 715-9891

BCI BONO CONSULTING, INC.
 CIVIL ENGINEERS
 1018 BUSSE HIGHWAY
 PARK RIDGE, IL 60068
 PH: (847) 823-3300
 FAX: (847) 823-3303
 bbono@bonoconsulting.com

MEDICAL OFFICE BUILDING
231 OLDE HALF DAY ROAD
LINCOLNSHIRE, ILLINOIS

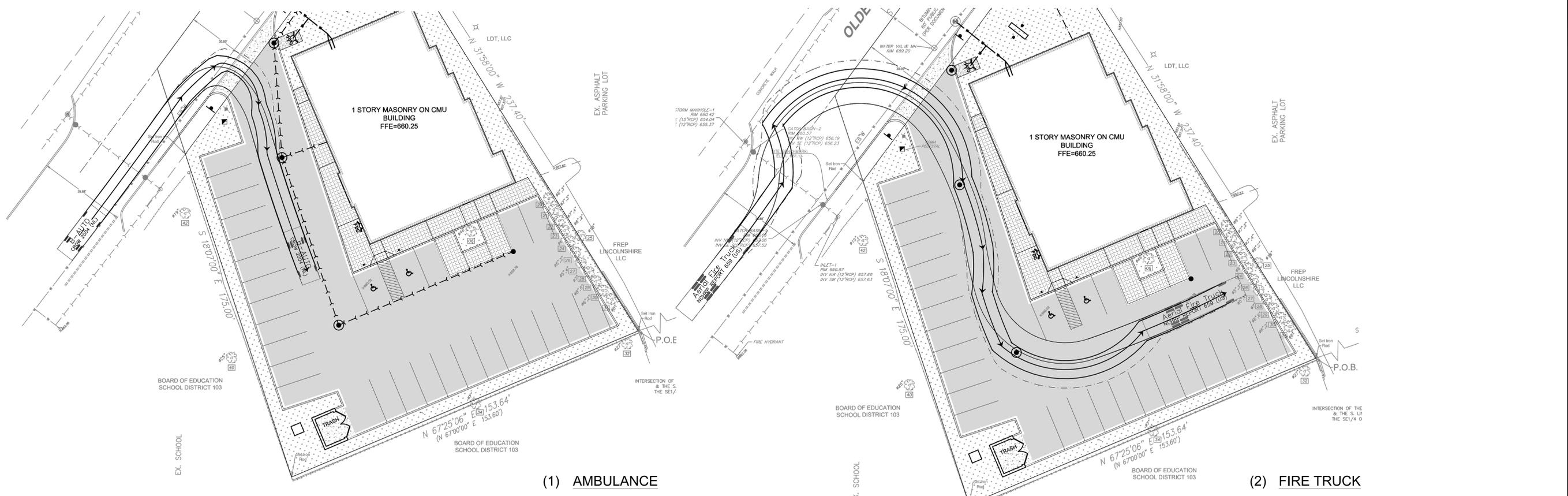
No.	Date:	Issued:	Issued for Preliminary Evaluation	DR Progress Set	Revised per Village Comments	Revised per LCBMC	Revised per village comments
1	03-12-19	1					
2	04-08-19	1					
3	06-26-19	1					
4	07-10-19	1					
5	08-13-19	1					

SEFG No. 118320

SHEET: C-4

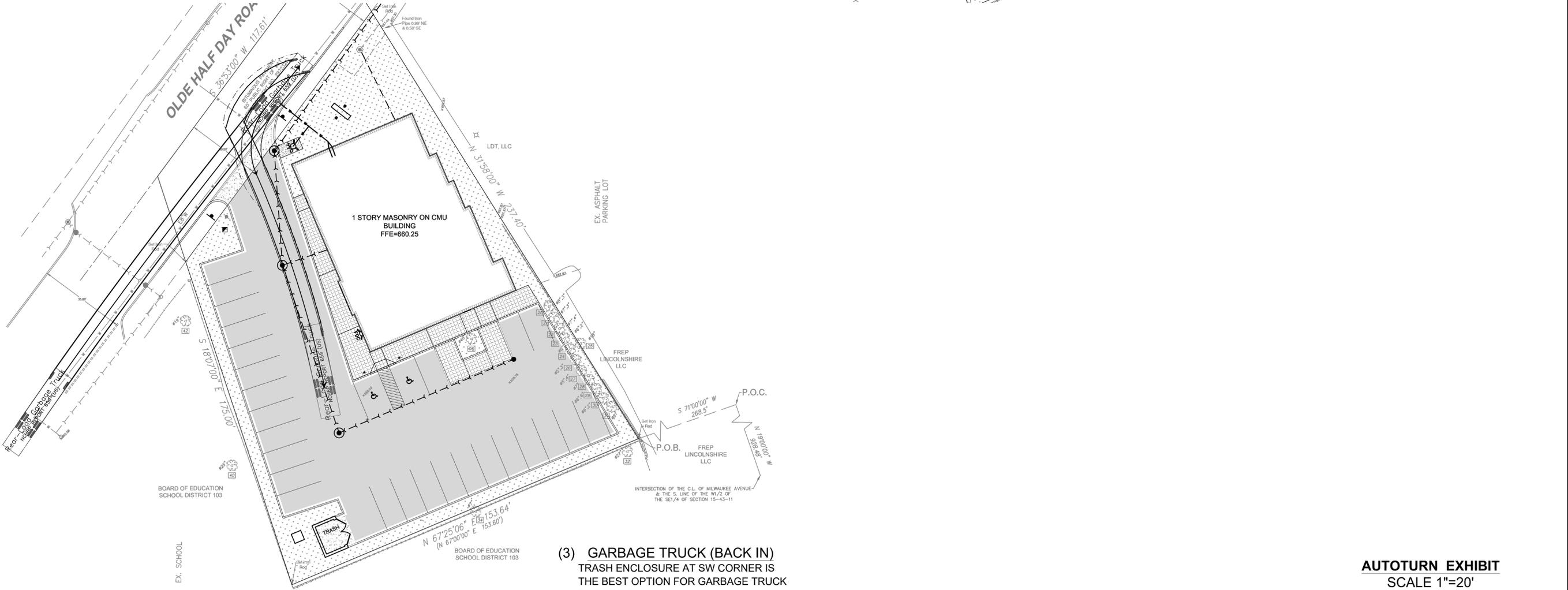
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 Date: 04-05-19

Sheet 6 of 7



(1) AMBULANCE

(2) FIRE TRUCK



(3) GARBAGE TRUCK (BACK IN)
TRASH ENCLOSURE AT SW CORNER IS THE BEST OPTION FOR GARBAGE TRUCK BACKING IN

AUTOTURN EXHIBIT
SCALE 1"=20'

Sara E.F. Gensburg, Ltd.
 Architecture/Design
 105 Revere Drive - Suite G
 Northbrook, IL 60062
 Fax: (847) 715-9581
 Phone: (847) 715-9591

BCI
BONO CONSULTING, INC.
 CIVIL ENGINEERS
 1018 BUSSE HIGHWAY PH: (847) 823-3300
 PARK RIDGE, IL 60068 FAX: (847) 823-3303
 bbono@bonoconsulting.com

MEDICAL OFFICE BUILDING
231 OLDE HALF DAY ROAD
LINCOLNSHIRE, ILLINOIS

No.	Date	Issued for
1	03-12-19	Issued for Preliminary Evaluation
2	04-08-19	DRP Progress Set
3	06-26-19	Revised per Village Comments
4	07-10-19	Revised per LCSRMC
5	08-13-19	Revised per village comments

SEFG No. 118320	SHEET:
Drawn: MW	EX-1
Checked: RW	
Date: 04-05-19	Sheet 7 of 7

Sara E.F. Gensburg, Ltd.
 Architecture/Design
 405 Revere Drive - Suite G
 Northbrook, IL 60062
 Fax: (847) 715-9588
 Phone: (847) 715-9591

N LANDSCAPE ARCHITECTS
 2201 Lincoln Avenue
 Highland Park, IL 60034
 (708) 432-7100

MEDICAL OFFICE BUILDING
 231 OLDE HALF DAY ROAD
 LINCOLNSHIRE, ILLINOIS

No.	Date	Issued:
1	03-12-19	Issued for Preliminary Evaluation
2	04-08-19	DRT Progress Set
3	09-05-19	ARB Revisions/COTE Meeting

SEFG No. 118320	SHEET:
Drawn: DBF	L1
Checked: S.E.F.G.	
Date: 03-04-19	
Sheet 6 of 6	

LEGEND

- PROPOSED SHADE TREE
- PROPOSED EVERGREEN TREE
- PROPOSED LARGE SHRUB
- PROPOSED EVERGREEN SHRUB
- PROPOSED DECIDUOUS SHRUB
- PROPOSED PERENNIAL
- PROPOSED GROUND COVER

- 312 EC
- 5 AV
- 7 HA
- 6 AV
- 3 AV
- 1 AM
- 12 TM

- 13 HH
- 10 SH
- 5 TM
- 1 GT
- 3 VD
- 4 RA
- 1 VD
- 2 RA
- 1 VD

PLANT LIST

KEY	QTY	Botanical Name	Common Name	Size at Planting	Period of Bloom
SHADE TREES:					
AF	1	Acer freemanii 'Armstrong'	Armstrong Red Maple	2-1/2" cal. B&B	Red
AS	1	Acer saccharum 'Green Mountain'	Green Mountain Sugar Maple	4" cal. B&B	green-yellow
GB	1	Ginkgo Biloba 'Autumn Gold'	Autumn Gold Ginkgo	3" cal. B&B	inconspicuous
GT	1	Gleditsia triacanthos var. inermis 'Skyline'	Skyline Thornless Honeylocust	4" B&B	inconspicuous
QB	1	Quercus bicolor	Swamp White Oak	3" cal. B&B	Spring dig only
TC	2	Tilia cordata 'Greenspire'	Greenspire Linden	4" cal. B&B	yellow/fragrant
ORNAMENTAL TREES:					
AM	1	Amelanchier 'Autumn Brilliance'	Autumn Brilliance Serviceberry	8" clump	white/April/May
EVERGREENS:					
BG	7	Buxus microphylla 'Green Gem'	Green Gem Boxwood	18" B&B/ 5 gal. cont.	N/A
BV	4	Buxus microphylla 'Green Velvet'	Green Velvet Boxwood	18" B&B/ 5 gal. cont.	N/A
TM	17	Taxus media densiformis	Dense spreading yew	24" BB/ 7 gal. cont.	N/A
TN	13	Thuja occidentalis 'Nigra'	Dark American Arborvitae	8" B&B	N/A
SHRUBS:					
CA	7	Cornus alba Ivory Halo 'Bailhala'	Ivory Halo Dogwood	36" 5 gal. cont.	May/June
DL	5	Diervilla lonicera	Bush Honeysuckle	30" 5 gal. cont.	June/July
FS	7	Forsythia intermedia 'Show Off'	Show Off Forsythia	36" 5 gal. cont.	March/April
HA	7	Hydrangea arborescens 'Annabelle'	Annabelle Hydrangea	30" 5 gal. cont.	June/July
ST	14	Spiraea betulifolia 'Tor'	Tor Birchleaf Spirea	24" 5 gal. cont.	May/June
SC	5	Stephandra incisa 'Crispa'	Crispa Cutleaf Stephandra	24" 5 gal. cont.	insignificant
RA	27	Ribes alpinum 'Green Mound'	Green Mound Alpine Currant	30" 5 gal. cont.	April
BM	7	Viburnum dentatum 'Blue Muffin'	Blue Muffin Viburnum	36" 5 gal. cont.	June
VD	5	Viburnum dentatum 'Chicago Lustre'	Chicago Lustre Viburnum	3" B&B	June
PERENNIALS:					
AV	14	Astilbe chinensis 'Visions'	Visions Astilbe	#1 cont.	June/Purple/Rose
SH	10	Stachy 'Hummelo'	Betony	#1 cont.	July/Aug - Rose
HH	13	Hemerocallis 'Happy Returns'	Happy Returns Daylily	#1 cont.	Yellow/continuous
GROUND COVER and VINES:					
EC	672	Euonymus fortunei var. 'coloratus'	Purple Wintercreeper	2-1/4" pots	NA
HP	2	Hydrangea anomala petiolaris	Climbing Hydrangea	5 gal. cont.	white flower June/July red fall color
GL	37	Rhus aromatica - 'Grow-low'	Grow low Fragrant sumac	3 gal. cont.	

PROTECT PEDESTAL

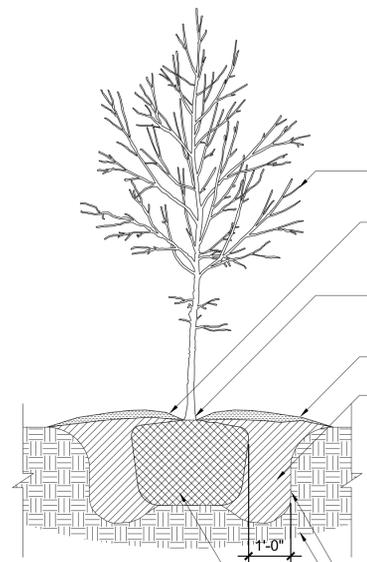
ENTRY

MAIN ENTRANCE
FLOWER CONTAINER

ENTRY

Existing 46" Silver Maple to be protected during construction. Provide and install pervious pavement below canopy.

- NOTES:**
- Do not allow air pockets to form when backfilling.
 - Leave 10" of stake above grade for easy removal.
 - Tree should be secured with guy wires spaced 120° apart. Tree shall stand plumb. Guy wires to be removed at the end of guarantee period.



- REMOVE ROPES FROM CROWN
- SAUCER GROUND AROUND TREE TRUNK TO DIRECT WATER TOWARDS ROOT BALL
- TOP OF ROOT FLARE SHALL BE 2" ABOVE EXISTING GROUND LEVEL
- 2-3" MULCH
- BACKFILL AROUND TREE WITH EXCAVATED SOIL. IF EXCAVATED SOIL HAS HIGH CLAY/ROCK CONTENT, BACKFILL WITH SOIL MIXTURE CONTAINING 1/3 TOPSOIL, 1/3 COMPOST, 1/3 SAND. INCLUDE 1 POUND OF MYCHORRIZAE PER CALIPER INCH.
- ROUGHEN SIDES AND BOTTOM OF PLANTING PIT PRIOR TO SETTING TREE
- UNDISTURBED SUBGRADE
- CUT TWINE AT BASE OF TREE UPON PLANTING AND REMOVE ALL WIRES A MINIMUM OF 8" BELOW GRADE. LOW PROFILE BASKETS ARE PREFERRED. NYLON ROPER AND PLASTIC BURLAP ARE NOT PERMITTED.

Landscape Plan
 Scale: 1" = 10'-0"

1 TYPICAL TREE PLANTING
 SCALE: 1/2"=1'-0"

- 5 ST
- 1 AS
- 360 EC
- 5 DL
- 2 TN
- 7 CA
- 5 GL
- 3 TN
- 5 GL
- 1 GB
- 7 GL
- 2 HP
- 9 RA
- 1 AF
- 8 TN

4 BV

7 BG

12 RA

5 SC

7 FS

1 QB

8 GL

7 ST

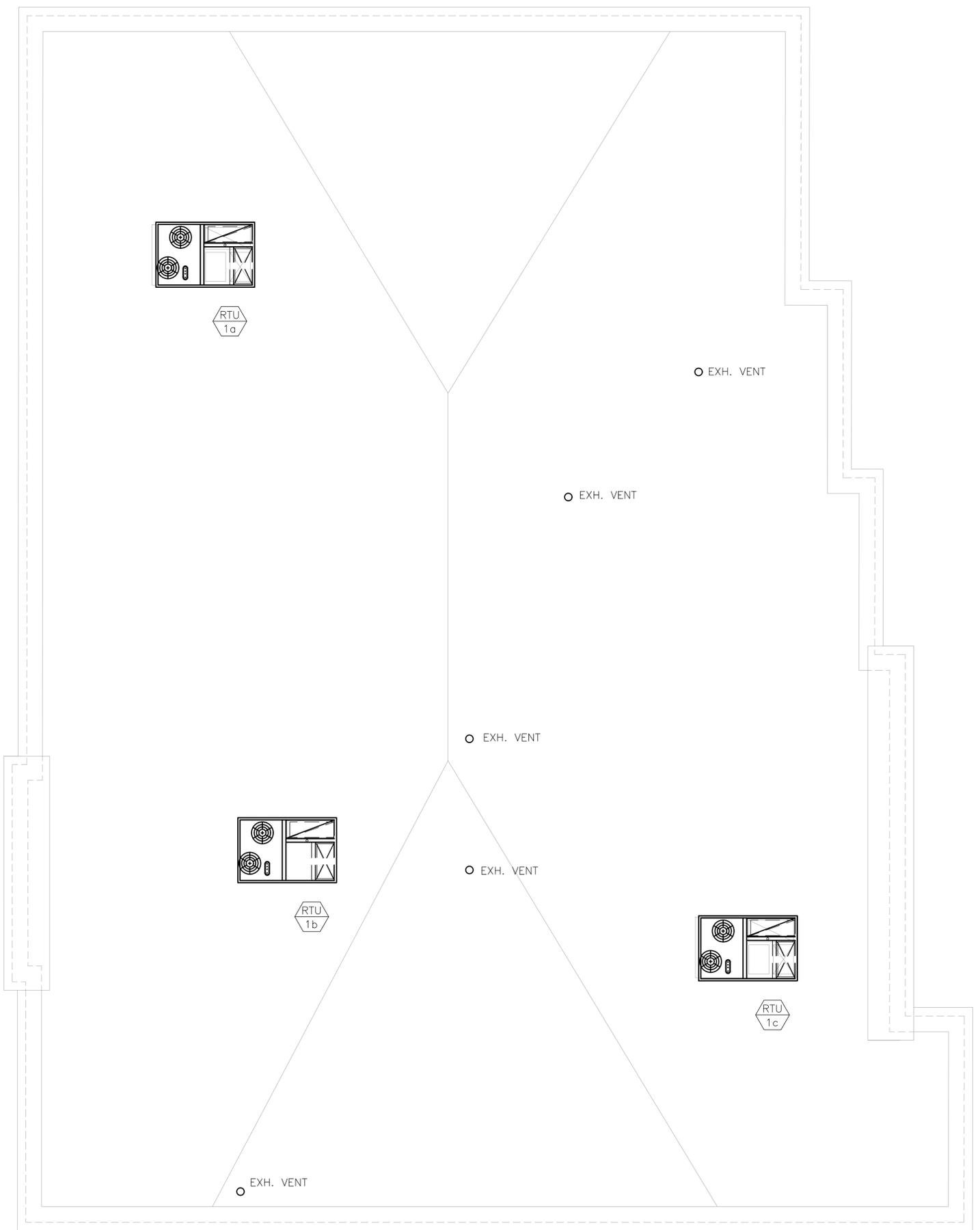
1 TC

7 GL

7 BM

5 GL

1 TC



A ROOF LEVEL HVAC PLAN
M-4 SCALE: 1/4" = 1'-0"

EC Engineering Consultants Inc.
 20 N. WACKER - STE 1910
 Chicago, Illinois 60606
 PHE (312) 944-8409
 FAX (312) 944-8432

Project No. 19014

Sara E. F. Gensburg, Ltd.
 Architecture/Design
 Age Revere Drive - Suite G
 Northbrook, IL 60062
 Fax: (847) 715-9581
 Phone: (847) 715-9581



MEDICAL OFFICE BUILDING
231 OLDE HALF DAY ROAD
LINCOLNSHIRE, ILLINOIS

No.	Date	Issued
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SEFG No. 118320
 Drawn: JRM
 Checked: BPE
 Date: 03-04-19

SHEET: **M-4**
 Sheet X OF X



A ELECTRICAL SITE PLAN
E-1 SCALE: 1" = 20'

Sara E. F. Gensburg, Ltd.
 Architecture/Design
 Age Revere Drive - Suite G
 Northbrook, IL 60062
 Fax: (847) 715-9581
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**MEDICAL OFFICE BUILDING
 231 OLDE HALF DAY ROAD
 LINCOLNSHIRE, ILLINOIS**

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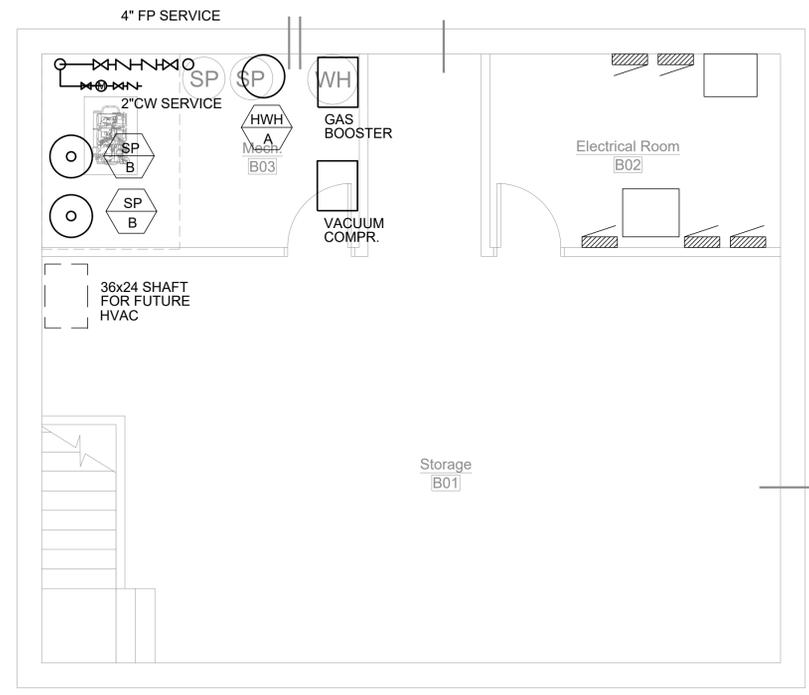
EC Engineering Consultants Inc.
 20 N. WACKER - STE 1910
 Chicago, Illinois 60606
 PH: (312) 944-8409
 FAX (312) 944-8432

Project No. 19014

SEFG No. 118320
 Drawn: JRM
 Checked: BPE
 Date: 03-04-19

SHEET: **E-1**
 Sheet X OF X

Sara E.F. Gensburg, Ltd.
Architecture/Design
Age Reverse Drive - Suite G
Northbrook, IL 60062
Fax: (847) 715-9581
Phone: (847) 715-9581



B BASEMENT LEVEL PLAN
E-2 SCALE: 1/4" = 1'-0"

MEDICAL OFFICE BUILDING
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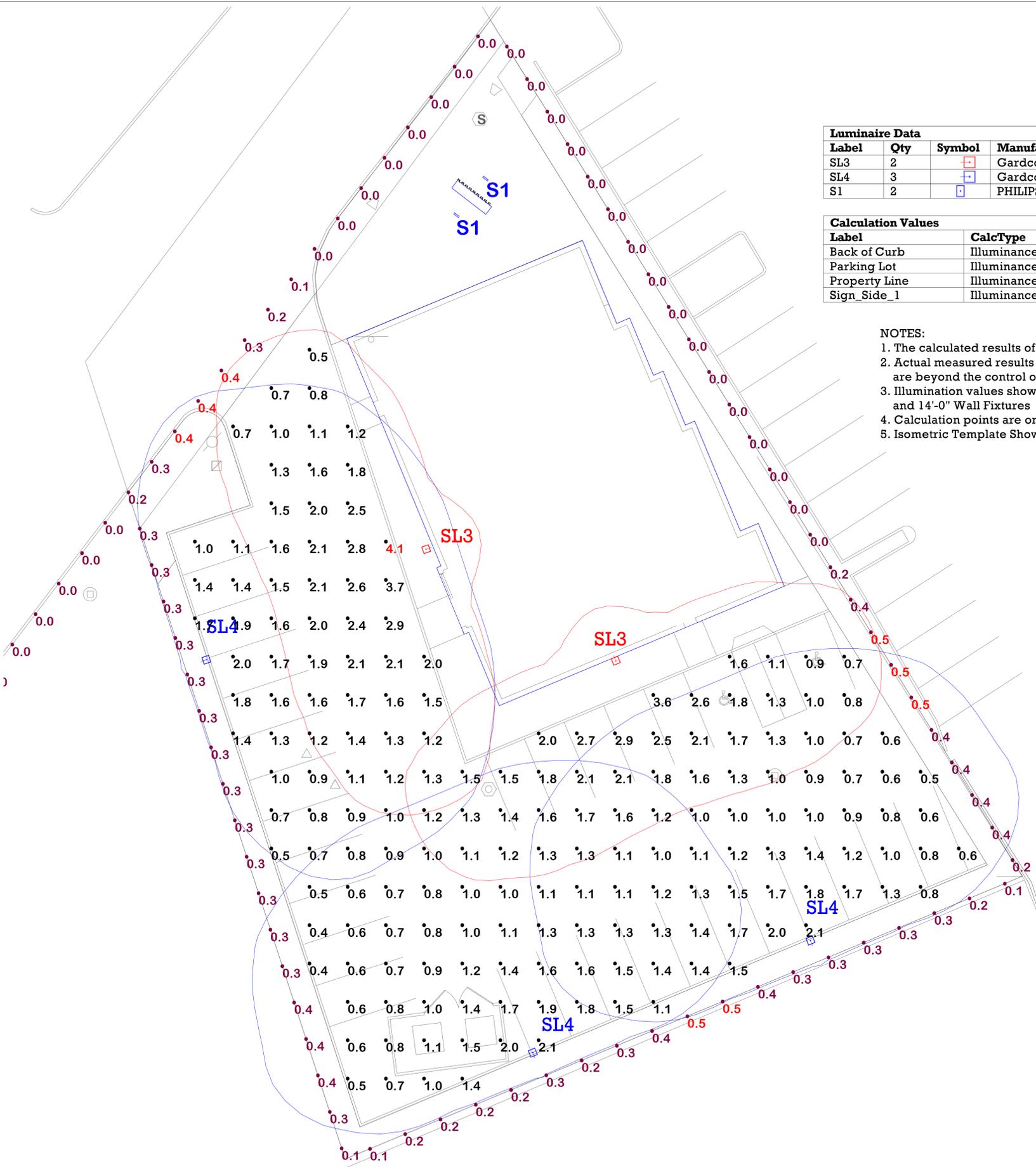
EC Engineering Consultants Inc.
20 N. WACKER - STE 1910
Chicago, Illinois 60606
PH: (312) 944-8409
FAX (312) 944-8432

Project No. 19014

No.	Date	Issued:
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SEFG No. 118320	SHEET:
Drawn: JRM	E-2
Checked: BPE	
Date: 03-04-19	
Project No. 19014	

Sheet X OF X



Luminaire Data							
Label	Qty	Symbol	Manufacture	Description	Lum. Lumens	LLF	Lum. Watts
SL3	2	□	Gardco	ECF-S-32L-530-NW-G2-3-HIS	5349	0.850	55.7
SL4	3	□	Gardco	ECF-S-32L-530-NW-G2-4-HIS	5509	0.850	55.7
S1	2	□	PHILIPS HADCO	WBM1DF-G2	964	0.850	10.6

Calculation Values							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
Back of Curb	Illuminance	Fc	0.10	0.4	0.0	N.A.	N.A.
Parking Lot	Illuminance	Fc	1.36	4.1	0.4	3.40	10.25
Property Line	Illuminance	Fc	0.23	0.5	0.0	N.A.	N.A.
Sign_Side_1	Illuminance	Fc	2.57	5.5	0.4	6.43	13.75

- NOTES:
1. The calculated results of this lighting simulation represent a prediction of system performance and are not guaranteed.
 2. Actual measured results may vary from the anticipated performance and are subject to means and conditions which are beyond the control of DB Lighting Consultation.
 3. Illumination values shown (in foot-candles) are horizontal at grade level based on Mounting Height of 20'-0" Pole Fixtures and 14'-0" Wall Fixtures
 4. Calculation points are on an 8' x 8' spacing
 5. Isometric Template Shown Represents 0.25fc and is for reference purpose only.

Not to Scale
 DB Lighting Consultation (DBLC) assumes no responsibility for any errors in the IES files, background images, or other information provided to DBLC to be used in these calculations. Actual or measured results may vary due to manufacturer tolerances, component malfunctions, obstructions, varying surface reflectance's and other field conditions. The owner assumes all responsibility for compliance with federal, state and/or local codes and regulations.

Prepared For:
 Dann Grist
 Prepared by:
 DB Lighting Consultation
 407-924-4113



Chicago Lightworks
 505 Warrenville Rd.
 Suite 101
 Lisle, IL 60532

Rev	Date	Comments
R1	06/04/19	Added Sign Lighting

Project Name:
Olde Half Day Road Parking
 Project ID Number: 2019-169
 Date: 04/04/2019

Manhattan 22" LED Wall Light Textured Black

49298BKTLED (Black)

ProjectName: _____ Document 1
 Location: _____
 Type: _____
 Qty: _____
 Comments: _____



Certifications/Qualifications

Location Rating	Wet
Title 24 Compliant	Yes
Warranty	www.kichler.com/warranty

Dimensions

Base Backplate	21.75 X 6.75
Extension	3.75"
Weight	8.40LBS
Height from center of Wall opening (Spec Sheet)	11.00"
Height	22.00"
Width	7.00"

Electrical

Input Voltage	Single(120)V
---------------	--------------

Mounting/Installation

Interior/Exterior	Exterior
Mounting Weight	4.80LBS

Photometrics

Color Rendering Index	90
Delivered Efficacy (Lumens/Watt)	30
Delivered Lumens	550
Kelvin Temperature	3000

Primary Lamping

Dimmable	Yes
Expected Life Span	40000
Lamp Included	Integrated
Light Source	LED
Max or Nominal Watt	20.5W
# of Bulbs/LED Modules	2

Product/Ordering Information

SKU	49298BKTLED
Finish	Black
Style	Contemporary
UPC	783927541206

Specifications

Diffuser Description	White Glass
Material	ALUMINUM



Project: _____
 Location: _____
 Cat.No: _____
 Type: _____
 Qty: _____
 Notes: _____

The Philips Gardco EcoForm Gen-2 combines economy with performance in an LED area luminaire. Capable of delivering up to 26,400 lumens or more in a compact, low profile LED luminaire, EcoForm offers a new level of customer value. EcoForm features an innovative retrofit arm kit, simplifying site conversions to LED by eliminating the need to drill additional holes in most existing poles. Integral control systems available for further energy savings.

Ordering guide

example: ECF-S-64L-900-NW-G2-AR-5-120-HIS-MGY

Prefix	Number of LEDs	Drive Current	LED Color - Generation	Mounting	Distribution	Voltage	Options			Finish			
							Controls	Electrical	Luminaire				
ECF-S													
ECF-S EcoForm Site and Area, Small	32L 32 LEDs (2 modules)	530 530mA 700 700mA 1A 1050mA 1.2A 1200mA	WW-G2 Warm White 3000K, 70CRI Generation 2 NW-G2 Neutral White 4000K, 70CRI Generation 2	AR Arm Mount (standard) ⁹ <i>The following mounting kits must be ordered separately (See accessories)</i> SF Slip Fitter Mount ¹¹ (fits to 2 ³ / ₈ " O.D. tenon) WS Wall mount with surface conduit rear entry permitted RAM Retrofit arm mount kit ⁹	Type 2 2 Type 2 2-90 Rotated left 90° 2-270 Rotated right 270° Type 3 3 Type 3 3-90 Rotated left 90° 3-270 Rotated right 270° Type 4 4 Type 4 4-90 Rotated left 90° 4-270 Rotated right 270° Type 5 5 Type 5 5W Type 5W AFR Auto Front Row AFR-90 Auto Front Row, Rotated left 90° AFR-270 Auto Front Row, Rotated right 270°	120 120V 208 208V 240 240V 277 277V 347 347V 480 480V UNV 120-277V (50/60Hz) HVU 347-480V (50/60Hz)	DD 0-10V Dimming Driver ⁵ DCC Dual Circuit Control ⁶ Photoelectric/Receptacle systems (Twist Lock Receptacle) PCB Photocontrol Button ^{2,3} TLRD5 Twist Lock Receptacle 5 Pin TLRD7 Twist Lock Receptacle 7 Pin TLRPC Twist Lock Receptacle w/Photocell ² DynaDimmer: Automatic Profile Dimming CS50 Safety 50% Dimming, 7 hours ¹ CM50 Median 50% Dimming, 8 hours ¹ CE50 Economy 50% Dimming, 9 hours ¹ DA50 All Night 50% Dimming ¹ Infrared Motion Response Systems IMR13 Integral with #3 lens ⁸ IMR17 Integral with #7 lens ⁸ Pole Mounted Infrared Motion Response systems with DynaDimmer CS50-IMRO with Safety 50% Dimming ^{1,5} CM50-IMRO with Median 50% Dimming ^{1,5} CE50-IMRO with Economy 50% Dimming ^{1,5} DA50-IMRO with All Night 50% Dimming ^{1,5} Network system (SiteWise) SW Integral module ^{12,13} SW-IMRO Pole mounted motion response option Wireless system LLC2 Integral module with #2 lens ¹⁶ LLC3 Integral module with #3 lens ¹⁶ LLC4 Integral module with #4 lens ¹⁶	TB Terminal Block ⁷ Fusing F1 Single (120, 277, 347VAC) ² F2 Double (208, 240, 480VAC) ² Pole Mount Fusing FP1 Single (120, 277, 347VAC) ² FP2 Double (208, 240, 480VAC) ² FP3 Canadian Double Pull (208, 240, 480VAC) ² Surge Protection SP1 Standard 10kA SP2 Increased 20kA	RPA Round Pole Adapter (fits to 3"- 3.9" O.D. pole) ¹⁰ HIS Internal House Side Shield ⁴	BK Black WH White BZ Bronze DGY Dark Gray MGY Medium Gray Customer specified RAL Specify optional color or RAL (ex: RAL7024) CC Custom color (Must supply color chip for required factory quote)			

1. Available only on 120, 208, 240, and 277 (or UNV)
 2. Specify Voltage
 3. Not available with 347 or 480 voltage
 4. HIS not available with Type 5 or 5W optics
 5. DD is required for LLC2 and pole mount motion sensor. Dimming leads are supplied through back of luminaire. Must be ordered separately (See accessories page)
 6. DCC and LLC2/3/4 not available with any other controls
 7. TB not available with DCC
 8. ECF-IMRI equipped with out-boarded sensor housing when voltage is HVU (347-480V)
 9. Mounts to a 4" round pole with adapter included for square poles.
 10. Not available with SF and WS. RPAs provided with black finish standard
 11. Limited to a maximum of 45 degrees aiming above horizontal
 12. SW option is not available with any other control options with the exception of IMR13, IMR17 and SW-IMRO motion response options
 13. Available only on 120V and 277V

ECF-S EcoForm small

Site & Area

EcoForm Accessories (ordered separately, field installed)

Controls Accessories	Shielding Accessories ¹⁰	Luminaire Accessories
Pole Mount Motion Sensor MS-A-120V ¹¹ 120V Input MS-A-277V ¹¹ 277V Input Wireless systems Remote mount module LLCR2-(F) ¹¹ #2 lens LLCR3-(F) ¹¹ #3 lens LLCR4-(F) ¹¹ #4 lens Central Remote Motion Response (used connected to SiteWise main panel) MS2-A-FVR-3 MS2-A-FVR-7 11. DD option required 12. Not available with Type 5 or 5W optics	House Side shield <i>Standard orientation:</i> HIS-32-H ¹² Internal House Side Shield for 32 LEDs (2 modules) HIS-48-H ¹² Internal House Side Shield for 48 LEDs (3 modules) HIS-64-H ¹² Internal House Side Shield for 64 LEDs (4 modules) <i>At 90 or 270 orientation:</i> HIS-32-V ¹² Internal House Side Shield for 32 LEDs (2 modules) HIS-48-V ¹² Internal House Side Shield for 48 LEDs (3 modules) HIS-64-V ¹² Internal House Side Shield for 64 LEDs (4 modules)	ECF-BD-G2 Bird deterrent PTF2-(F) Pole top fitter fits 2 3/8-2 1/2" OD x 4" depth tenon with 1, 2, 3 or 4 luminaires at 90° PTF3-(F) Pole top fitter fits 3-3 1/2" OD x 6" depth tenon with 1, 2, 3 or 4 luminaires at 90° PTF4-(F) Pole top fitter fits 3 1/2-4" OD x 6" depth tenon with 1, 2, 3 or 4 luminaires at 90° ECF-SF-G2-(F) Slip Fitter Mount (fits to 2 3/8" O.D. tenon) ECF-RAM-G2-(F) Retrofit Arm mount kit ECF-WS-G2-(F) Wall mount with surface conduit rear entry permitted (F) = Specify finish

Predicted Lumen Depreciation Data

Predicted performance derived from LED manufacturer's data and engineering design estimates, based on IESNA LM-80 methodology. Actual experience may vary due to field application conditions. L₇₀ is the predicted time when LED performance depreciates to 70% of initial lumen output. Calculated per IESNA TM21-11. Published L₇₀ hours limited to 6 times actual LED test hours

Ambient Temperature °C	Driver mA	Calculated L ₇₀ Hours	L ₇₀ per TM-21	Lumen Maintenance % at 60,000 hrs
25°C	up to 1200 mA	>100,000 hours	>60,000 hours	>88%

LED Wattage and Lumen Values

Ordering Code	Total LEDs	LED Current (mA)	Color Temp. ³	Average System Watts ¹	Type 2			Type 3			Type 4		
					Lumen Output ^{1,2}	BUG Rating	Efficacy (LPW)	Lumen Output ^{1,2}	BUG Rating	Efficacy (LPW)	Lumen Output ^{1,2}	BUG Rating	Efficacy (LPW)
ECF-S-32L-530-NW-G2-x	32	530	4000	56	6,864	B2-U0-G2	123	6,715	B1-U0-G2	121	7,025	B1-U0-G2	126
ECF-S-32L-700-NW-G2-x	32	700	4000	73	8,853	B2-U0-G2	121	8,661	B2-U0-G2	119	9,062	B1-U0-G2	124
ECF-S-32L-1A-NW-G2-x	32	1050	4000	106	12,464	B3-U0-G2	118	12,194	B2-U0-G2	115	12,757	B2-U0-G3	121
ECF-S-32L-1.2A-NW-G2-x	32	1200	4000	122	13,826	B3-U0-G3	114	13,526	B2-U0-G3	111	14,151	B2-U0-G3	116
ECF-S-48L-900-NW-G2-x	48	900	4000	135	16,409	B3-U0-G3	121	16,053	B2-U0-G3	119	16,795	B2-U0-G3	124
ECF-S-48L-1A-NW-G2-x	48	1050	4000	159	18,581	B3-U0-G3	117	18,178	B3-U0-G3	115	19,018	B2-U0-G4	120
ECF-S-48L-1.2A-NW-G2-x	48	1200	4000	183	20,627	B3-U0-G3	113	20,180	B3-U0-G4	110	21,112	B3-U0-G4	116
ECF-S-64L-900-NW-G2-x	64	900	4000	178	21,717	B3-U0-G3	122	21,246	B3-U0-G4	119	22,228	B3-U0-G4	125
ECF-S-64L-1A-NW-G2-x	64	1050	4000	206	24,467	B3-U0-G3	119	23,936	B3-U0-G4	116	25,043	B3-U0-G4	122

Ordering Code	Total LEDs	LED Current (mA)	Color Temp. ³	Average System Watts ¹	Type 5			Type 5W			Type AFR		
					Lumen Output ^{1,2}	BUG Rating	Efficacy (LPW)	Lumen Output ^{1,2}	BUG Rating	Efficacy (LPW)	Lumen Output ^{1,2}	BUG Rating	Efficacy (LPW)
ECF-S-32L-530-NW-G2-x	32	530	4000	56	7,414	B3-U0-G2	133	7,175	B3-U0-G2	129	7,111	B2-U0-G1	128
ECF-S-32L-700-NW-G2-x	32	700	4000	73	9,563	B3-U0-G2	131	9,255	B4-U0-G2	127	9,172	B2-U0-G1	126
ECF-S-32L-1A-NW-G2-x	32	1050	4000	106	13,462	B4-U0-G2	127	13,030	B4-U0-G2	123	12,912	B3-U0-G2	122
ECF-S-32L-1.2A-NW-G2-x	32	1200	4000	122	14,933	B4-U0-G2	123	14,453	B4-U0-G2	119	14,322	B3-U0-G2	118
ECF-S-48L-900-NW-G2-x	48	900	4000	135	17,723	B4-U0-G2	131	17,154	B5-U0-G3	127	16,999	B3-U0-G2	126
ECF-S-48L-1A-NW-G2-x	48	1050	4000	159	20,069	B5-U0-G3	126	19,424	B5-U0-G3	122	19,248	B3-U0-G2	121
ECF-S-48L-1.2A-NW-G2-x	48	1200	4000	183	22,279	B5-U0-G3	122	21,563	B5-U0-G3	118	21,368	B3-U0-G2	117
ECF-S-64L-900-NW-G2-x	64	900	4000	178	23,456	B5-U0-G3	132	22,702	B5-U0-G3	128	22,497	B3-U0-G2	127
ECF-S-64L-1A-NW-G2-x	64	1050	4000	206	26,427	B5-U0-G3	128	25,577	B5-U0-G4	124	25,346	B3-U0-G2	123

1. Wattage and lumen output may vary due to LED manufacturer forward volt specification and ambient temperature. Wattage shown is average for 120V through 277V input. Measured wattage may vary due to variation in input voltage.
 2. Lumen values based on photometric tests performed in compliance with IESNA LM-79.
 3. Warm white color temperature will result in decreased lumen output. Contact outdoorlightingapplications@philips.com for details or additional information.

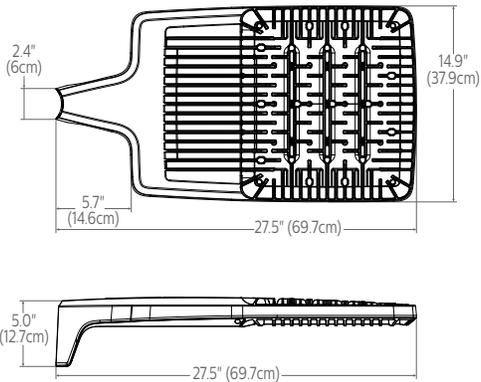
ECF-S EcoForm small

Site & Area

Dimensions

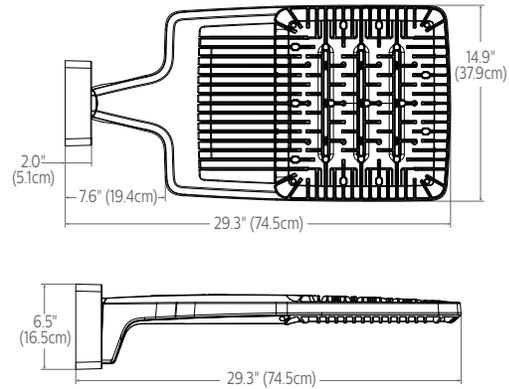
Standard Arm (AR)

Weight: 22 Lbs (9.9 Kg) EPA: 0.21ft² (.019m²)



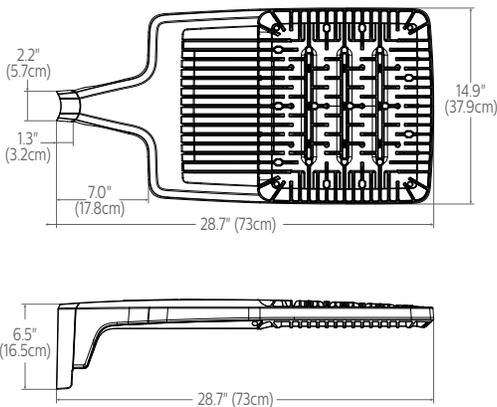
Wall (WS)

Weight: 27 Lbs (12.2 Kg) EPA: 0.27ft² (.025m²)



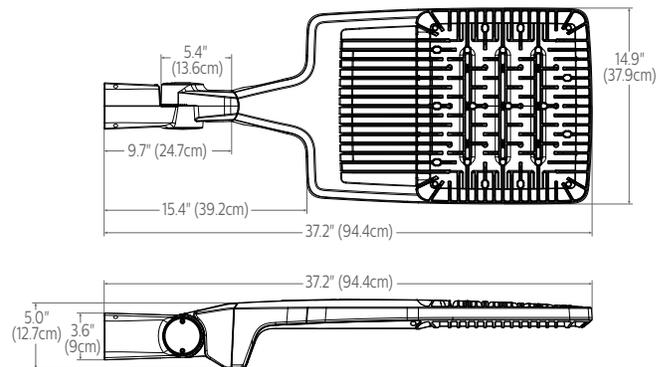
Retrofit Arm (RAM)

Weight: 24 Lbs (10.9 Kg) EPA: 0.24ft² (.022m²)

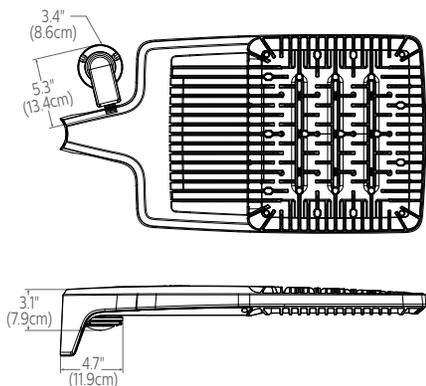


Slip fitter (SF)

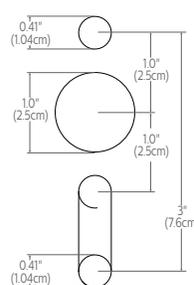
Weight: 27 Lbs (12.2 Kg) EPA: 0.33ft² (.031m²)



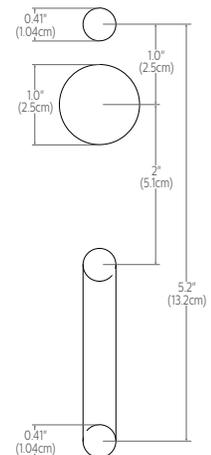
Outboard IMR-HVU sensor



Standard Arm (AR) drill pattern



Retrofit Arm (RAM) drill pattern



ECF-S EcoForm small

Site & Area

Luminaire options

DD: 0-10V dimming driver with leads supplied through back of luminaire (for secondary dimming controls by others).

TLRD5: Twist Lock Receptacle with 5 pins enabling dimming, can be used with a twistlock photoelectric cell or a shorting cap. Can also be used with Philips or third party control system. Receptacle located on top of luminaire housing.

TLRD7: Twist Lock Receptacle with 7 pins enabling dimming and additional functionality (by others), can be used with twistlock photoelectric cell or a shorting cap. Can also be used with Philips or third party control system. Receptacle located on top of luminaire housing.

TLRDPC: Receptacle with twistlock photoelectric cell (must specify voltage). Receptacle located on top of luminaire housing.

Dynadimmer Automatic Profile Dimming: Automatic dimming profiles (CS50/CM50/CE50) offer safety, median, or economy settings, for shorter or longer duration. Dimming profiles provide flexibility towards energy savings goals while optimizing light levels during specific dark hours. 50% dimming is standard. DA50 offers 50% instantaneous dimming all night (during all dark hours). 75% and 25% dimming is also available if different light levels are required (contact Technical Support for details).

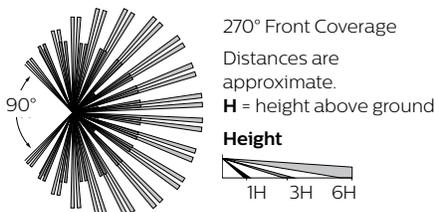
Profile	Dimming		
	Level	Duration	Example
Economy	50%	9 hours	9 PM - 6 AM
Median	50%	8 hours	10 PM - 6 AM
Safety	50%	7 hours	11 PM - 6 AM
Reactive 50	50%	dynamic	all night

IMR13, IMR17: Infrared Motion Response Integral. IMRI module is mounted integral on driver door and is available with two different sensor lens types to accommodate various mounting heights and occupancy detection ranges (see charts for approximate detection patterns on page 7). Motion response used in combination of Dynadimmer and SiteWise are not programmable and used to override controllers schedule when motion is detected. When used not combined with any controller, IMRI is set/operates in the following fashion: The motion sensor is set to a constant 50%. When motion is detected by the PIR sensor, the luminaire returns to full power/light output. Dimming on low is factory set to 50% with 5 minute default in "full power" prior to dimming back to low. When no motion is detected for 5 minutes, the motion response system reduces the wattage by 50%, to 50% of the normal constant wattage reducing the light level. IMRI can also be specified with automatic profile dimming for the added benefit of a combined

dimming profile with sensor detection, where the PIR sensor will override the dimming profile when occupancy is detected. Passive infrared (PIR) motion sensor.

IMRO: Infrared Motion Response Outboard pole mounted sensor, must be specified with an available automatic profile dimming option. Combines the benefits of both automatic profile dimming and motion response using the Philips DynaDimmer technology. PIR sensor features a pole mounted Wattstopper EW-200-120-W or the EW-200-277-W. One motion sensor per pole is required (order MS-A-120 or MS-A-277 separately). Available in 120 or 277V only, IMRO sensors require single voltage 120V or 277V input (see chart for approximate detection patterns). If motion is detected during the time that the luminaire is operating at profile dimming mode specified, the luminaire returns to 100% power and light output. The luminaire remains on high until no motion is detected for the duration period, after which the luminaire returns back to automatic profile dimming. Duration period is factory set at 15 minutes, and is field adjustable from 5 minutes up to 15 minutes. The area motion detector provides coverage equal to up to 6 times the sensor height above ground, 270° from the front-center of the sensor.

Pole Details: IMRO requires that the pole include an additional hand hole 15 feet above the pole base, normally oriented 180° to the standard hand hole. For Philips Gardco poles, order the pole with the Motion Sensor



Mounting (MSM) option which includes the hand hole and a special hand hole cover plate for the sensor with a 1/2" NPT receptacle centered on the hand hole cover plate into which the motion sensor mounts. Once the motion sensor is connected to the hand hole cover plate, then wiring connections are completed in the pole. The plate (complete with motion sensor attached and wired) is then mounted to the hand hole. If poles are supplied by others, the customer is responsible for providing suitable mounting accommodations for the motion sensor in the pole (see Gardco Poles specification sheets for more information).

DCC: Dual Circuit Control permits separate switching of a specific number of LED modules. Available as an option with 2 through 4 modules.

SW: SiteWise option is a fully integrated controller that connects to Philips SiteWise system in order to offer a complete area lighting management system. The communication signal is based on Philips patented central dimming technology. SiteWise delivers it deliver optimal energy savings using your site's existing cabling. No additional wiring required, installation and commissioning are simple. An intuitive, mobile app makes it easy for authorized users to set schedules to meet site specific lighting needs, local regulations, and energy codes.

Wireless systems: Controller radio/sensor module attached to luminaire arm and includes radio, photocell and motion sensor. Available with #2 lens (LLC2) for 8' to 15' mounting height" or #3 lens (LLC3) for 15-25' mounting heights or #4 lens (LLC4) for 25-40' mounting heights. Also available with remote pod accessory where pod is mounted separate from luminaire to pole or wall (see accessories and wireless system information page 5-7).

F1: Fusing Single (for 120, 277 or 347VAC)

F2: Fusing Double (for 208, 240 or 480VAC)

FP1: Fusing Pole Single (pole mounted near handhole, for 120, 277 or 347VAC)

FP2: Fusing Pole Double (pole mounted near handhole, for 208, 240 or 480VAC).

FP3: Fusing Pole Canadian Double Pull (pole mounted near handhole, for 208, 240 or 480VAC)

SP1: Surge Protection, 10kV/5kA, 120-277V or 347-480V

SP2: Surge Protection, 20kV/10kA, 120-277V or 347-480V

HIS: Internal House Side Shield. Injection molded in black finish. Ships installed with 1 per 16 LED module. Also available shipped separately as an accessory for 2-4 LED modules.

ECF-S EcoForm small

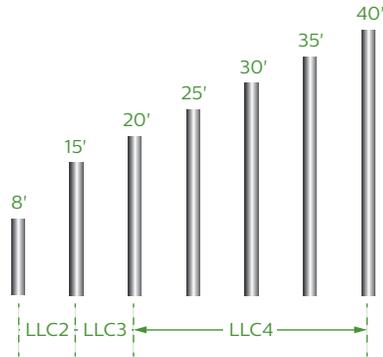
Site & Area

Wireless system – luminaire configuration information

LLC2/LLC3/LLC4 Luminaire Mounted Controller

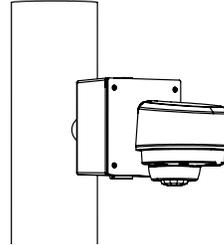
Controller pod attached to luminaire and includes radio, photocell and motion sensor with #2, #3 or #4 lens for 8–40' mounting heights.

Recommended Sensor by Pole Height



LLCR2/LLCR3/LLCR4 Pole Mounted Controller

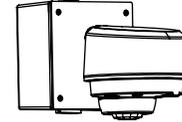
In this configuration, the wireless controller will be mounted to the pole at a fifteen foot mounting height. The number of luminaires on each pole, as well as the specific wattage chosen, will determine how many controllers will be required.



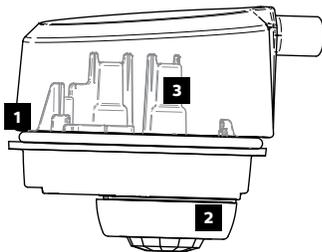
When using the wireless remote accessory option (LLCR-F) in a pole mount application, specify pole option (CL=Coupling Internal Thread, 3/4" size). Confirm required orientation of luminaire and wireless controller. Indicate height above pole base and orientation to hand hole. Recommended min pole height is 18ft, with option (CL) 15ft above pole base. Other heights are possible when choosing the appropriate sensor lens type. See pole specification sheets for more information.

Remote Mount Wireless Controller

Used to extend the communication on site, to extend motion response and add other luminaires that are not pole mounted. Consult factory for more information.



Wireless system sensor



1. Photocell

- Ambient light photocell on every wireless radio that averages the light levels of up to 5 controllers for an accurate reading and optimal light harvesting activity.
- Reports ambient light readings to 1500 Fc.

2. Motion Response

- Detects motion through passive infrared sensing technology with three different lens configurations.
- Motion sensor coverage can be adjusted from a narrow to a wide detection range, which helps reduce false triggers to further increase energy savings.
- Sensing profiles can be updated to adapt to activity levels in the environment, such as occupancy level, wind, and mounting height.

3. Wireless Radio

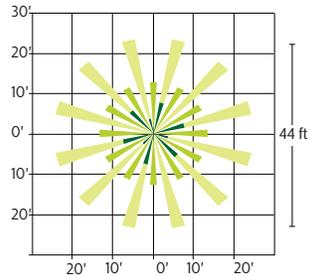
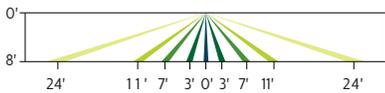
- 1.8 Watts max (no load draw)
- Operating voltage 120–277 VAC RMS
- Communicates using the ZigBee protocol
- Carries out dimming commands from Gateway
- Reports ambient light readings to 1500 Ft-Cd
- Transmission Systems Operating within the band 2400–2483.5Mhz
- RoHS Compliant

ECF-S EcoForm small

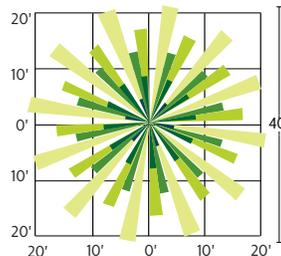
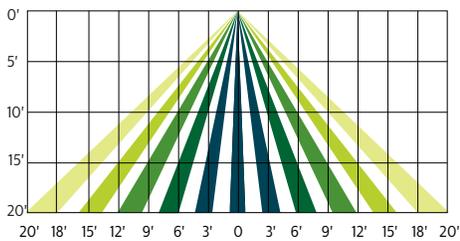
Site & Area

Infrared Motion Response – Coverage Patterns

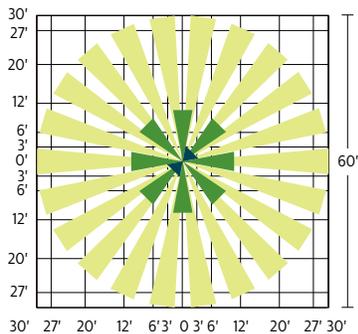
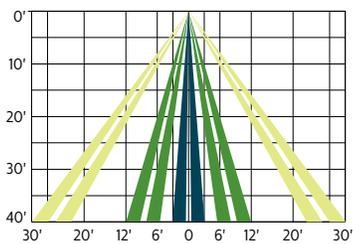
LLC2/LLCR2
Luminaire or remote mount controller
with #2 lens



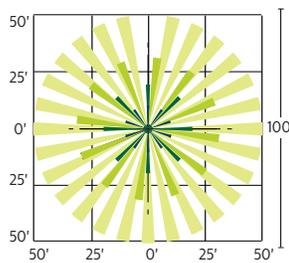
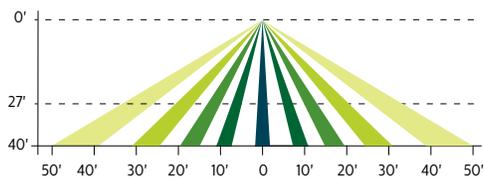
IMRI3/LLC3/LLCR3
Luminaire or Remote mount controller
with #3 lens



LLC4/LLCR4
Luminaire or Remote mount controller
with #4 lens



IMRI7
Integral motion response
with #7 lens



ECF-S EcoForm small

Site & Area

SiteWise system

SiteWise is a complete area lighting management system including a luminaire integrated controller, dimming signal transmitter cabinet, and locally accessible user interface. Installation and commissioning are simple. The cabinet communicates with the Philips luminaires using a patented central dimming technology. The control signal is embedded on the existing electrical line – no new cabling is required. An intuitive, locally accessible interface makes it easy for authorized users to set schedules in order to meet site specific lighting needs, local regulations, and energy codes.

SiteWise system diagram



SiteWise system interface



SiteWise has an intuitive user interface that makes it easy to plan, edit, and implement lighting schedules for your site. Authorized users can access the interface via a local app.

To ensure that only authorized users can access your lighting, SiteWise offers two user types, each with different permissions. An advanced user, or administrator, can set and edit schedules using the ten pre-set scenes, assign those schedules to calendar days, and check system status.

For everyday use, a basic user can manually override a schedule that is currently running but cannot create or edit schedules.

SiteWise system specifications

The SiteWise system includes both luminaires and controls. The controls used for SiteWise are circuit load dependent. Required for a complete installation are the following Philips SiteWise components: user interface, control kit, dimming signal transmitter cabinet, and dimming signal receiver located in the Philips luminaire (**SW** option). Optional luminaire-integrated or external motion sensors may also be specified as required. Within the electrical closet, the control kit and dimming signal transmitter cabinet are installed into the electrical system between the existing breaker panel and the site luminaires. New LED luminaires containing the dimming signal receiver are installed on the site. Once completed, use of the interface allows for scheduling and override capabilities. Wireless access point and tablet should be supplied by others. Complete information on the control system can be found on the SiteWise website at philips.com/siteWISE

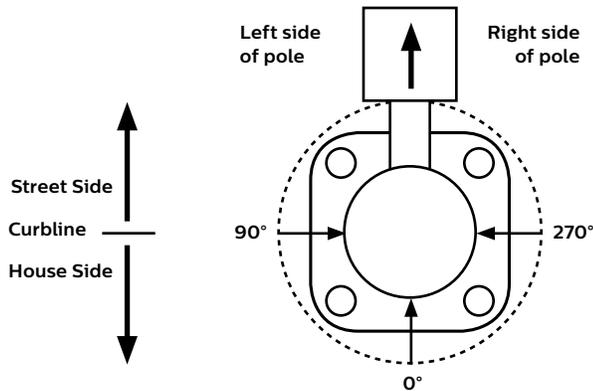
ECF-S EcoForm small

Site & Area

Optical Orientation Information

Standard Optic Position

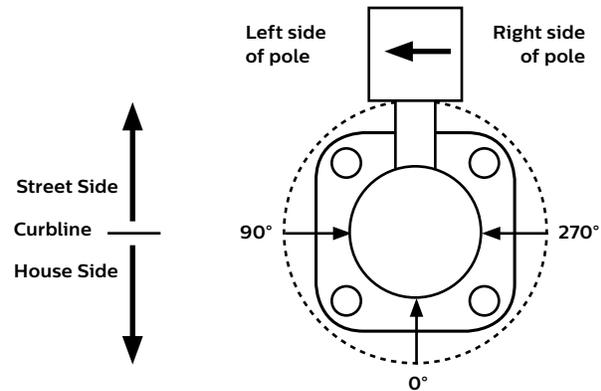
Luminaires ordered with asymmetric optical systems in the standard optic position will have the optical system oriented as shown below:



Note: The hand hole will normally be located on the pole at the 0° point.

Optic Rotated Left (90°) Optic Position

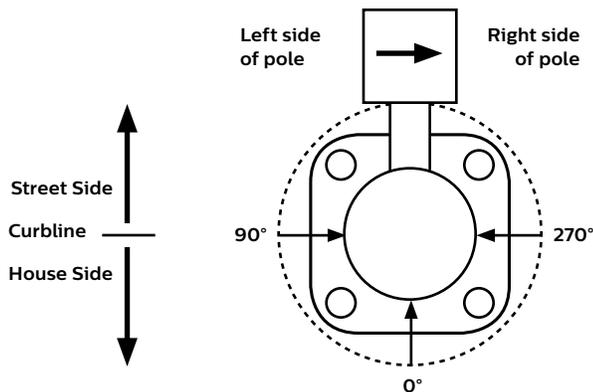
Luminaires ordered with optical systems in the Optic Rotated Left (90°) optic position will have the optical system oriented as shown below (Type 5 and 5W optics are not available with factory set rotatable optics):



Note: The hand hole will normally be located on the pole at the 0° point.

Optic Rotated Right (270°) Optic Position

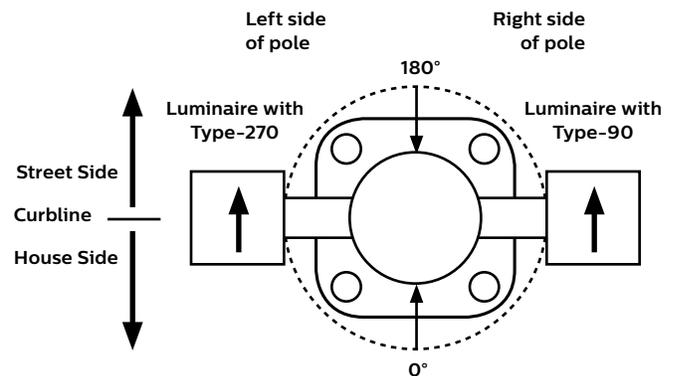
Luminaires ordered with optical systems in the Optic Rotated Right (270°) optic position will have the optical system oriented as shown below (Type 5 and 5W optics are not available with factory set rotatable optics):



Note: The hand hole will normally be located on the pole at the 0° point.

Twin Luminaire Assemblies with Type-90/Type-270 Rotated Optical Systems

Twin luminaire assemblies installed with rotated optical systems are an excellent way to direct light toward the interior of the site (Street Side) without additional equipment. It is important, however, that care be exercised to insure that luminaires are installed in the proper location.



Luminaires with Optic Rotated Right (270°) are installed on the LEFT Side of Pole

Luminaires with Optic Rotated Left (90°) are installed on the RIGHT Side of Pole

Note: The hand hole location will depend on the drilling configuration ordered for the pole.

ECF-S EcoForm small

Site & Area

Specifications

Housing

One piece die cast aluminum housing with integral arm and separate, self retained hinged, one piece die cast door frame.

IP Rating

LED light engine rated IP66. Driver compartment rated to IP65.

Vibration resistance

EcoForm with Standard Arm carries a 3G vibration rating that conforms to standards set forth by ANSI C136.31. Testing includes vibration to 3G acceleration in three axes, all performed on the same luminaire.

Electrical

Driver efficiency (>90% standard). 120–480V available (restrictions apply). Open/short circuit protection. Optional 0–10V dimming to 10% power. RoHS compliant. Surge protector standard. 10KA per ANSI/IEEE C62.41.2.

LED Board and Array

32, 48, or 64 LEDs. Color temperatures: 3000K +/- 125K, 4000K, 5000K +/- 200K. Minimum CRI of 70. Aluminum metal clad board. RoHS compliant.

LED Thermal management

The housing design allows the one piece housing to provide excellent thermal management critical to long LED system life.

Energy saving benefits

System efficacy up to 133lm/W with significant energy savings over Pulse Start Metal Halide luminaires. Optional control options provide added energy savings during unoccupied periods.

SiteWise network system

SiteWise system includes a controller fully integrated in the luminaire that enables the luminaires to communicate with a dimming signal transmitter cabinet located on site using Philips patented central dimming technology. A locally accessible mobile app allows users to access the system and set functionalities such as ON/OFF, dimming levels and scheduling. SiteWise is available with motion response options in order to bring the light back to 100% when motion is detected. Additional functionalities are available such as communication with indoor lighting and connection to BMS systems.

Wireless system

EcoForm luminaires are available with optional wireless controllers ready to be connected to a Lighthouse system (sold by other). The system allows you to wirelessly manage the entire site, independent lighting groups or individual luminaires while on-site or remotely. Based on a high density mesh network with an easy to use web-based portal, you can conveniently access, monitor and manage your lighting network remotely. Wireless controls can be combined with site and area, pedestrian, and parking garage luminaires as well, for a completely connected outdoor solution.

Optical systems

Type 2, 3, 4, 5, 5W, and AFR distributions available. Internal Shield option mounts to LED optics and is available with Type 2, 3, 4, and AFR distributions to control backlight.

Types 2, 3, 4, and AFR, when specified and used as rotated, are factory set only.

Mounting

Standard luminaire arm mounts to 4" round poles. Square pole adapter included with every luminaire. Round Pole Adapter (RPA) required for 3–3.9" poles.

Retrofit Arm Mount

EcoForm features an innovative retrofit arm kit. When specified with the retrofit arm (RAM) option, EcoForm seamlessly simplifies site conversions to LED by eliminating the need for additional pole drilling on most existing poles. RAM will be boxed separately.

Listings

UL/cUL listed to the UL 1598 standard, suitable for Wet Locations. Suitable for use in ambients from -40° to 40°C (-40° to 104°F). The quality systems of this facility have been registered by UL to the ISO 9001 series standards. Most EcoForm configurations are DesignLights Consortium® qualified. Consult DLC Qualified Products list for more details.

Finish

Each standard color luminaire receives a fade and abrasion resistant, electrostatically applied, thermally cured, triglycidal isocyanurate (TGIC) textured polyester powdercoat finish. Standard colors include bronze (BZ), black (BK), white (WH), dark gray (DGY), and medium gray (MGY). Consult factory for specs on optional or custom colors.

Warranty

EcoForm luminaires feature a 5 year limited warranty. Philips Gardco LED luminaires with LED arrays feature a 5 year limited warranty covering the LED arrays. LED Drivers also carry a 5 year limited warranty. Motion sensors are covered by warranty for 5 years by the motion sensor manufacturer.



Project:
Prepared By: Mallory Schaus

RTU-7.5

04/01/2019
10:36PM

RTU-7.5

**Tag Cover Sheet
Unit Report
Certified Drawing
Performance Report**

Unit Report For RTU-7.5

Project:
Prepared By: Mallory Schaus

04/01/2019
10:36PM

Unit Parameters

Unit Model:.....**48HCEG08A2A5-6B1C0**
 Unit Size:.....**08 (7.5 Tons)**
 Volts-Phase-Hertz:.....**208-3-60**
 Heating Type:.....**Gas**
 Duct Cfg:.....**Vertical Supply / Vertical Return**
 Medium Heat
 Two stage cooling models with MotorMaster Low Ambient
 Controller

Dimensions (ft. in.) & Weight (lb.) ***

Unit Length:.....**7' 4.125"**
 Unit Width:.....**4' 11.5"**
 Unit Height:.....**4' 1.375"**
 *** Total Operating Weight:.....**1274 lb**

*** Weights and Dimensions are approximate. Weight does not include unit packaging. Approximate dimensions are provided primarily for shipping purposes. For exact dimensions and weights, refer to appropriate product data catalog.

Lines and Filters

Gas Line Size:.....**3/4**
 Condensate Drain Line Size:.....**3/4**
 Return Air Filter Type:.....**Throwaway**
 Return Air Filter Quantity:.....**4**
 Return Air Filter Size:.....**20 x 20 x 2**

Unit Configuration

Medium Static Option - Belt Drive
 Al/Cu - Al/Cu
 Electromechanical Controls w/W7220 Econo Controller
 Temperature Economizer w/ Barometric Relief
 Unpowered Convenience Outlet
 Non-Fused Disconnect
 Standard Packaging

Warranty Information

1-Year parts
 5-Year compressor parts
 10-Year heat exchanger - Aluminized

No optional warranties were selected.

NOTE: Please see Warranty Catalog 500-089 for explanation of policies and ordering methods.

Ordering Information

Part Number	Description	Quantity
48HCEG08A2A5-6B1C0	Rooftop Unit	1
	Base Unit	
	Medium Static Option - Belt Drive	
	Unpowered Convenience Outlet	
	Low leak Temp Econo X with baro relief, W7220 control. Meets Calif. Title 24 FDD	
	Non-Fused Disconnect	
Accessories		
CRPWREXH022A01	Power Exhaust System	1
CRRFCURB003A01	14-inch Tall Roof Curb	1

Certified Drawing for RTU-7.5

Project:
Prepared By: Mallory
Schaus

04/01/2019
10:36PM

NOTES:

1. DIMENSIONS ARE IN INCHES. DIMENSIONS IN () ARE IN MILLIMETERS.
2. CENTER OF GRAVITY
3. DIRECTION OF AIR FLOW

UNIT	J	K	H
48HC-A, D07	41 1/4 [1048]	33 3/4 [857]	15 7/8 [403]
48HC-D08	49 3/8 [1253]	36 3/8 [925]	15 7/8 [403]
48HC-D09	49 3/8 [1253]	36 3/8 [925]	15 7/8 [403]



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CONNECTION SIZES	
A	1 3/8" [35] DIA FIELD POWER SUPPLY HOLE
B	2 1/2" [64] DIA POWER SUPPLY KNOCKOUT
C	1 3/4" [51] DIA GAUGE ACCESS PLUG
D	7/8" [22] DIA FIELD CONTROL WIRING HOLE
E	3/4" - 14 NPT CONDENSATE DRAIN
F	1/2" - 14 NPT GAS CONNECTION 3/4" - 14 NPT GAS CONNECTION
G	2" [51] DIA POWER SUPPLY KNOCK-OUT

THRU-THE-BASE CHART (FIELD INST)

THESE HOLES REQUIRED FOR USE WITH ACCY KITS:
CRBTMPWR001A01: 07 - GAS THRU CURB
CRBTMPWR002A01: 08, 09 - GAS THRU CURB
CRBTMPWR003A01: 07 - GAS THRU BASEPAN
CRBTMPWR004A01: 08, 09 - GAS THRU BASEPAN

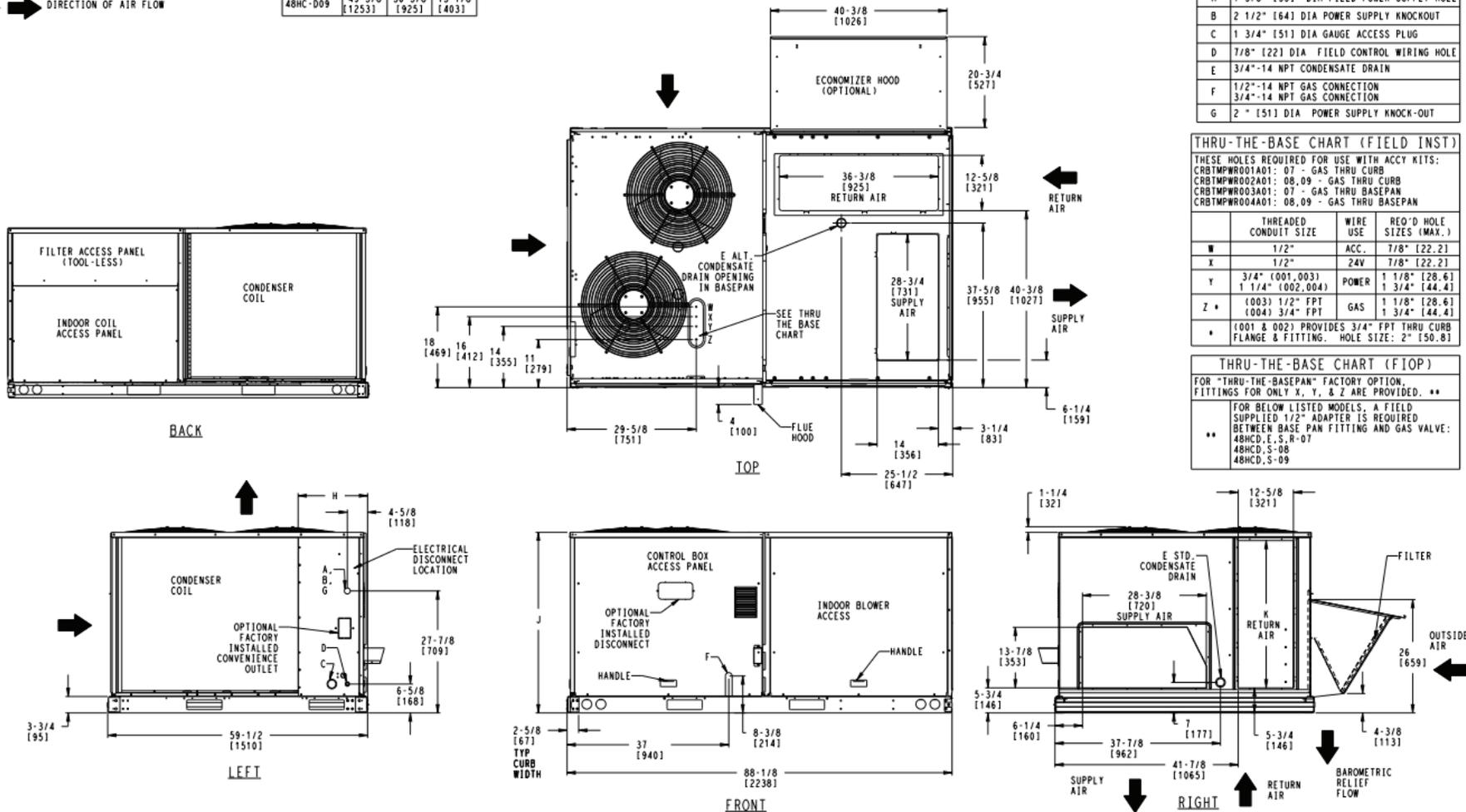
	THREADED CONDUIT SIZE	WIRE USE ACC.	REQ'D HOLE SIZES (MAX.)
W	1/2"	24V	7/8" [22.2]
X	1/2"	POWER	1 1/8" [28.6] 1 3/4" [44.4]
Y	3/4" (001, 003) 1 1/4" (002, 004)	GAS	1 1/8" [28.6] 1 3/4" [44.4]
Z *	(003) 1/2" FPT (004) 3/4" FPT		1 1/8" [28.6] 1 3/4" [44.4]

* (001 & 002) PROVIDES 3/4" FPT THRU CURB FLANGE & FITTING. HOLE SIZE: 2" [50.8]

THRU-THE-BASE CHART (FIOP)

FOR "THRU-THE-BASEPAN" FACTORY OPTION, FITTINGS FOR ONLY X, Y, & Z ARE PROVIDED. **

FOR BELOW LISTED MODELS, A FIELD SUPPLIED 1/2" ADAPTER IS REQUIRED BETWEEN BASE PAN FITTING AND GAS VALVE:
48HCD-E, S, R-07
48HCD-S-08
48HCD-S-09



ITC CLASSIFICATION	SHEET	DATE	SUPERCEDES	48HC 07 - 09 SINGLE ZONE ELECTRICAL COOLING WITH GAS HEAT	48TM502708	REV
U.S. ECCN:NSR	1 OF 2	09/28/16	10/05/10			B

Certified Drawing for RTU-7.5

Project:
Prepared By: Mallory
Schaus

04/01/2019
10:36PM

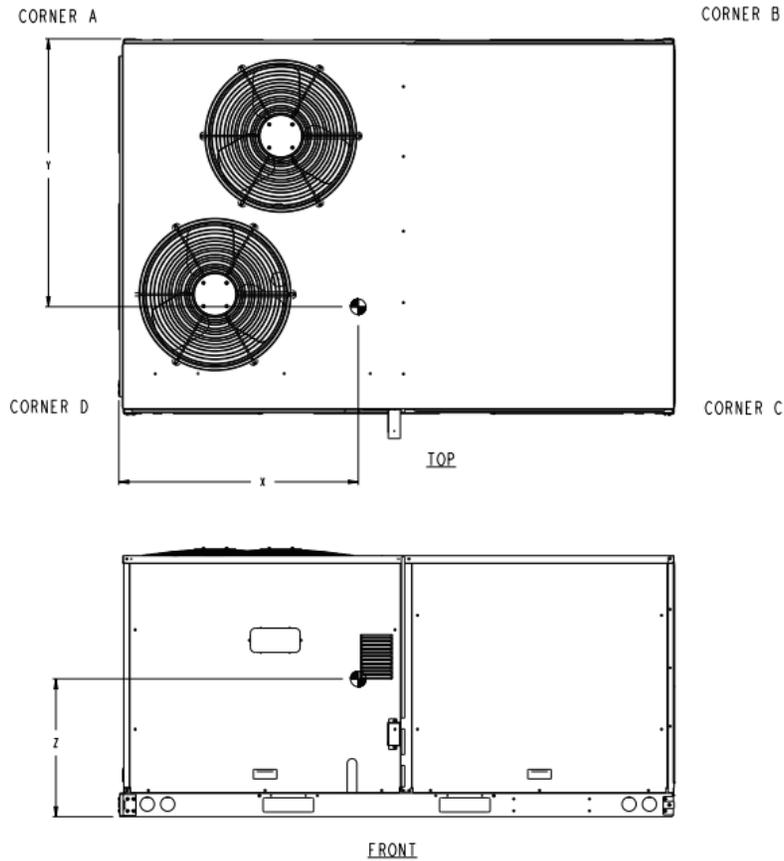
UNIT	STD. UNIT WEIGHT *		CORNER WEIGHT (A)		CORNER WEIGHT (B)		CORNER WEIGHT (C)		CORNER WEIGHT (D)		C.G.		
	LBS.	KG.	LBS.	KG.	LBS.	KG.	LBS.	KG.	LBS.	KG.	X	Y	Z
48HC-A-D07	765	347	165.3	75	152.7	69.3	214.7	97.4	232.3	105.4	42 3/8 [1076]	34 3/4 [882.6]	19 7/8 [505]
48HC-D08	925	419.5	204.1	92.6	190.9	86.6	256.1	116.2	273.9	124.2	42 5/8 [1082]	34 1/8 [867]	22 7/8 [581]
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* STANDARD UNIT WEIGHT IS WITH LOW GAS HEAT AND WITHOUT PACKAGING. FOR OTHER OPTIONS AND ACCESSORIES, REFER TO THE PRODUCT DATA CATALOG.



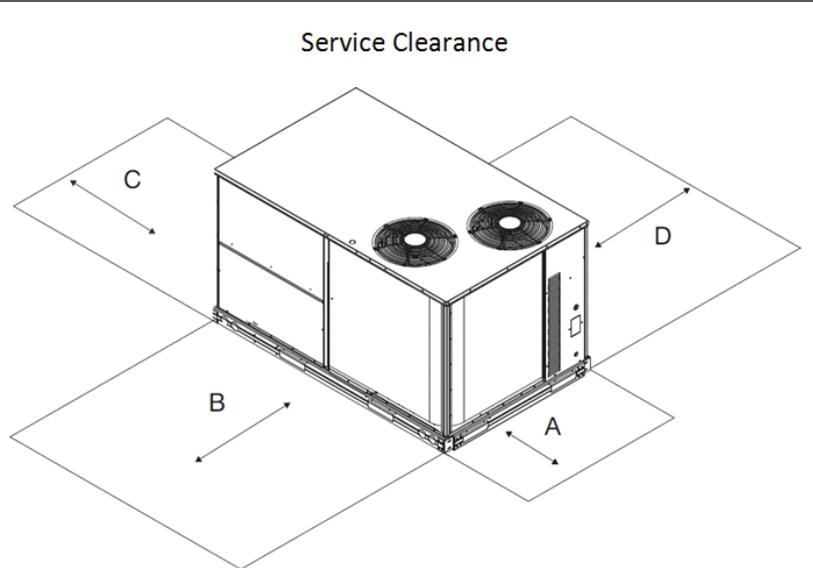
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U.S. ECCN:NSR	2 OF 2	09/28/16	10/05/10			B

Document 1

Certified Drawing for RTU-7.5

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C11247

LOCATION	DIMENSION	CONDITION
A	48-in (1219 mm)	• Unit disconnect is mounted on panel
	36-in (914 mm)	• If dimension-B is 12-in (305 mm)
	18-in (457 mm)	• No disconnect, convenience outlet option • Recommended service clearance (use electric screwdriver)
	12-in (305 mm)	• Minimum clearance (use manual ratchet screwdriver)
B	36-in (914 mm)	• Unit has economizer
	12-in (305 mm)	• If dimension-A is 36-in (914 mm)
	Special	• Check for sources of flue products within 10-ft of unit fresh air intake hood
C	36-in (914 mm)	• Side condensate drain is used
	18-in (457 mm)	• Minimum clearance
D	48-in (1219 mm)	• No flue discharge accessory installed, surface is combustible material
	42-in (1067 mm)	• Surface behind servicer is grounded (e.g., metal, masonry wall, another unit)
	36-in (914 mm)	• Surface behind servicer is electrically non-conductive (e.g., wood, fiberglass)
	Special	• Check for adjacent units or building fresh air intakes within 10-ft of this unit's flue outlet

NOTE: Unit not designed to have overhead obstruction. Contact Application Engineering for guidance on any application planning overhead obstruction or vertical clearances.

Chassis 3-4a

Document 1

Certified Drawing for RTU-7.5

Project:
Prepared By: Mallory
Schaus

04/01/2019
10:36PM

ROOF CURB ACCESSORY#	A	NOTES	CONNECTOR PKG ACC.	GAS CONNECTION TYPE	GAS FITTING	POWER WIRING FITTING	CONTROL WIRING FITTING	ACCESSORY CONVENIENCE OUTLET WIRING CONNECTOR
CRRF0URB003A01	14" [356]	1. ROOF CURB ACCESSORY SHIPPED DISASSEMBLED. 2. INSULATED PANELS 25/41 THICK POLYURETHANE FOAM, 44.5/134# DENSITY. 3. DIMENSIONS IN PARENTHESIS IN MILLIMETERS. 4. ROOF CURB IS 18 GA STEEL. 5. ATTACH DUCT WORK TO CURB (FLANGES OF DUCT REST ON CURB). 6. SERVICE CLEARANCE 4 FEET ON EACH SIDE. 7. DIRECTION OF AIR FLOW. 8. CONNECTOR PACKAGE CRBTMPWR002A01 IS FOR THRU-THE-CURB GAS TYPE. 9. CONNECTOR PACKAGE CRBTMPWR004A01 IS FOR THRU-THE-BOTTOM TYPE GAS CONNECTIONS.	CRBTMPWR002A01	THRU-THE-CURB	3/4" [19] NPT	1 1/4" [31.7] NPT	1/2" [12.7] NPT	1/2" [12.7] NPT
CRRF0URB004A01	24" [610]		CRBTMPWR004A01	THRU-THE-BOTTOM				

VIEW B" CORNER DETAIL

SECTION THRU SIDE

SEE VIEW "B"

DETAIL

DRAWING RELEASE LEVEL	PRODUCTION	TITLE
THRU-THE-CURB PROJECTION	UNLESS OTHERWISE SPECIFIED DIMENSIONS ARE IN INCHES TOLERANCES	CURB ASY, ROOF
MATERIAL	1 DEC ± - 2 DEC ± - 3 DEC ± - ANG ± -	
ENGINEERING REQUIREMENTS	AUTHORIZATION NUMBER 1029120	SIZE D
T-005, Y-002	ENGINEERING MANUFACTURING	DRAWING NUMBER 50-H406012
WEIGHT	DRAFTER CHECKER	SHEETS OF 5 C
SURFACE FINISH	MODEL (INTERNAL USE ONLY)	NEXT DRAWING SCALE
MFG PURCH PURCH		DISTRIBUTION

REV	REVISION RECORD	DATE	BY	CHKD	APPD	ECONO.
C	6'6 1/4" WAS 6'7 1/8" 4'2" WAS 4'2 1/8" 18 GA WAS 16 GA 15 1/8" WAS 15 1/8" WAS 15 1/8" NAIL FIELDS SUPPLIED WAS WITH HOURB	4/22/13	MVC	-	-	1067898

Document 1

Performance Summary For RTU-7.5

Project: Prepared By:
Mallory Schaus

04/01/2019
10:36PM

Part Number:48HCEG08A2A5-6B1C0

ARI EER:..... **12.00**
IEER:..... **13.0**

Base Unit Dimensions

Unit Length:..... **88.1** in
Unit Width:..... **59.5** in
Unit Height:..... **49.4** in

Operating Weight

Base Unit Weight:..... **925** lb
Medium Heat:..... **15** lb
Two stage cooling models with MotorMaster Low Ambient Controller:..... **7** lb
Medium Static Option - Belt Drive:..... **15** lb
Temperature Economizer w/ Barometric Relief:..... **74** lb
Unpowered Convenience Outlet:..... **5** lb
Non-Fused Disconnect:..... **15** lb

Accessories

Power Exhaust System:..... **75** lb
14-inch Tall Roof Curb:..... **143** lb

Total Operating Weight:..... **1274** lb

Unit

Unit Voltage-Phase-Hertz:..... **208-3-60**
Air Discharge:..... **Vertical**
Fan Drive Type:..... **Belt**
Actual Airflow:..... **3000** CFM
Site Altitude:..... **0** ft

Cooling Performance

Condenser Entering Air DB:..... **95.0** F
Evaporator Entering Air DB:..... **80.0** F
Evaporator Entering Air WB:..... **67.0** F
Entering Air Enthalpy:..... **31.44** BTU/lb
Evaporator Leaving Air DB:..... **57.7** F
Evaporator Leaving Air WB:..... **57.2** F
Evaporator Leaving Air Enthalpy:..... **24.53** BTU/lb
Gross Cooling Capacity:..... **93.30** MBH
Gross Sensible Capacity:..... **72.19** MBH
Compressor Power Input:..... **6.24** kW
Coil Bypass Factor:..... **0.198**

Heating Performance

Heating Airflow:..... **3000** CFM
Entering Air Temp:..... **70.0** F
Leaving Air Temp:..... **115.7** F
Gas Heating Input Capacity:..... **120.0 / 180.0** MBH
Gas Heating Output Capacity:..... **98.0 / 148.0** MBH
Temperature Rise:..... **45.7** F
Thermal Efficiency (%):..... **82.0**

Supply Fan

External Static Pressure:..... **0.50** in wg
Options / Accessories Static Pressure
Economizer:..... **0.11** in wg
Power Exhaust:..... **(Fan Data Includes Drop)**
Total Application Static (ESP + Unit Opts/Acc.):..... **0.61** in wg
Fan RPM:..... **759**
Fan Power:..... **1.17** BHP

Performance Summary For RTU-7.5

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NOTE: Selected IFM RPM Range: 690 - 936

Power Exhaust

Return Duct Static: **0.20** in wg
Max. Air To Exhaust: **3850** CFM

Electrical Data

Voltage Range: **187 - 253**
Compressor #1 RLA: **13.6**
Compressor #1 LRA: **83**
Compressor #2 RLA: **13.6**
Compressor #2 LRA: **83**
Indoor Fan Motor Type: **MED**
Indoor Fan Motor FLA: **6.9**
Combustion Fan Motor FLA (ea): **0.48**
Power Supply MCA: **45**
Power Supply MOCP (Fuse or HACR): **50**
Disconnect Size FLA: **47**
Disconnect Size LRA: **233**
Electrical Convenience Outlet: **None**
Power Exhaust [Kit Qty / FLA(ea kit)]: **1 / 3.8**
Outdoor Fan [Qty / FLA (ea)]: **2 / 1.5**

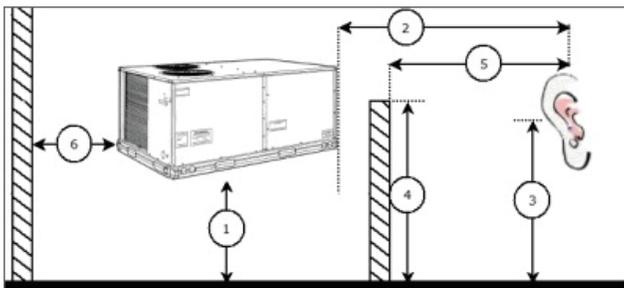
Control Panel SCCR: 5kA RMS at Rated Symmetrical Voltage

Acoustics

Sound Power Levels, db re 10E-12 Watts

	Discharge	Inlet	Outdoor
63 Hz	96.6	93.8	90.6
125 Hz	90.7	84.0	84.3
250 Hz	75.1	67.8	80.2
500 Hz	68.9	63.9	79.3
1000 Hz	64.0	61.2	77.1
2000 Hz	62.1	56.3	72.2
4000 Hz	64.8	55.6	67.4
8000 Hz	65.1	55.0	63.7
A-Weighted	77.7	72.1	82.0

Advanced Acoustics



Advanced Acoustics Parameters

1. Unit height above ground: **30.0** ft
2. Horizontal distance from unit to receiver: **50.0** ft
3. Receiver height above ground: **5.7** ft
4. Height of obstruction: **0.0** ft
5. Horizontal distance from obstruction to receiver: **0.0** ft

Performance Summary For RTU-7.5

Project: Prepared By:
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6. Horizontal distance from unit to obstruction:.....**0.0** ft

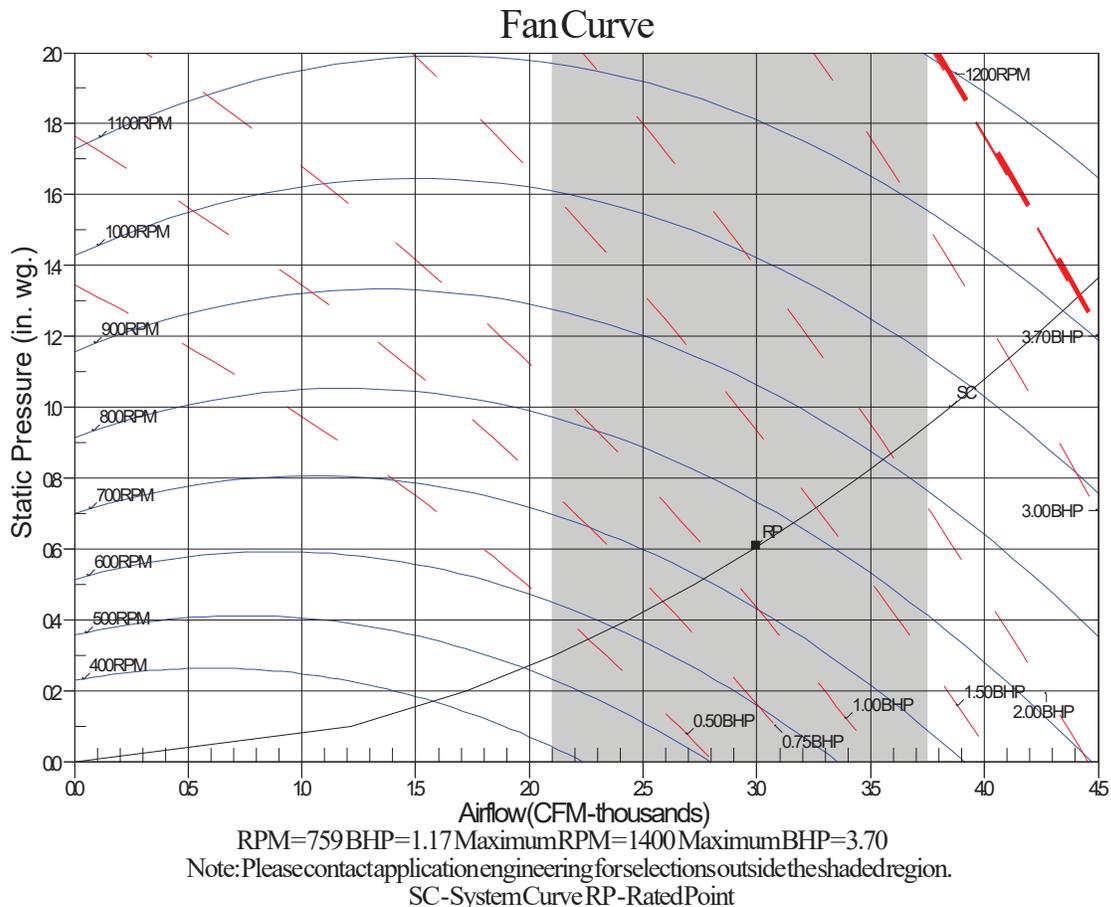
Detailed Acoustics Information

Octave Band Center Freq. Hz	63	125	250	500	1k	2k	4k	8k	Overall
A	90.6	84.3	80.2	79.3	77.1	72.2	67.4	63.7	92.3 Lw
B	64.4	68.2	71.6	76.1	77.1	73.4	68.4	62.6	81.7 LwA
C	58.2	51.9	47.8	46.9	44.7	39.8	35.0	31.3	59.9 Lp
D	32.0	35.8	39.2	43.7	44.7	41.0	36.0	30.2	49.3 LpA

Legend

- A Sound Power Levels at Unit's Acoustic Center, Lw
- B A-Weighted Sound Power Levels at Unit's Acoustic Center, LwA
- C Sound Pressure Levels at Specific Distance from Unit, Lp
- D A-Weighted Sound Pressure Levels at Specific Distance from Unit, LpA

Calculation methods used in this program are patterned after the ASHRAE Guide; other ASHRAE Publications and the AHRI Acoustical Standards. While a very significant effort has been made to insure the technical accuracy of this program, it is assumed that the user is knowledgeable in the art of system sound estimation and is aware of the tolerances involved in real world acoustical estimation. This program makes certain assumptions as to the dominant sound sources and sound paths which may not always be appropriate to the real system being estimated. Because of this, no assurances can be offered that this software will always generate an accurate sound prediction from user supplied input data. If in doubt about the estimation of expected sound levels in a space, an Acoustical Engineer or a person with sound prediction expertise should be consulted.



Standby Power Rating
 35 kW, 44 kVA, 60 Hz

Prime Power Rating*
 32 kW, 39 kVA, 60 Hz



Image used for illustration purposes only



*EPA Certified Prime ratings are not available in the US or its Territories

Codes and Standards

Generac products are designed to the following standards:

-   UL2200, UL508, UL489
-  CSA 22.2
-   BS5514 and DIN 6271
-  SAE J1349
-  NFPA 37, 70, 99, 110
-  NEC700, 701, 702, 708
-  ISO 3046, 7637, 8528, 9001
-  NEMA ICS10, MG1, 250, ICS6, AB1
-  ANSI C62.41
-   IBC 2009, CBC 2010, IBC 2012, ASCE 7-05, ASCE 7-10, ICC-ES AC-156 (2012)

Powering Ahead

Generac ensures superior quality by designing and manufacturing most of its generator components, such as alternators, enclosures, control systems and communications software. Generac also makes its own spark-ignited engines, and you'll find them on every Generac gaseous-fueled generator. We engineer and manufacture them from the block up — all at our facilities throughout Wisconsin. Applying natural gas and LP-fueled engines to generators requires advanced engineering expertise to ensure reliability, durability and necessary performance. By designing specifically for these dry, hotter-burning fuels, the engines last longer and require less maintenance. Building our own engines also means we control every step of the supply chain and delivery process, so you benefit from single-source responsibility.

Plus, Generac Industrial Power's distribution network provides all parts and service so you don't have to deal with third-party suppliers. It all leads to a positive owner experience and higher confidence level. Generac spark-ignited engines give you more options in commercial and industrial generator applications as well as extended run time from utility-supplied natural gas.

SG035 | 5.4L | 35 kW

INDUSTRIAL SPARK-IGNITED GENERATOR SET

EPA Certified Stationary Emergency

STANDARD FEATURES

ENGINE SYSTEM

- Oil Drain Extension
- Air Cleaner
- Fan Guard
- Stainless Steel Flexible Exhaust Connection
- Factory Filled Oil and Coolant
- Radiator Duct Adapter (Open Set Only)
- Critical Exhaust Silencer

Fuel System

- Fuel Line - NPT Connection
- Primary and Secondary Fuel Shutoff

Cooling System

- Closed Coolant Recovery System
- UV/Ozone Resistant Hoses
- Factory-Installed Radiator
- 50/50 Ethylene Glycol Antifreeze
- Radiator Drain Extension

Electrical System

- Battery Charging Alternator
- Battery Cables
- Battery Tray
- Rubber-Booted Engine Electrical Connections
- Solenoid Activated Starter Motor

ALTERNATOR SYSTEM

- GENprotect™
- Class H Insulation Material
- 2/3 Pitch
- Skewed Stator
- Permanent Magnet Excitation
- Sealed Bearing
- Amortisseur Winding
- Full Load Capacity Alternator

GENERATOR SET

- Internal Genset Vibration Isolation
- Separation of Circuits - High/Low Voltage
- Separation of Circuits - Multiple Breakers
- Wrapped Exhaust Piping
- Standard Factory Testing
- 2 Year Limited Warranty (Standby Rated Units)
- 1 Year Limited Warranty (Prime Rated Units)
- Silencer Mounted in the Discharge Hood (Enclosed Only)

ENCLOSURE (If Selected)

- Rust-Proof Fasteners with Nylon Washers to Protect Finish
- High Performance Sound-Absorbing Material (Sound Attenuation Enclosures)
- Gasketed Doors
- Stamped Air-Intake Louvers
- Upward Facing Discharge Hoods (Radiator and Exhaust)
- Stainless Steel Lift Off Door Hinges
- Stainless Steel Lockable Handles
- RhinoCoat™ - Textured Polyester Powder Coat Paint

CONTROL SYSTEM



Digital H Control Panel- Dual 4x20 Display

Program Functions

- Programmable Crank Limiter
- 7-Day Programmable Exerciser
- Special Applications Programmable Logic Controller
- RS-232/485 Communications
- 3-Phase Sensing Digital Voltage Regulator
- 2-Wire Start Capability
- Date/Time Fault History (Event Log)
- Isochronous Governor Control
- Waterproof/Sealed Connectors
- Audible Alarms and Shutdowns
- Not in Auto (Flashing Light)

- Auto/Off/Manual Switch
- E-Stop (Red Mushroom-Type)
- NFPA110 Level I and II (Programmable)
- Customizable Alarms, Warnings, and Events
- Modbus® Protocol
- Predictive Maintenance Algorithm
- Sealed Boards
- Password Parameter Adjustment Protection
- Single Point Ground
- 16 Channel Remote Trending
- 0.2 msec High Speed Remote Trending
- Alarm Information Automatically Annunciated on the Display

Full System Status Display

- Power Output (kW)
- Power Factor
- kW Hours, Total, and Last Run
- Real/Reactive/Apparent Power
- All Phase AC Voltage
- All Phase Currents
- Oil Pressure
- Coolant Temperature
- Coolant Level

- Engine Speed
- Battery Voltage
- Frequency

Alarms and Warnings

- Oil Pressure
- Coolant Temperature
- Coolant Level
- Low Fuel Pressure Alarm
- Engine Overspeed
- Battery Voltage
- Alarms and Warnings Time and Date Stamped
- Snap Shots of Key Operation Parameters During Alarms and Warnings
- Alarms and Warnings Spelled Out (No Alarm Codes)

SG035 | 5.4L | 35 kW

INDUSTRIAL SPARK-IGNITED GENERATOR SET

EPA Certified Stationary Emergency

CONFIGURABLE OPTIONS

ENGINE SYSTEM

- Engine Coolant Heater
- Oil Heater
- Air Filter Restriction Indicator
- Stone Guard (Open Set Only)
- Fan and Belt Guards

ELECTRICAL SYSTEM

- 10A UL Battery Charger
- Battery Warmer

ALTERNATOR SYSTEM

- Alternator Upsizing
- Anti-Condensation Heater
- Tropical Coating

CIRCUIT BREAKER OPTIONS

- Main Line Circuit Breaker
- 2nd Main Line Circuit Breaker
- Shunt Trip and Auxiliary Contact
- Electronic Trip Breakers

GENERATOR SET

- Demand Response Rating
- GenLink[®] Communications Software (English Only)
- Extended Factory Testing (3-Phase Only)
- 8 Position Load Center
- Vapor Recovery Heater

ENCLOSURE

- Standard Enclosure
- Level 1 Sound Attenuation
- Level 2 Sound Attenuation
- Level 2 Sound Attenuation with Motorized Dampers
- Steel Enclosure
- Aluminum Enclosure
- Up to 200 MPH Wind Load Rating (Contact Factory for Availability)
- AC/DC Enclosure Lighting Kit
- Enclosure Ambient Heaters
- Door Alarm Switch

CONTROL SYSTEM

- NFPA 110 Compliant 21-Light Remote Annunciator
- Remote Relay Assembly (8 or 16)
- Oil Temperature Sender with Alarm
- Remote E-Stop (Break Glass-Type, Surface Mount)
- Remote E-Stop (Red Mushroom-Type, Surface Mount)
- Remote E-Stop (Red Mushroom-Type, Flush Mount)
- Remote Communication - Modem
- 10A Run Relay
- Ground Fault Indication and Protection Functions
- 120V GFCI and 240V Outlet
- 100 dB Alarm Horn

WARRANTY (Standby Gensets Only)

- 2 Year Extended Limited Warranty
- 5 Year Limited Warranty
- 5 Year Extended Limited Warranty
- 7 Year Extended Limited Warranty
- 10 Year Extended Limited Warranty

ENGINEERED OPTIONS

ENGINE SYSTEM

- Coolant Heater Ball Valves
- Fluid Containment Pan

ALTERNATOR SYSTEM

- 3rd Breaker System

CONTROL SYSTEM

- Spare Inputs (x4) / Outputs (x4)
- Battery Disconnect Switch

GENERATOR SET

- Special Testing
- Battery Box

SG035 | 5.4L | 35 kW

INDUSTRIAL SPARK-IGNITED GENERATOR SET

EPA Certified Stationary Emergency

APPLICATION AND ENGINEERING DATA

ENGINE SPECIFICATIONS

General

Make	Generac
Cylinder #	8
Type	V
Displacement - in ³ (L)	329.53 (5.4)
Bore - in (mm)	3.55 (90.17)
Stroke - in (mm)	4.17 (105.992)
Compression Ratio	9.0:1
Intake Air Method	Naturally Aspirated
Number of Main Bearings	4
Connecting Rods	Forged Steel
Cylinder Head	Aluminum
Cylinder Liners	No
Ignition	Single Fire
Piston Type	Aluminum Alloy
Crankshaft Type	Nodular Iron
Lifter Type	Hydraulic
Intake Valve Material	Steel Alloy
Exhaust Valve Material	Hardened Steel
Hardened Valve Seats	Yes

Engine Governing

Governor	Electronic
Frequency Regulation (Steady State)	±0.25%

Lubrication System

Oil Pump Type	Gear
Oil Filter Type	Full-Flow Spin-On Cartridge
Crankcase Capacity - qt (L)	6 (5.7)

Cooling System

Cooling System Type	Pressurized Closed Recovery
Fan Type	Pusher
Fan Speed - rpm	2,143
Fan Diameter - in (mm)	20 (508)

Fuel System

Fuel Type	Natural Gas, Propane Vapor
Carburetor	Down Draft
Secondary Fuel Regulator	Standard
Fuel Shut Off Solenoid	Standard
Operating Fuel Pressure - in H ₂ O (kPa)	8 - 14 (2.0 - 3.5)

Engine Electrical System

System Voltage	12 VDC
Battery Charger Alternator	Standard
Battery Size	See Battery Index 0161970SBY
Battery Voltage	12 VDC
Ground Polarity	Negative

ALTERNATOR SPECIFICATIONS

Standard Model	Generac 390 mm
Poles	4
Field Type	Revolving
Insulation Class - Rotor	H
Insulation Class - Stator	H
Total Harmonic Distortion	<5% (3-Phase)
Telephone Interference Factor (TIF)	<50

Standard Excitation	Synchronous Brushless
Bearings	Sealed Ball
Coupling	Direct via Flexible Disc
Prototype Short Circuit Test	Yes
Voltage Regulator Type	Full Digital
Number of Sensed Phases	All
Regulation Accuracy (Steady State)	±0.25%

SG035 | 5.4L | 35 kW

INDUSTRIAL SPARK-IGNITED GENERATOR SET

EPA Certified Stationary Emergency

OPERATING DATA

POWER RATINGS - NATURAL GAS/PROPANE VAPOR

Standby		
Single-Phase 120/240 VAC @1.0pf	35 kW/35 kVA	Amps: 146
Three-Phase 120/208 VAC @0.8pf	35 kW/44 kVA	Amps: 121
Three-Phase 120/240 VAC @0.8pf	35 kW/44 kVA	Amps: 105
Three-Phase 277/480 VAC @0.8pf	35 kW/44 kVA	Amps: 53
Three-Phase 346/600 VAC @0.8pf	35 kW/44 kVA	Amps: 42

STARTING CAPABILITIES (sKVA)

sKVA vs. Voltage Dip

277/480 VAC								208/240 VAC							
Alternator	kW	10%	15%	20%	25%	30%	35%	Alternator	kW	10%	15%	20%	25%	30%	35%
Standard	35	24	36	48	60	72	84	Standard	35	18	27	36	45	54	63
Upsize 1	40	27	41	54	68	81	95	Upsize 1	40	20	31	41	51	61	71
Upsize 2	50	34	52	69	86	103	120	Upsize 2	50	26	39	52	65	77	90
Upsize 3	60	42	63	83	104	125	146	Upsize 3	60	32	47	62	78	94	110

FUEL CONSUMPTION RATES*

Natural Gas – ft ³ /hr (m ³ /hr)			Propane Vapor – ft ³ /hr (m ³ /hr)		
Percent Load	Standby		Percent Load	Standby	
25%	239 (6.8)		25%	79.7 (2.3)	
50%	409 (11.6)		50%	136.6 (3.9)	
75%	553 (15.7)		75%	184.4 (5.2)	
100%	682 (19.3)		100%	227.7 (6.4)	

* Fuel supply installation must accommodate fuel consumption rates at 100% load.

COOLING

		Standby
Air Flow (Inlet Air Combustion and Radiator)	ft ³ /min (m ³ /min)	2,460 (69.7)
Coolant Flow	gpm (lpm)	38 (144)
Coolant System Capacity	gal (L)	3 (11.36)
Heat Rejection to Coolant	BTU/hr (kW)	144,000 (42.2)
Max. Operating Ambient Temperature	°F (°C)	122 (50)
Maximum Operating Ambient Temperature (Before Derate)	See Bulletin No. 0199270SSD	
Maximum Radiator Backpressure	in H ₂ O (kPa)	0.5 (0.12)

COMBUSTION AIR REQUIREMENTS

	Standby
Flow at Rated Power cfm (m ³ /min)	87 (2.5)

ENGINE

		Standby
Rated Engine Speed	rpm	1,800
Horsepower at Rated kW**	hp	54
Piston Speed	ft/min (m/min)	1,251 (381.3)
BMEP	psi (kPa)	72 (496)

EXHAUST

		Standby
Exhaust Flow (Rated Output)	cfm (m ³ /min)	260 (7.4)
Maximum Exhaust Backpressure	inHg (kPa)	1.5 (5.1)
Exhaust Temp (Rated Output - Post Silencer)	°F (°C)	900 (482)

** Refer to "Emissions Data Sheet" for maximum bHP for EPA and SCAQMD permitting purposes.

Deration – Operational characteristics consider maximum ambient conditions. Derate factors may apply under atypical site conditions.

Please contact a Generac Power Systems Industrial Dealer for additional details. All performance ratings in accordance with ISO3046, BS5514, ISO8528, and DIN6271 standards.

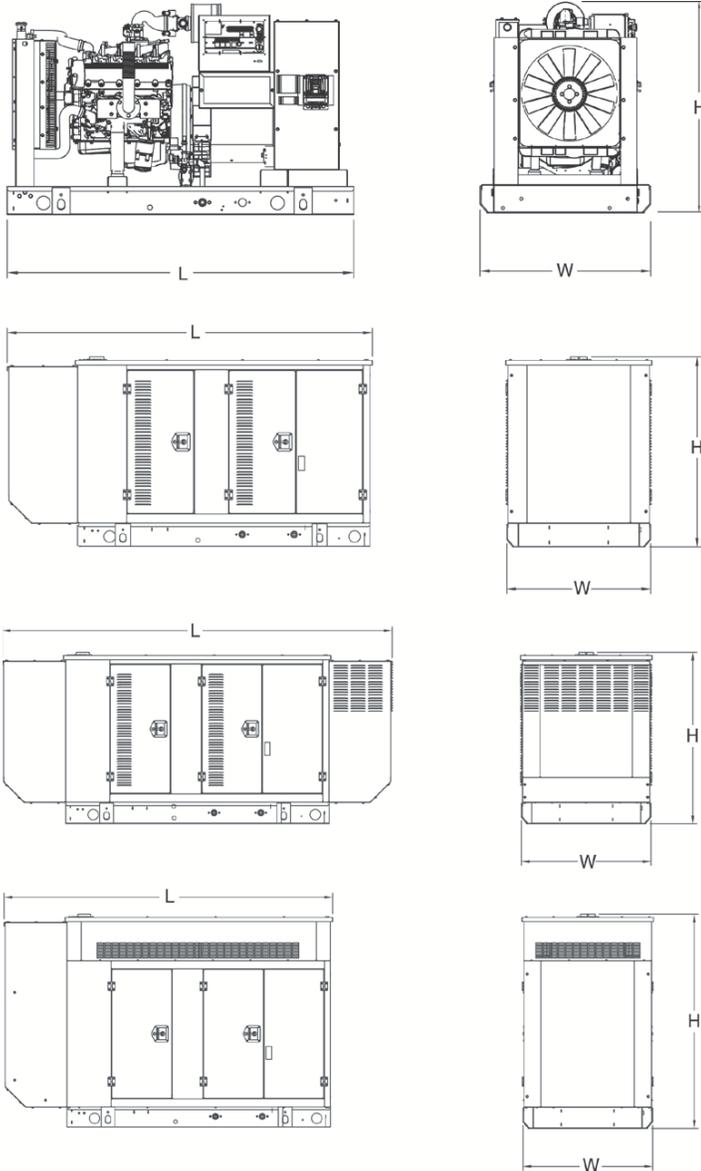
Standby - See Bulletin 0187500SSB

Prime - See Bulletin 0187510SSB

SG035 | 5.4L | 35 kW
INDUSTRIAL SPARK-IGNITED GENERATOR SET

EPA Certified Stationary Emergency

DIMENSIONS AND WEIGHTS*



OPEN SET (Includes Exhaust Flex)

L x W x H - in (mm)	76.0 (1,930.0) x 37.4 (950.0) x 46.3 (1,176.0)
Weight - lbs (kg)	2,199 (997)

STANDARD ENCLOSURE

L x W x H - in (mm)	94.8 (2,408.9) x 38.0 (965.1) x 49.5 (1,258.1)
Weight - lbs (kg)	Steel: 2,639 (1,197) Aluminum: 2,417 (1,096)

LEVEL 1 ACOUSTIC ENCLOSURE

L x W x H - in (mm)	112.5 (2,857.1) x 38.0 (965.1) x 49.5 (1,258.1)
Weight - lbs (kg)	Steel: 2,719 (1,233) Aluminum: 2,451 (1,112)

LEVEL 2 ACOUSTIC ENCLOSURE

L x W x H - in (mm)	94.8 (2,470.0) x 38.0 (965.1) x 69.1 (1,755.0)
Weight - lbs (kg)	Steel: 2,871 (1,302) Aluminum: 2,517 (1,142)

* All measurements are approximate and for estimation purposes only.

YOUR FACTORY RECOGNIZED GENERAC INDUSTRIAL DEALER

Specification characteristics may change without notice. Please contact a Generac Power Systems Industrial Dealer for detailed installation drawings.

REQUEST FOR BOARD ACTION
Architectural Review Board
July 16, 2019

Subject:	New Medical Office Building – 231 Olde Half Day Road
Action Requested:	Consideration and Discussion of Site Design, Building Elevations, Landscape Plans, Exterior Lighting, Parking, and Exterior Signage for a Proposed New Medical Office Building
Petitioners:	Alexander and Julia Katsnelson
Originated By/Contact:	Ben Gilbertson, Assistant Village Manager/CED Director
Advisory Board Review:	Architectural Review Board

Background:

- Petitioners Alexander and Julia Katsnelson request the Architectural Review Board's (ARB) consideration of a proposed new medical office to establish dermatology and oral, maxillofacial, and surgery practices at 231 Olde Half Day Road in the B1 zoning district. The proposal is supported and has been approved by property owner, Njb Real Estate LLC.
- At the January 12, 2019 Committee of the Whole meeting, the petitioners requested a preliminary evaluation of a proposed text amendment to the Lincolnshire Village Code (code) to eliminate the existing 25% ground floor sales tax-generating use restriction in the B1 and B2 Business zoning districts. The text amendment was necessary for them to establish the medical office building on the subject property. The Zoning Board and the Village Board subsequently – and unanimously – approved this text amendment at their June 25, 2019 and July 8, 2019 meetings, respectively.
- On March 18, 2019, the petitioners requested a second Preliminary Evaluation for review of the site plan and building elevations. The Village Board referred this request to the Architectural Review Board (ARB). Pending the ARB's recommendation, the Village Board has the authority to approve new construction.

Figure 1: Location Map



- The 0.5-acre property is located south of Olde Half Day Road and west of Milwaukee Avenue, as marked with a red dot in Figure 1 (see Document 1). It is adjacent to the Oak Tree Corners Center and Half Day Elementary School.
- The petitioners plan to acquire the property, demolish the existing two-story, 4,572-square-foot vacant building and construct a new one-story, 5,405-square-foot medical office building. The existing building was constructed in 1963 and most recently housed NJB Operations/Taco Bell Corporation offices, but became vacant two years ago.
- Adjacent uses and zoning classifications include:
 - To the north: a vacant commercial site (zoned B1)
 - To the south and west: Half Day School (zoned B1 with a Special Use permit)
 - To the east: Oak Tree Corners shopping center (zoned B1)

Proposal Summary & Staff Comments:

Building Design and Materials

The petitioner's cover letter states the goal of the proposed building is to blend and highlight the architectural features of the downtown Lincolnshire area while also introducing unique features. The building design includes a mix of contemporary and traditional architectural elements with the use of natural materials. The petitioner evaluated buildings throughout Lincolnshire to draw inspiration from, as well as complement the design of, adjacent properties in line with the Lincolnshire Design Guidelines and specifications for the Downtown Area.

The petitioner's building elevations show a composition of stone, brick, stucco, and glass. A 20'-6" curved roof is also proposed, which is below the 30' maximum building height requirement for the B1 zoning district. Metal awnings are incorporated into the design, as are decorative shingles along the curved roof above the main entrance. The majority of the building will be 16' tall (with the exception the curved roof).

Rooftop equipment will be screened with a 4'-tall parapet wall around the entirety of the building. The trash enclosure is proposed to be screened from view with 6'-tall screen wall consisting of treated wood planks, painted brown.

Off-Street Parking Requirements and Site Access

Section 6-11 of the Village code requires physician's offices to provide parking spaces based on the following equation:

$$1/\text{employee} + 2/\text{examination room}$$

The petitioner has indicated no more than 9 employees will be on-site at given time. Additionally, the petitioner will provide 10 exam rooms in the new building. Using the previous equation, 29 parking spaces are required. The petitioner is proposing 30 spaces. Presently, the property has two access points off of Olde Half Day Road. The proposed plan consolidates access to a single point of ingress and egress.

Signage

Signage on this property is subject to the requirements of the Commercial Sign District. A 7'-6"-tall by 9'-wide, double-sided ground monument sign is proposed. Because the petitioners



propose to operate two separate practices within the same building (i.e., multi-tenant), they are permitted slightly larger dimensions than a single-tenant building sign. The sign features a base / sign area / cap design, and is comprised of stone and brick with aluminum lettering. Illumination is provided via ground lighting. All features of the sign, in addition to the landscaping at its base, conform to Village code.

Landscaping and Tree Removals

Given the footprint of the new construction, a number of new tree plantings and tree removals are proposed. The landscape plan shows 21 deciduous and evergreen trees will be planted, totaling 57". These plantings include three Appendix A trees, totaling 11" (Green Mountain Sugar Maple, Skyline Thornless Honeylocust, and Swamp White Oak) and 18 non-Appendix A trees total 46" (mixture of deciduous and evergreen trees. The petitioners' site plan also indicates protection of an existing 46" Silver Maple at the southern end of the property with pervious pavement surrounding the base.

According to the tree survey performed by a certified arborist, three are Appendix A trees totaling 68 caliper inches are scheduled for removal, all of which are in "Good" or "Very Good" condition. Only one other non-Appendix A tree to be removed is in "Good" or "Very Good" condition, totaling 28 caliper inches. The remaining trees to be removed are in either "Below Average" or "Poor" condition. Trees that are unhealthy, dead, or dying are not required to be replaced per Ordinance #18-3787-215, which temporarily suspends tree replacement requirements for commercial properties until December 31, 2020.

	Appendix A Trees		Non-Appendix A Trees		All Trees	
	Number	Inches	Number	Inches	Number	Inches
To be Planted	3	11"	18	46"	21	57"
To be Removed	3	68"	15	261" *	18	329"

*Only 28" of the 261" non-Appendix A trees to be removed represent trees in "Good" or "Very Good" condition

Exterior Lighting

The property will be lit by three 20'-tall light poles with two mounted decorative scones on the building façade. The proposed light pole height and lighting levels meet code requirements.

Stormwater Detention

The petitioners are working with Lake County Stormwater Management Commission (SMC) to determine if on-site stormwater improvements are needed. If the petition receives final approval from the Village Board, SMC's approval is required before any construction or building permits are issued.

Approval Process

1. Preliminary Evaluation at the Village Board. **COMPLETED**
2. The Zoning Board will hold a public hearing on the text amendment request. **COMPLETED**
3. The Village Board will consider the Zoning Board's recommendation on the text amendment and make a final determination. **COMPLETED**
4. The ARB will review the site and building design, landscaping, signage, lighting, and site amenities. **CURRENT STAGE OF APPROVAL**
5. The Village Board will consider the ARB's recommendations regarding site and building design, landscaping, signage, lighting, and site amenities and make a final determination on the new construction. **TO BE HELD AT A FUTURE DATE**

Recommendation:

Staff recommends the ARB determine whether all of the above ARB requests have been satisfactorily addressed prior to making a recommendation to the Village Board.

Motion:

The Architectural Review Board moves to recommend approval to the Village Board the proposed development plans depicting site design, building elevations, parking, landscaping, exterior lighting, exterior signage, and site amenities for a proposed new medical office building, located at 231 Olde Half Day Road, as presented in the petitioner's presentation packet, date stamp received July 11, 2019, and as depicted in the material/color sample board provided at the July 16, 2019 Architectural Review Board meeting, and further subject to...

[Insert any additional conditions or modifications]

Reports and Documents Attached:

- Document 1: Cover letter prepared by Alexander and Julia Katsnelson dated July 10, 2019.
- Document 2: Planning and Zoning Application, dated July 10, 2019.
- Document 3: Presentation packet, prepared by Alexander and Julia Katsnelson Sara E.F. Gensburg, Ltd., date stamped received July 11, 2019.
- Document 4: Lincolnshire Downtown Design Guidelines, approved November 23, 2015.
- Document 5: Minutes from the March 18, 2019 Committee of the Whole meeting.

Meeting History	
Committee of the Whole – Preliminary Evaluation (Text Amendment)	January 14, 2019
Committee of the Whole – Preliminary Evaluation (Site Plan and Building Elevations)	March 18, 2019
Zoning Board – Public Hearing (Text Amendment)	June 25, 2019
Regular Village Board – Text Amendment Approval	July 8, 2019
Architectural Review Board – Site Design Consideration and Discussion	July 16, 2019



APPROVED Minutes of the regularly scheduled **ARCHITECTURAL REVIEW BOARD** held on Tuesday, July 16, 2019. in the Public Meeting Room of the Village Hall, One Olde Half Day Road, Lincolnshire, IL.

PRESENT: Chair Kennerley and Members Orzeske, Baskin, Tapia, McCall and Santosuosso

ABSENT: Trustee-Liaison Hancock and Member Killedar

ALSO PRESENT: Ben Gilbertson, Assistant Village Manager/Director of Community and Economic Development (AVM/CED)

CALL TO ORDER

1.0 ROLL CALL

The roll was called by **AVM/CED Gilbertson**. **Chair Kennerley** declared a quorum to be present at 7:00 p.m.

2.0 APPROVAL OF MINUTES

2.1 Approval of the minutes of the Architectural Review Board Meeting held on Tuesday, June 18, 2019.

Member Santosuosso moved, seconded by **Member Orzeske**, to approve the minutes as presented for the Tuesday, June 18, 2019 Architectural Review Board meeting. Motion passed unanimously by voice vote.

3.0 ITEMS OF GENERAL BUSINESS

3.1 Continued Public Hearing regarding Wall Sign Variations to Increase the Sign Face Height from the Maximum Permitted 3' to 4'-3¼" (East Elevation); Increase the Sign Face Height from the Maximum Permitted 3' to 5'-10¼" and Increase the Sign Letter Height from the Maximum Permitted 2' to 2'-6¾" (North Elevation); and Provide Internal Illumination through the Face of Individual Letter Sets (Both Elevations) – 350 Knightsbridge Parkway (Knight Bridge Pky, LLC).

3.2 Consideration and Discussion of Site Design, Building Elevations, Landscape Plans, Exterior Lighting, Parking, and Exterior Signage for a Proposed Hotel Building – 350 Knightsbridge Parkway (Knight Bridge Pky, LLC)

Chair Kennerley stated both agenda items relate to the proposed hotel at 350 Knightsbridge Parkway, and proposed the ARB discuss both items during the public hearing portion of the agenda.

Chair Kennerley opened the public hearing and reviewed the procedures and process for the public hearing.

AVM/CED Gilbertson summarized the revisions provided by the Home2 Suites by Hilton design team based upon feedback from the last ARB meeting. These included revised elevations, building materials and colors, details on focal points in and out of the site, material and color samples of the signs, and code-compliant comparisons for the sign variation request.

AVM/CED Gilbertson noted the petitioner reduced sign length, sign face height, and letter height for the north elevation wall sign. He also noted the petitioner provided renderings of code-permitted and proposed sign dimensions, per the ARB's previous request. **AVM/CED Gilbertson** further noted the petitioner met with Van Vlissingen representatives who have provided a letter of support for the building and site design. The Zoning Board also reviewed the project for the related zoning relief requests and forwarded a favorable recommendation to the Village Board earlier in June.

AVM/CED Gilbertson noted the petitioner added more stone material at the northwest corner to provide the effect of a "wrap" around the building as well as additional stone material at the base of the building, main entrance, and along the east patio wall. The EIFS wrap was modified in the renderings to more accurately reflect the true material color; the beacon feature was widened at the top of the building over the main entrance; and the ground sign illumination was revised to match the wall sign illumination. **AVM/CED Gilbertson** noted there will be additional dead tree removals after further evaluation of the landscape plan by the petitioner's landscape consultant.

Shilpa Purohit of Purohit Architects and **Jeff Torens** of Gary R. Weber and Associates were sworn in by **Chair Kennerley**. **Ms. Purohit** requested the revised findings of fact for the wall sign variation be entered into the record, based on the changes to revised sign dimensions since the last ARB meeting.

Ms. Purohit reviewed changes to the materials and location of the trash enclosure, building design and materials, canopy materials, east elevation wall sign size reduction, and the materials/samples board.

Member Santosuosso commented on the east elevation wall sign and stated the 'Suites by Hilton' text did not seem very distinguishable. **Shilpa Purohit** stated the cut out letters will be illuminated and visible on the building.

Member Orzeske said he was satisfied with the changes. **Member McCall** agreed, noting the revisions made the building more interesting. **Member Baskin** stated this was an improvement, but suggested the top of the building include a thin strip in the fascia or widened top spandrel. **Member Baskin** also added the orientation of the patio would have been better located south of the entrance, but by making the sidewalk a contrasting color or texture may provide additional character to the entryway. **Chair Kennerley** stated she liked the original trash enclosure red color but was fine with the changes overall. **Members Santosuosso** and **Tapia** both stated they appreciated the revisions as presented.

Jeff Torrens, Gary R. Weber Associates, presented the revised landscape plan, which included expanded base plantings around the ground sign. These revisions included a mix of plantings with varying bloom times to present a mix of colors year round. Additional ground landscape material was added to screen utilities. **Chair Kennerley** inquired about winter conditions of the landscape bed. **Mr. Torrens** noted the hydrangea will be dormant in the winter; however the patio landscape will include boxwood. **Chair Kennerley** noted landscaping along the sidewalk would lack color in winter and asked if something else could be added. **Member Baskin** suggested junipers along the sidewalk to establish the approach to the entrance and other ground cover with more density and mass with the addition of a shade tree over the sidewalk. **Mr. Torrens** said they will look into adding additional evergreens to enhance the winter scape. There was discussion regarding Autumn Blaze Maples and environmental challenges with this species. **Mr. Torrens** said they will look into this concern. **Mr. Torrens** reviewed the perimeter landscape and parking island plans and planting choices. **Chair Kennerley** said she would like to see more layering in the front entrance to provide varying heights including grasses with more year-round greenery. **Member Baskin** suggested boxwood in larger scale, noting they are slow-growing plants. He also suggested pulling plantings closer together for more emphasis on pedestrian scale. **Member Baskin** inquired about landscaping irrigation and commented landscape installations are struggling without the irrigation. **Mr. Torrens** stated there are no plans to include an irrigation system, but would discuss further with ownership.

Chair Kennerley opened the floor for members of the audience. No speakers came forward and there was no public testimony. There being no further questions or discussion, **Chair Kennerley** closed the public hearing.

Member Baskin moved, seconded by **Member Santosuosso**, to recommend approval to the Village Board for the variations regarding wall sign face height, wall sign letter height, and illumination, per Section 12-9-1-B of the Lincolnshire Village Code. Motion passed unanimously by voice vote.

Member Baskin moved, seconded by **Member McCall**, to recommend approval to the Village Board for the proposed development plans, subject to the following recommendations;

1. Changes to the top design element/fascia of the building exterior.
2. Material changes to the entryway sidewalk to help establish the building entrance.
3. Consideration for evergreen materials at the front entrance, as well as additional plantings along the building foundations to provide scale and screening.
4. Relocation of the parking island opposite the patio area and move it southward towards the front entrance to give emphasis to the entry.

Motion passed unanimously by voice vote.



~~AVM/CD Gilbertson stated staff will work with the petitioner to incorporate the recommendations from the ARB. The petitioner will then move forward to the Village Board for approval.~~

- 3.3 Consideration and Discussion of Site Design, Building Elevations, Landscape Plans, Exterior Lighting, Parking, and Exterior Signage for a Proposed New Medical Office Building – 231 Olde Half Day Road (Alexander and Julia Katsnelson)

AVM/CED Gilbertson summarized the request, stating the petitioner is seeking to construct a new two-story medical office building for a dermatology, oral, and maxillofacial surgery practices. He added the petitioners presented a preliminary evaluation to the Committee of the Whole on January 12, 2019 to eliminate the 25% ground floor sales tax-generating use restriction in the B1 and B2 districts. He added both the Zoning Board and Village Board unanimously approved the text amendments to remove this restrictive code requirement, thereby allowing the petitioner to proceed with the approval process for the office building. **AVM/CED Gilbertson** stated the project is located within the downtown area as outlined in the Village's design guidelines and the petitioner has surveyed buildings throughout the Village and downtown area to incorporate multiple exterior elements into their design. **AVM/CED Gilbertson** also noted the proposed landscape plan and tree inventory. He then presented a drone video of the subject property.

Following the video, **Dr. Alexander Katsnelson** addressed the ARB summarizing both his and his wife's educational and medical background. He added the proposed medical practice will serve a need as there is not currently a joint practice in dermatology and oral surgery in the area. He added the current building is not ADA compliant. **Dr. Katsnelson** then presented plans for the office building, adding the design of the proposed building includes elements of other Lincolnshire buildings which include stone, brick, and modern elements. **Dr. Katsnelson** then presented color and material boards to the ARB. He added the main entry will be a glass tower design and a parapet wall will be used to screen mechanical equipment and a generator.

Member Santosuosso noted the trash enclosure should be moved or turned, as its current placement allows patients to view this when they first pull in. **Member Santosuosso** also commented on the weight of the generator and its placement on the roof. **Dr. Katsnelson** stated they have discussed this with a structural engineer specifically to locate the generator on the roof with appropriate reinforcement. **Member Orzeske** also suggested another location for the generator. **Deborah Fox**, architect for the petitioner, said they are still working with the structural engineer on the roof structure. Emphasis has been on the exterior design, but they were aware of the concerns of the generator placement and will possibly consider another location on the ground.

Member Orzeske questioned the notes on the plan for future plumbing in the basement level. He also asked for clarification on the brick sample presented. **Ms. Fox** noted the sample is presented for color only; the actual size will be



different. **Member Orseske** asked about the canopy over the door and how will it drain. **Ms. Fox** stated the awnings are aluminum and will have a way to drain water. **Member Orzeske** stated he would prefer a standing seam roof versus the architectural shingles as proposed. **Ms. Fox** replied they included architectural shingles to be similar to other buildings in the area. **Member McCall** concurred with **Member Orzeske's** comments on the roofing material and also relocation of the trash enclosure. There was discussion regarding turning radius as it relates to the trash enclosure. **AVM/CED Gilbertson** said this is something the petitioner's design team will provide to the ARB.

Member Baskin commented that this building has too many design elements. He was concerned with the rooftop units and parapet height. He also agreed with the comments made by the other ARB members regarding the roof materials. **Member Baskin** said the petitioner should reevaluate the proposed landscaping at the building entrance.

Member Santosuosso moved, seconded by **Member McCall** to table the request for 231 Olde Half Day Road to the next regularly-scheduled ARB meeting and to work with staff on the ARB's recommended changes. Motion passed unanimously by voice vote.

4.0 UNFINISHED BUSINESS

None.

5.0 NEW BUSINESS

AVM/CED Gilbertson noted the September regularly scheduled meeting of September 17th will be moved to September 24th.

Member Baskin inquired about the building under construction at 325 Marriott Drive. Chair Kennerley noted the building is still under construction, and that painting and landscaping have not been completed.

6.0 CITIZENS COMMENTS

7.0 ADJOURNMENT

There being no further business, the meeting adjourned at 8:56 p.m.

Respectfully Submitted,
Carol Lustig
Administrative Assistant, Community & Economic Development Department



**REQUEST FOR BOARD ACTION
Architectural Review Board
August 20, 2019**

Subject: New Medical Office Building – 231 Olde Half Day Road

Action Requested: Continued Consideration and Discussion of Site Design, Building Elevations, Landscape Plans, Exterior Lighting, Parking, and Exterior Signage for a Proposed New Medical Office Building

Petitioners: Alexander and Julia Katsnelson

Originated By/Contact: Ben Gilbertson, Assistant Village Manager/CED Director

Advisory Board Review: Architectural Review Board

Background:

- The Architectural Review Board (ARB) reviewed the site design, building elevations, landscaping, exterior lighting, parking, and exterior signage for a proposed medical office at 231 Olde Half Day Road at its July 16, 2019 meeting. The ARB unanimously approved a motion to continue the review until its next regularly scheduled meeting on August 20, 2019 to allow the petitioner to address the ARB's comments and revise the plans. The ARB provided feedback to the petitioner, as summarized below:
 - Reconsider the location of the trash enclosure;
 - Evaluate the feasibility of moving the rooftop generator to a ground-mounted location;
 - Increase the size of the brick used for the building;
 - Revise the canopy materials over the main entrance; and
 - Reexamine landscaping throughout the site, and particularly at the building entrance.

Trash Enclosure Location

- The Petitioner determined the originally-proposed location of the trash enclosure at the southwest corner of the property was ideal for access into and out of the site (as depicted in the resubmitted auto-turn exhibits). Staff recommends this location as well, given the difficulty for a garbage truck to back into the site. In an effort to "soften" the view of the trash enclosure when patients arrive at the site, the Petitioner has adjusted orientation of the trash enclosure gates to the east and modified the building materials for the enclosure to match the brick used in the building. The width of the enclosure has also been reduced from 24' to 14' to accommodate the new orientation. The length of the enclosure has been reduced from 12' to 11' as well. The petitioner has also provided landscape screening along the north, west, and south elevations of the trash enclosure.

Generator

- Per the ARB's direction, the Petitioner explored a ground-mounted location for the generator, as opposed to the original rooftop location. However, given the dimensions of the property, as well as the building footprint, the only potential location for a ground-mounted generator is the northeast corner of the property. This location is not permitted for ground-mounted mechanical equipment, as Section 6-15-3-E-2-a of the Lincolnshire Village



Code (Village Code) states “[g]round-mounted mechanical equipment and associated screens are prohibited in required yard setback areas and shall not extend beyond any front or corner-side façade of the primary structure.” As such, the Petitioner proposes placing the generator on the roof per the original proposal. The generator and other rooftop units must still be entirely screened from pedestrian view. Concerns regarding weight of rooftop units would be resolved during the building permitting stage of review (should the Village Board ultimately approve the proposal). Staff recommends this location for the generator.

Building Materials and Design

- The Petitioner proposes to use a larger Norman brick as the primary building material, which is a change from the previously-proposed thin brick. The petitioner has also incorporated a Norman brick soldier course band around the top of the building near the roofline. The main entrance has also been revised, such that the curved roof with architectural shingles has been flattened and now incorporates anodized metal coping. The canopy has also been modified with anodized aluminum, which matches the emergency exit door awnings.

Ground Sign Materials

- The petitioner has incorporated the Norman brick into the ground sign to match the building materials.

Landscaping

- The Petitioner made minor changes to the proposed landscaping plans, which are identified below:
 - Removal of two Armstrong Red Maples (one 4” and one 2.5’)
 - Removal of four Dark American Arborvitae (8’)
 - Addition of nine Ground Mound Alpine Currant
 - Addition of two hydrangea
 - Reduction of three Grow-Low Fragrant Sumac

Approval Process

1. Preliminary Evaluation at the Village Board. **COMPLETED**
2. The Zoning Board will hold a public hearing on the text amendment request. **COMPLETED**
3. The Village Board will consider the Zoning Board’s recommendation on the text amendment and make a final determination. **COMPLETED**
4. The ARB will review the site and building design, landscaping, signage, lighting, and site amenities. **CURRENT STAGE OF APPROVAL**
5. The Village Board will consider the ARB’s recommendations regarding site and building design, landscaping, signage, lighting, and site amenities and make a final determination on the new construction. **TO BE HELD AT A FUTURE DATE**

Recommendation:

Staff recommends the ARB determine whether all of the above ARB requests have been satisfactorily addressed prior to making a recommendation to the Village Board.

**Motion:**

The Architectural Review Board moves to recommend approval to the Village Board the proposed development plans depicting site design, building elevations, parking, landscaping, exterior lighting, and exterior signage for a proposed new medical office building, located at 231 Olde Half Day Road, as presented in the petitioner's presentation packet, date stamp received August 14, and as depicted in the material/color sample board provided at the August 20, 2019 Architectural Review Board meeting, and further subject to...

[Insert any additional conditions or modifications]

Reports and Documents Attached:

- Document 1: Presentation packet, prepared by Alexander and Julia Katsnelson Sara E.F. Gensburg, Ltd., date stamped received August 14, 2019.
- Document 2: Lincolnshire Downtown Design Guidelines, approved November 23, 2015.
- Document 3: Staff memorandum to the ARB for its July 16, 2019 meeting.

Meeting History	
Committee of the Whole – Preliminary Evaluation (Text Amendment)	January 14, 2019
Committee of the Whole – Preliminary Evaluation (Site Plan and Building Elevations)	March 18, 2019
Zoning Board – Public Hearing (Text Amendment)	June 25, 2019
Regular Village Board – Text Amendment Approval	July 8, 2019
Architectural Review Board – Site Design Consideration and Discussion	July 16, 2019
Architectural Review Board – Continued Site Design Consideration and Discussion	August 20, 2019



UNAPPROVED Minutes of the regularly scheduled **ARCHITECTURAL REVIEW BOARD** held on Tuesday, August 20, 2019 in the Public Meeting Room of the Village Hall, One Olde Half Day Road, Lincolnshire, IL

PRESENT: Members McCall, Baskin, Killedar and Santosuosso

ABSENT: Chairman Kennerley, Members Tapia and Orzeske, and Trustee-Liaison Hancock

ALSO PRESENT: Ben Gilbertson, Assistant Village Manager/Director of Community and Economic Development (AVM/CED) and Tonya Zozulya, Planning and Development Manager (PDM).

CALL TO ORDER

1.0 ROLL CALL

AVM/CED Gilbertson called the roll and declared a quorum to be present.

Member McCall welcomed and introduced Alternate **Member Krishna Killedar** to the Architectural Review Board.

With the absence of Chair Kennerley, **Member Baskin** moved, seconded by **Member Santosuosso**, to declare Member McCall Chair Pro Tem.

Motion passed unanimously by voice vote.

2.0 APPROVAL OF MINUTES

2.1 Approval of the minutes of the Architectural Review Board meeting held on Tuesday, July 16, 2019. **Chair Pro Tem McCall** entertained a motion for approval.

Member Baskin moved, seconded by **Member Santosuosso**, to approve the minutes as presented for the Tuesday, May 21, 2019 Architectural Review Board Meeting.

Motion passed unanimously by voice vote.

3.0 ITEMS OF GENERAL BUSINESS

3.1 Continued Consideration and Discussion of Site Design, Building Elevations, Landscape Plans, Exterior Lighting, Parking, and Exterior Signage for a Proposed New Medical Office Building – 231 Olde Half Day Road (Alexander and Julia Katsnelson)

AVM/CED Gilbertson summarized the revisions provided by the petitioners based upon review and comments from the ARB meeting of July 16, 2019. These revisions included relocation of the trash enclosure, feasibility of relocating the roof top generator to the ground, increase the size of the exterior brick, revise the canopy materials over the main



entrance, and review site landscaping.

AVM/CED Gilbertson noted the petitioner explored relocation of the trash enclosure; however they determined the originally proposed location was best based upon auto-turn exhibits reviewed by the petitioner's design team. **AVM/CED Gilbertson** further noted the petitioner adjusted the size and orientation of the trash enclosure, modified the building materials for the enclosure to match the main building, and provided landscape screening along the north, west, and south elevations of the enclosure. **AVM/CED Gilbertson** noted staff concurs with these changes.

AVM/CED Gilbertson noted the petitioner considered relocation of the generator from the roof to the ground, but given the site dimensions and code requirements, the petitioner proposed the original location of the generator. **AVM/CED Gilbertson** stated any roof load issues will be addressed during permit review. **Dr. Katsnelson** stated the building design will incorporate structural elements for the installation of a roof top generator for a future installation and will apply for permits accordingly at that time. **Member Baskin** inquired if the location of the generator proposed for future installation will be included during tonight's consideration and approvals. **AVM/CED Gilbertson** stated the generator location has been noted on the original submittal and will be verified by staff at time of permit review.

AVM/CED Gilbertson stated the petitioner has incorporated a larger brick style (Norman brick) as the primary building material and has included a soldier course band around the top of the building near the roof line. He added the petitioner revised the main entrance with a flat roof line with metal coping, modified the canopy to match the emergency door awnings, and included the Norman brick building material into the ground sign.

AVM/CED Gilbertson stated the petitioner made changes to the landscape plan as well.

Deborah Fox, Gensburg Architects LTD, reviewed changes to the building materials. She stated their decision to keep the enclosure in the southwest corner of the property was based upon turn radius review of vehicles, which would prove problematic if the enclosure location was moved to the southeast corner of the property. She stated they incorporated changes to the orientation and materials of the trash enclosure to make it more visually-pleasing.

Nancy Lyons Hannick, NLH Landscape Architect, reviewed the landscape plan and subsequent changes, noting their decision to include native, hardy and proven plant materials with seasonal interest for the variable local weather conditions. She added the site is challenging as it has very limited planting space. She noted emphasis was put on the front foundation of the building to provide a welcoming presence from the street.

Member Santossouso commented he is pleased with the revisions to the building exterior.

Member Baskin stated the improvements are better, but suggested changes to the front parapet, including an extension of the parapet feature around the roof line to reduce the perceived "billboard effect." He further noted stack bond may present some moisture



problems and should be taken into consideration. **Member Baskin** suggested a focal point when exiting the building, taller and more evergreens throughout the site, and other locations for switch grasses rather than immediately against the building foundation.

Member Baskin moved, seconded by **Member Santosuosso**, to recommend approval to the Village Board the proposed development plans depicting site design, building elevations, parking, landscaping, exterior lighting, and exterior signage for a proposed new medical office building, located at 231 Olde Half Day Road, as presented in the petitioner's presentation packet, date stamp received August 14, 2019 and as depicted in the material/color sample board provided at the August 20, 2019 Architectural Review Board meeting, and further subject to consideration for masonry stack bonds, revisions to the parapet feature over the main building entrance, and introduction of additional evergreens throughout the site.

Roll Call Vote:

Ayes: Killedar, Baskin, Santosuosso and McCall

Nays: None

AVM/CED Gilbertson noted the ARB recommendation will move forward to the Village Board for discussion and final approval. Staff will work with the petitioner regarding the comments and considerations made by the ARB.

3.2 Consideration and Discussion of a Minor Special Use Amendment to Permit a Hall of Fame at 1 Stevenson Drive and a Pergola at 16139 Port Clinton Road (Adlai E. Stevenson High School District 125).

PDM Zozulya summarized the petition, noting there are two requests from Adlai E. Stevenson High School District 125 (District 125) for consideration.

PDM Zozulya stated the first request is to construct a Hall of Fame on the school campus to recognize and honor Stevenson's athletes. She noted the design includes a wooden pergola, brick columns, seat walls, landscape planters and one identification sign. Both the pergola and identification are in compliance with the underlying code requirements and Village standards. She added staff recommends approval with an additional stipulation that the identification sign be illuminated only during scheduled events at the stadium.

PDM Zozulya reviewed the second part of District 125's request, which is for a pergola constructed at the Transition House located at 16139 Port Clinton Road. She stated District 125 staff was unaware this type of exterior improvement required review and approval by the ARB prior to installation. She added staff recommends approval of the pergola and that it conforms to Village code.

Sean Carney, Assistant Superintendent for Business District 125, summarized the purpose of the Transition House on Port Clinton Road, adding the construction of the pergola and garden bed will enhance the educational experience of their students. The addition of the garden bed will allow the students to cultivate and sell produce, further enhancing their skills.

REQUEST FOR BOARD ACTION
Zoning Board
June 25, 2019

Subject: B1 and B2 Business Zoning District Uses

Action Requested: Public Hearing regarding a Text Amendment to Sections 6-6A-2-D-2-A and 6-6B-2-D-2-A of the Lincolnshire Village Code, to Eliminate the 25% Ground Floor Sales Tax-Generating Use Requirement in the B1 and B2 Business Zoning Districts

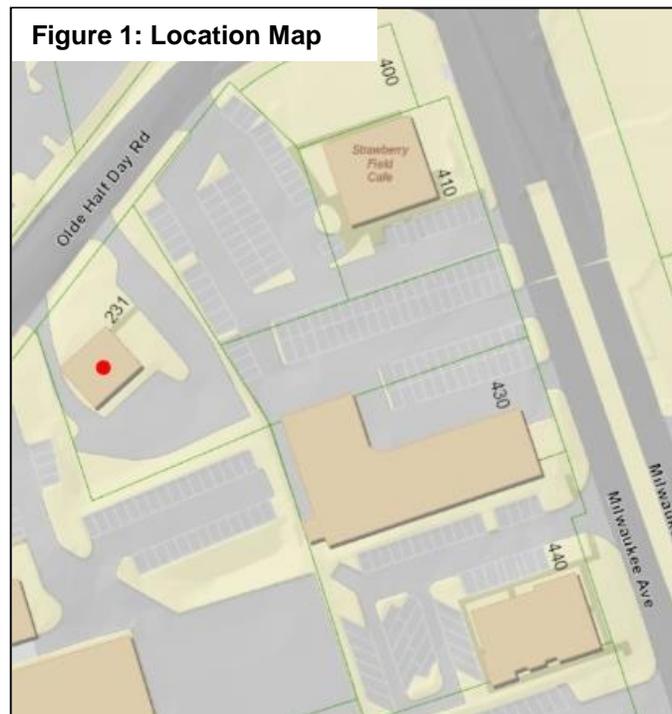
Petitioners: Alexander and Julia Katsnelson

Originated By/Contact: Ben Gilbertson, Assistant Village Manager/Community & Economic Development Director

Referred To: Zoning Board & Architectural Review Board

Background

- Petitioners Alexander and Julia Katsnelson propose a text amendment to the Lincolnshire Village Code (Village Code) to eliminate the existing 25% ground floor sales tax-generating use restriction in the B1 and B2 Business zoning districts. The text amendment is necessary for them, as physicians, to establish new dermatology and oral, maxillofacial, and surgery practices at 231 Olde Half Day Road in the B1 zoning district. The proposal is supported and has been approved by property owner Njb Real Estate LLC.
- The 0.5-acre property at 231 Olde Half Day Road is located on the south side of Olde Half Day Road, west of Milwaukee Avenue, as marked with a red dot in Figure 1 (see attached Documents 1, 2, and 3). It is adjacent to the Oak Tree Corners shopping center and Half Day Elementary School.
- The petitioners plan to acquire the property, demolish the existing two-story, 4,572-square-foot vacant building and construct a new one-story 5,000-square-foot medical office building.
- Built in 1963, the existing building most recently housed NJB Operations/Taco Bell Corporation offices and became vacant two years ago.
- At the January 14, 2019 Committee of the Whole meeting, the petitioners first requested a preliminary evaluation of a proposed





text amendment to the Village Code to eliminate the existing 25% ground floor sales tax-generating use restriction in the B1 and B2 Business zoning districts. The Village Board referred the text amendment request to the Zoning Board (ZB) for a public hearing.

- After receiving general support from the Village Board for the text amendment, the petitioners requested a second Preliminary Evaluation for review of the site plan and building elevations which took place on March 18, 2019. The Village Board referred this request to the Architectural Review Board (ARB). The ARB is expected to review the building elevations, site plan, landscaping, and other aesthetic components of the proposal during summer 2019 before making a recommendation to the Village Board.
- A newspaper notice of the ZB public hearing was published in the May 31, 2019 edition of the Daily Herald. Certified notices to property owners within a 250' radius of the subject property were not required, as this text amendment will apply to all properties zoned B1 or B2.

Request & Staff Comments

- The B1 Retail Business and B2 General Business Districts comprise over 20 mixed-use, office, and vacant properties along Milwaukee Avenue, Aptakisic Road, Olde Half Day Road and the Tri State Tollway. Village Code prohibits more than 25% of the ground floor area of a principal structure on a B1 or B2 zoning lot to be used for non-sales tax-generating uses for buildings built after January 1, 1995 (see attached Document 4 and 5). The restriction was adopted in 1995 by Ordinance #95-1406-36. Staff believes this was intended to maximize sales tax revenue generation in the Village along commercial corridors. The same restriction was applied to the Village Green Center in 1995 (zoned R5 Mixed-Use Residence) as part of a redevelopment agreement between the Village and the center property owner; however, this agreement was terminated in 2010.
- The petitioner's cover letter outlines reasons for their desire to locate on this property and for the proposed text amendment. The petitioners indicated up to 20% of their medical practice will produce sales tax from the sale of medical products. Although the property was developed before January 1, 1995, its vacant status of more than 12 months triggers compliance with the sales tax use restriction, per Section 6-13-2-D-2 of Village Code (Non-Conforming Uses, Structures and Lots). As such, the petitioners are unable to establish their medical practices in the existing building because the property has been vacant for over one year.
- Staff believes 231 Olde Half Day Road and other B1 and B2 properties would benefit from the text amendment, as this would provide for a viable tenant mix with mutually supportive businesses throughout Lincolnshire's various shopping centers. Such action would be similar to recent Village Board-approved changes to the O/I Office-Industrial zoning district to remove the 25% medical use and testing of materials restriction as well as increasing the assembly use square footage cap.
- In recent years, the retail climate nationwide, as evidenced by numerous in-print and online publications, has shifted towards experiential retail and non-retail uses due to the proliferation of online shopping and the expansion of non-retail businesses in commercial zones (such as medical clinics, banks, financial institutions, gyms, fitness studios, and pet uses). For example, when Barnes & Noble closed its bookstore in the Lincolnshire



Commons Center in 2015, the NorthShore University Healthcare medical clinic took over the building. The Village Board approved a Lincolnshire Commons Planned Unit Development amendment at the time to allow the building conversion from retail to non-retail uses and to allow the 25% sales tax requirement to be calculated based on the building area of the shopping center as a whole rather than based on the building area of each lot, as currently required by code.

- The proposed amendment would provide B1 and B2 properties in the Village additional permissibility and leasing options to address long-term vacancies and to add new business offerings, including the CityPark Center, the former Walter E. Smithe furniture store building, the former Greenview Homes building, and other undeveloped B-zoned properties.
- The text amendment would not prevent or discourage sales-tax generating uses from locating in the B districts but would allow a greater number of non-sales tax generating uses to consider Village locations. Businesses that do not produce sales tax provide a variety of benefits, including filling a business/service need, employment, and offering consumers more reasons to stay in or visit the Village to meet their needs and patronize other establishments.
- In January 2019, Village staff surveyed several surrounding communities (i.e., Buffalo Grove, Deerfield, Lake Bluff, Lake Forest, and Highland Park) to inquire if they had similar sales tax-generating restrictions as Lincolnshire. All communities maintained similar restrictions yet applied them only to certain downtown areas, central business districts, and similar geographical areas. No community surveyed applied such a restriction across the entirety of their business-zoned districts.
- Attached are the petitioners' responses to the required Standards of Findings of Fact for the text amendment. The Zoning Board must review the responses and find that each standard has been satisfactorily addressed in order to provide a favorable recommendation to the Village Board.

Approval Process

1. Preliminary Evaluation at the Village Board. **COMPLETED**
2. The Zoning Board public hearing on the zoning requests. **IN PROCESS**
3. The ARB will review the site and building design, landscaping, signage, lighting, and site amenities. **TO BE HELD AT A FUTURE DATE**
4. The Village Board will consider the Zoning Board's and Architectural Review Board's recommendations and make the final determination. **TO BE HELD AT A FUTURE DATE**

Recommendation

Recommendation of approval to the Village Board regarding the proposed B1 and B2 zoning district text amendment to eliminate the ground floor sales tax-generating use restriction.


Motion

Having made findings based on facts covered in a public hearing on June 25, 2019, the Zoning Board recommends approval to the Village Board a text amendment to Sections 6-6A-2-D-2-A and 6-6B-2-D-2-A of the Village Code, to eliminate the 25% ground floor sales tax-generating use requirement in the B1 and B2 Business zoning districts, as presented in the petitioner's presentation packet and based on the Text Amendment Findings of Fact, and further subject to...

[Insert any additional conditions or modifications]

Reports and Documents Attached

- Document 1: Cover letter prepared by Alexander and Julia Katsnelson dated April 24, 2019.
- Document 2: Responses to Standards of Findings of Fact for a Text Amendment, prepared by Drs. Alexander and Julia Katsnelson.
- Document 3: Planning and Zoning Application, dated December 31, 2018
- Document 4: Certificate of public hearing notification publication in the May 31, 2019 edition of the Daily Herald.
- Document 5: Zoning map, created by MGP Consortium.
- Document 6: Current B1 and B2 Business Zoning District Regulations.
- Document 7: Articles and publications detailing nationwide retail trends.
- Document 8: Minutes from the January 14, 2019 Committee of the Whole meeting.
- Document 9: Minutes from the March 18, 2019 Committee of the Whole meeting.

Meeting History	
Committee of the Whole – Preliminary Evaluation (Text Amendment)	January 14, 2019
Committee of the Whole – Preliminary Evaluation (Building, Landscape, and Site Plans)	March 18, 2019
Zoning Board – Public Hearing (Text Amendment)	June 25, 2019



UNAPPROVED Minutes of the **REGULAR MEETING OF THE ZONING BOARD** held on Tuesday, June 25, 2019 in the Public Meeting Room in the Village Hall, One Olde Half Day Road, Lincolnshire, IL

PRESENT: Chair Bichkoff and Members Kalina, Udoni, Hersh, Curtin, Josephson and Trustee Liaison Harms Muth

STAFF PRESENT: Ben Gilbertson, Assistant Village Manager/Director of Community and Economic Development (AVM/CED)

ABSENT: Member Kelly

CALL TO ORDER: **Chair Bichkoff** called the meeting to order at 7:00 P.M.

1.0 ROLL CALL

The roll was called by **AVM/CED Gilbertson**; **Chair Bichkoff** declared a quorum to be present.

2.0 APPROVAL OF MINUTES

2.1 Approval of the Minutes of the Zoning Board held on Thursday, April 18, 2019.

Member Kalina moved and **Member Udoni** seconded the motion to approve the minutes of the April 18, 2019 Zoning Board meeting.

The motion passed unanimously by voice vote.

Chair Bichkoff introduced and welcomed newly appointed Members Denis Curtin and Scott Josephson to the Zoning Board.

3.0 ITEMS OF GENERAL BUSINESS

Chair Bichkoff reviewed the public hearing process, recessed the Zoning Board meeting, and opened the following Public Hearing:

3.1 Public Hearing regarding a Text Amendment to Sections 6-6A-2-D-2-A and 6-6B-2-D-2-A of the Lincolnshire Village Code to Eliminate the 25% Ground Floor Sales Tax-Generating Use Requirement in the B1 and B2 Business Zoning Districts (Alexander and Julia Katsnelson)

AVM/CED Gilbertson summarized the request before the Zoning Board, stating the petitioners are seeking to demolish the existing vacant structure built in 1963 to construct a new one-story, 5,000-square-foot medical office building in the B-1 Business zoning district. The petitioners are requesting a text amendment to the Village Code to eliminate the 25% ground floor sales tax-generating use restriction thereby allowing them to establish the new medical practice. He added the Committee of the Whole reviewed the proposal in January 2019 and March 2019 and referred the petitioners to the Zoning Board and Architectural Review Board for further consideration. **AVM/CED Gilbertson** stated the required legal

notice was published in the May 31, 2019 edition of the Daily Herald, and that notification to surrounding property owners is not required in this case as this text amendment will apply to all properties zoned B1 or B2.

In regards to the text amendment, **AVM/CED Gilbertson** stated the current regulation regarding sales tax-generation in the B1 and B2 zoning districts was adopted in 1995 to encourage retail development along main corridors. The Village Green had this requirement, but this was terminated in 2010 as part of a redevelopment agreement with the Village. He stated staff believes this property and other B1 and B2 properties would benefit from the proposed text amendments by providing a viable tenant mix and flexibility for the vacant spaces throughout the Village. He added staff conducted a survey of neighboring communities, with results indicating similar restrictions were imposed on specific geographic areas such as a central business districts and downtown districts, rather than the entirety of a specific zoning district.

Dr. Alexander Katsnelson was sworn in by **Chair Bichkoff** and **Dr. Katsnelson** requested the findings of fact be entered into the record.

Dr. Alexander Katsnelson stated he and his wife will be opening a dermatology and oral surgery practice to serve the residents of the area. He added the current building is not ADA compliant, which encouraged them to construct a new office building. He stated they anticipate the dermatology practice will generate sales tax, but the current requirement of 25% ground floor area would not be feasible for a medical practice.

Chair Bichkoff stated the sales tax floor area restriction may have had a purpose in 1995 but places restraints on businesses today. **Member Curtin** asked if staff had looked at financial modeling and any effect this will have on sales tax moving forward. **AVM/CED Gilbertson** stated this was not part of staff's analysis; rather, staff's research focused on the retail climate nationally, on-line shopping trends, and expansion of non-retail uses in commercial zones. **Member Hersh** recalled previous discussions regarding vacancy rates in the business and office districts, and indicated the text amendment will be a benefit to the Village.

Chair Bichkoff opened the floor for members of the audience. No speakers came forward and there was no public testimony. There being for further questions or discussion, **Chair Bichkoff** closed the public hearing.

Member Kalina moved, seconded by **Member Udoni**, having made findings based on facts covered in a public hearing on June 25, 2019, the Zoning Board recommends approval to the Village Board a text amendment to Sections 6-6A-2-D-2-A and 6-6B-2-D-2-A of the Village Code, to eliminate the 25% ground floor sales tax-generating use requirement in the B1 and B2 Business zoning districts, as presented in the petitioner's presentation packet and based on the Text Amendment Findings of Fact.

Roll Call:

Ayes: Chair Bichkoff, Members Kalina, Udoni, Hersh, Curtin, Josephson

Nayes: None

The motion passed unanimously.

AVM/CED Gilbertson stated the petitioner has submitted building design plans which will be reviewed by staff before being reviewed by the Architectural Review Board.

Chair Bichkoff reviewed once more the public hearing process, stating Items 3.2 through 3.7 are all requested by the same petitioner Knight Bridge LLC, and are related to their request to construct a 113-room Home2 Suites hotel by Hilton at 350 Knightsbridge Parkway. **Chair Bichkoff** stated given the relatedness between items 3.2 through 3.7, he recommended the Zoning Board consider all items under the same public hearing. **Chair Bichkoff** recessed the Zoning Board meeting and opened the following Public Hearings:

- 3.2 Public Hearing regarding a Special Use Permit to construct a 113-room Home2 Suites hotel by Hilton in the Office/Industrial (O/Ib) zoning subdistrict, per Section 6-8-5 of the Lincolnshire Village Code, 350 Knightsbridge Parkway (Knight Bridge Pky, LLC)
- 3.3 Public Hearing regarding a Variation from Section 6-8-8 of the Lincolnshire Village Code to Reduce the Front Yard Setback from 56'-6" to 50', to construct a 113-room Home2 Suites hotel by Hilton, 350 Knightsbridge Parkway (Knight Bridge Pky, LLC)
- 3.4 Public Hearing regarding a Variation from Section 6-8-9 of the Lincolnshire Village Code to Exceed the Maximum Allowable Building Height from 45' to 51'-6", to construct a 113-room Home2 Suites hotel by Hilton, 350 Knightsbridge Parkway (Knight Bridge Pky, LLC)
- 3.5 Public Hearing regarding a Variation from Section 6-11-2-B-4 of the Lincolnshire Village Code to Reduce the Side Yard Landscape/Parking Setback from 15' to 12', to construct a 113-room Home2 Suites hotel by Hilton, 350 Knightsbridge Parkway (Knight Bridge Pky, LLC)
- 3.6 Public Hearing regarding a Variation from Section 6-11-2-B-4 of the Lincolnshire Village Code to Reduce the Rear Yard Landscape/Parking Setback from 15' to 10', to construct a 113-room Home2 Suites hotel by Hilton, 350 Knightsbridge Parkway (Knight Bridge Pky, LLC)
- 3.7 Public Hearing regarding a Text Amendment to Section 6-11-2 of the Lincolnshire Village Code to Revise Hotel Parking Requirements for Dining Areas (Knight Bridge Pky, LLC)

AVM/CED Gilbertson summarized the requests before the Zoning Board, stating the owners, Vaibhav Sevale and Kamlesh Patel of Knight Bridge Pky LLC, are seeking a special use, text amendment, and a number of variation approvals to construct a 113-room, 4-story Home2 Hotel on the 2.2 acre property at 350 Knightsbridge Parkway in the Lincolnshire Corporate Center. The project was

presented to the Village Board in September 2018 and again January 2019, adding it was the consensus of the Village Board to refer this project to the Architectural Review and Zoning Boards. He further stated the ARB held a workshop and public hearing on June 18, 2019, requested additional information for further deliberation at the continued public hearing scheduled for July 16, 2019. He further stated there are currently six hotels in Lincolnshire, and noted staff has heard of additional hotel demand. He also stated the petitioner has been in contact with the developer of the Lincolnshire Corporate Center, Van Vlissingen, who are in support of the proposed hotel.

AVM/CED Gilbertson further summarized the special use requirement for hotels in the O/I district and variation requests. The petitioner requested height variation from the maximum of 3 stories / 45' to 4 stories / 51'-6". The height variation is requested to accommodate a "beacon," a key architectural element in the Home2 Hotel branding, into the building design. He added the petitioner is requesting a front yard setback variation which predicated upon the building height variation. The petitioner is also requesting side and rear yard setback variations to accommodate parking and traffic circulation in addition to the building height and design. He stated the petitioner provided a survey of building height in the corporate park area and is included in the board packet. In regards to the parking variation, **AVM/CED Gilbertson** stated because of the extended stay concept, the hotel will not be marketing the dining/lounge area to the public, which would should not require them to provide additional parking dining/lounge use (as is required under the current code). Hotels with restaurants available to the public will still be required to provide dedicated parking stalls.

A drone video was played to provide an aerial overview of the site and surrounding area.

Shilpa Purohit, Purohit Architect for the petitioner was sworn in by **Chair Bickhoff**. **Shilpa Purohit** requested the findings of fact be entered into the record.

Ms. Purohit stated due to site limitations and building design, a number of variations are requested. She noted the setback variations are due to the building height and to accommodate traffic circulation, landscaping, and parking lot design. **Ms. Purohit** also discussed the parking requirements, stating the dining/lounge features of the hotel are for guests only and not open to the public. Therefore, the requirement of providing 1 space per 50 square feet of dining area is excessive and is requesting relief from this requirement.

Member Kalina asked about their customer base. **Ms. Purohit** stated most of their guests are anticipated to be corporate clients that will stay at the hotel during the week. **Member Udoni** asked about the number of parking spaces and the surrounding property. **Ms. Purohit** stated 118 spaces are provided and parking lots of adjacent office buildings surround the site. **Member Kalina** inquired about the possibility of a full parking lot on any given day. **Ms. Purohit** stated many clients are using alternative transportation such as Uber and did not anticipate all parking stalls to ever be occupied. **AVM/CED Gilbertson** stated the petitioner provided a parking study specific to Home2 Hotels and found for the majority of the year, the hotels did not reach their parking capacity.

Member Curtin asked if there would be a conference center. **Ms. Purohit** replied only a small conference room is available to the guests and was not intended as a conference center. **Chair Bichkoff** asked if the petitioner considered acquiring additional property adjacent to the subject property to reduce the number of variance requests. **Ms. Purohit** stated the property owners had not considered this as a viable option. **Member Josephson** inquired about Hilton's corporate input into the design and site selection, asking if they had other design options for a smaller footprint. **Ms. Purohit** stated the footprint and the rooms are a prototype dictated by Hilton and cannot be altered. **Member Josephson** asked if they considered reducing the number of rooms by eliminating one vertical row of the building, thereby eliminating the request for the setback variances. **Shilpa Purohit** stated this would reduce the number of rooms to 105 rooms which was not acceptable to Hilton nor did Hilton accept a 3-story design.

Vaibhav (Victor) Sevale, Knight Bridge LLC, came forward and was sworn in. He stated Hilton required a minimum of 107 rooms and as part of their financial analysis, and a reduction in room count would not be feasible in terms of revenue generation. **Member Udoni** asked if the petitioner considered purchasing other properties. **Mr. Sevale** stated other parcels were too small or too large, and that this property best suited their proposed site plan. **Ms. Purohit** noted Hilton required more patio space for the hotel guests, which further added to the variation requests. **Ms. Purohit** stated she felt this is a good fit for the property which includes outdoor amenities for guests.

Chair Bichkoff opened the floor for members of the audience. No speakers came forward and there was no public testimony. There being for further questions or discussion, **Chair Bichkoff** closed the public hearing.

Member Kalina asked other members and staff if there is something which would preclude this use in the center of a corporate office park. **AVM/CED Gilbertson** said the traffic flow from the hotel was not a concern. **Member Udoni** stated while the number of variations concerned her, the drone view was informative and she did not see issues with the surrounding properties and granting the requested variances. **Chair Bichkoff** also said he was initially concerned about the number of variations but agreed with **Member Udoni** regarding the context of the property. **Member Udoni** further stated she supported the text amendment.

There being no further discussion; the following motions were made:

Member Udoni moved, seconded by **Member Kalina**, having made findings based on facts covered in a public hearing on June 25, 2019, the Zoning Board recommends approval to the Village Board of a Special Use Permit to construct a 113-room Home2 Hotel by Hilton at 350 Knightsbridge Parkway, in the Office/Industrial (O/Ib) zoning subdistrict, per Section 6-8-5 of the Lincolnshire Village Code, as presented in the petitioner's presentation packet and based on the Special Use Findings of Fact.

Roll Call:

Ayes: Bichkoff, Kalina, Udoni, Hersh, Curtin and Josephson.

Nayes: None

The motion passed unanimously.

Member Udoni moved, seconded by **Member Kalina**, having made findings based on facts covered in a public hearing on June 25, 2019, the Zoning Board recommends approval to the Village Board variations for building height, front yard setback, rear yard setback, and side yard setback for the property at 350 Knightsbridge Parkway, per Sections 6-8-8, 6-8-9, and 6-11-2-B-4 of the Lincolnshire Village Code, as presented in the petitioner's presentation packet and based on the Zoning Variations Findings of Fact.

Roll Call:

Ayes: Bichkoff, Kalina, Udoni, Hersh, Curtin and Josephson.

Nayes: None

The motion passed unanimously.

Member Hersh moved, seconded by **Member Curtin**, having made findings based on facts covered in a public hearing on June 25, 2019, the Zoning Board recommends approval to the Village Board a text amendment to Section 6-11-2 of the Lincolnshire Village Code, to revise hotel parking requirements for dining areas such that the proposed calculation is 1 space/unit + 0.5 spaces/employee + 1 space/50 square feet of lounge or dining area open to the public, as presented in the petitioner's presentation packet and based on the Text Amendment Findings of Fact.

Roll Call:

Ayes: Bichkoff, Kalina, Udoni, Hersh, Curtin and Josephson.

Nayes: None

The motion passed unanimously.

AVM/CED Gilbertson stated the ARB public hearing for a wall sign variation will continue on July 16th, 2019, with additional consideration for landscape and design elements of the building. After a recommendation from the ARB, this project will go before the Village Board possibly in August or September.

4.0 UNFINISHED BUSINESS (None)

5.0 NEW BUSINESS

6.0 CITIZENS COMMENTS.

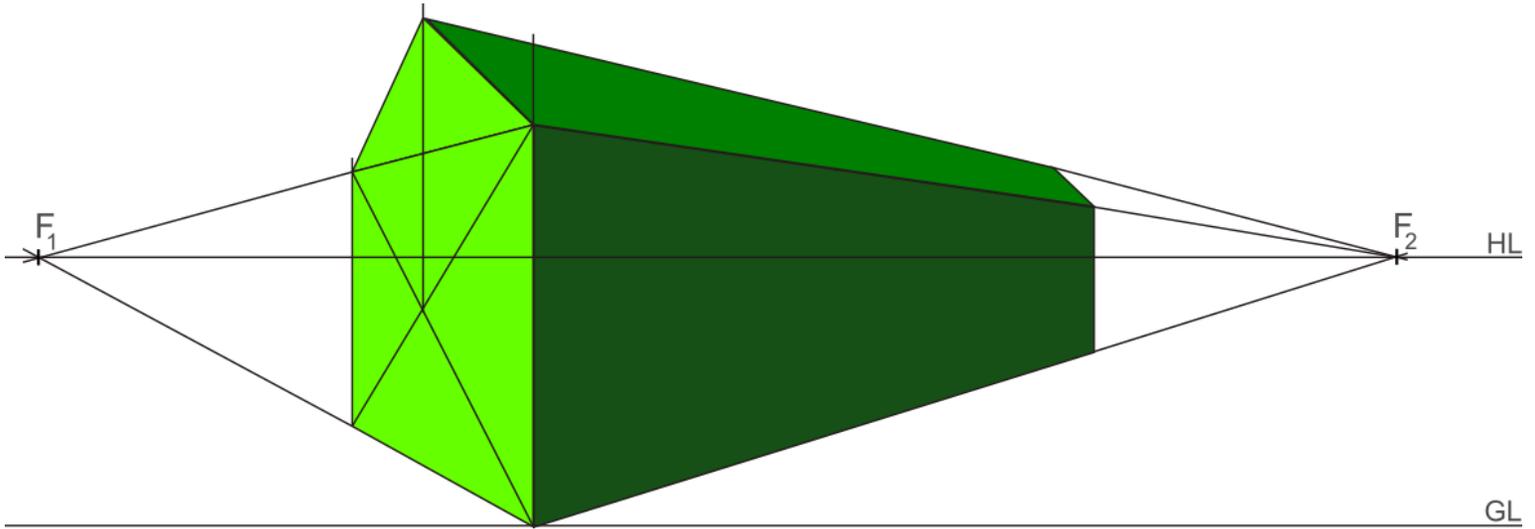
Chair Bichkoff thanked the new members and also Trustee Harms Muth for attending the meeting and looked forward to her participation in the future.

7.0 ADJOURNMENT

There being no further business, **Chair Bichkoff** requested a motion for adjournment. **Member Udoni** moved, and **Member Josephson** seconded the motion to adjourn. The meeting adjourned at 8:15 P.M.

Minutes submitted by Carol Lustig, Administrative Assistant, Community & Economic Development Department

DRAFT



DESIGN GUIDELINES

Village of Lincolnshire

Community & Economic Development
www.lincolnshireil.gov

Approved: November 23, 2015

A. PURPOSE OF GUIDELINES 3

**B. DESIRED CHARACTER &
DEVELOPMENT PATTERN 4**

GUIDELINES AREA MAP 5

PURPOSE

1 A. PURPOSE OF DESIGN GUIDELINES

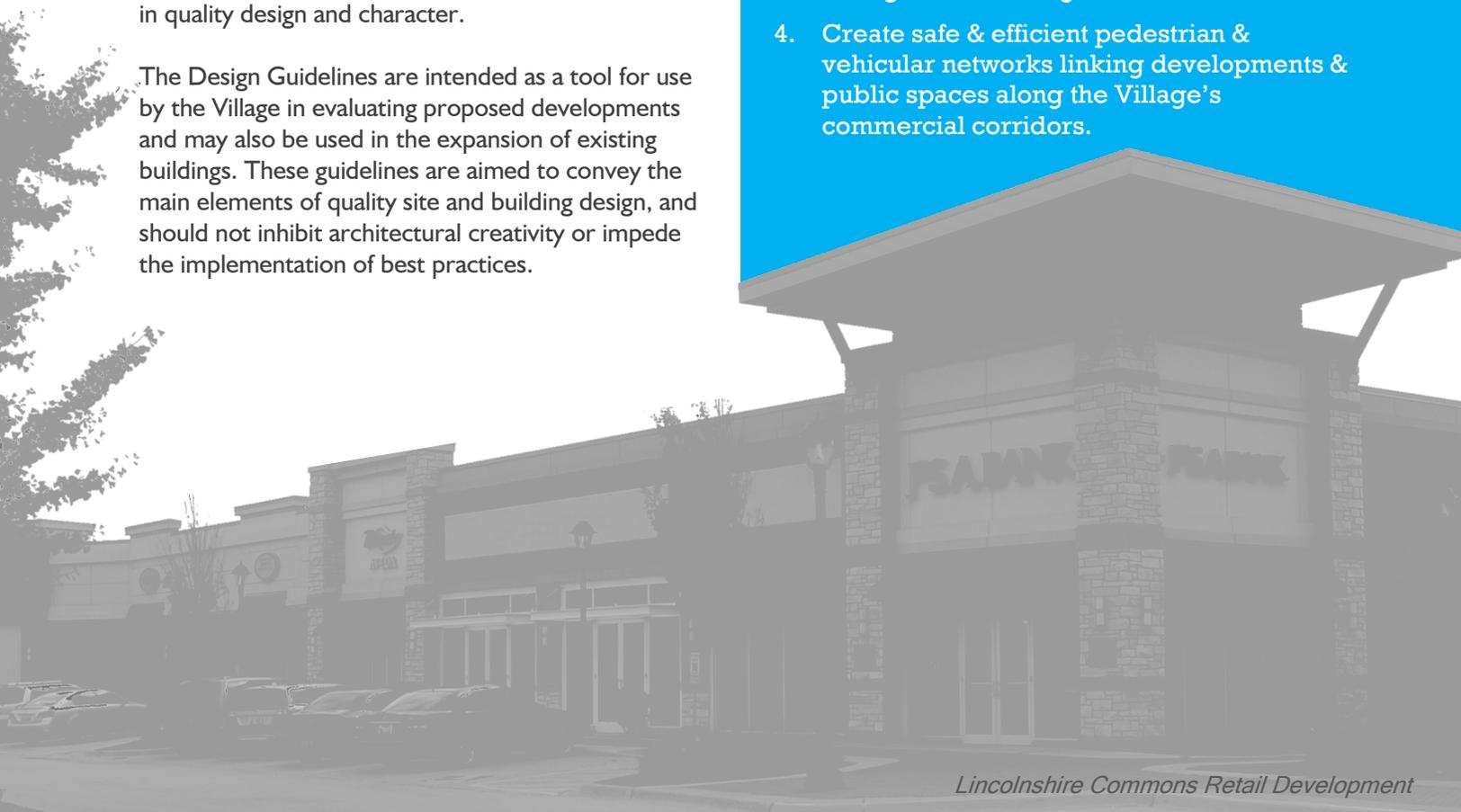
Since incorporation in 1957, the Village of Lincolnshire has established itself as a community that emphasizes the importance of the built environment through distinctive site design, high-quality architecture, and preservation of the natural environment. This mindset is evident in the original custom-built single-family homes of the Ladd's Lincolnshire Subdivision and continues through every new development proposal requested in Lincolnshire.

The purpose of these Guidelines is to represent the design objectives of the Village for non-residential development along the main commercial corridors within Lincolnshire. These corridors serve as the main thoroughfares throughout the community and are travelled by numerous residents and visitors on a daily basis. As a result, the visual character of Lincolnshire's built environment is "front and center" and sets the tone of the community's identity. While high-level development design is a goal throughout the entire community, these highly-visible corridors are the focus of the Design Guidelines and should exemplify the best in quality design and character.

The Design Guidelines are intended as a tool for use by the Village in evaluating proposed developments and may also be used in the expansion of existing buildings. These guidelines are aimed to convey the main elements of quality site and building design, and should not inhibit architectural creativity or impede the implementation of best practices.

Primary Objectives of Guidelines:

1. Further the vision of the Update 2012 Comprehensive Plan by providing design & aesthetic standards for commercial, mixed-use & office development within the Village's commercial corridors.
2. Create a contextual relationship with the existing Village character, while avoiding repetitive & uninteresting built environments.
3. Establish reasonable expectations regarding architecture & landscape design to strengthen the Village's economic tax base.
4. Create safe & efficient pedestrian & vehicular networks linking developments & public spaces along the Village's commercial corridors.



Lincolnshire Commons Retail Development

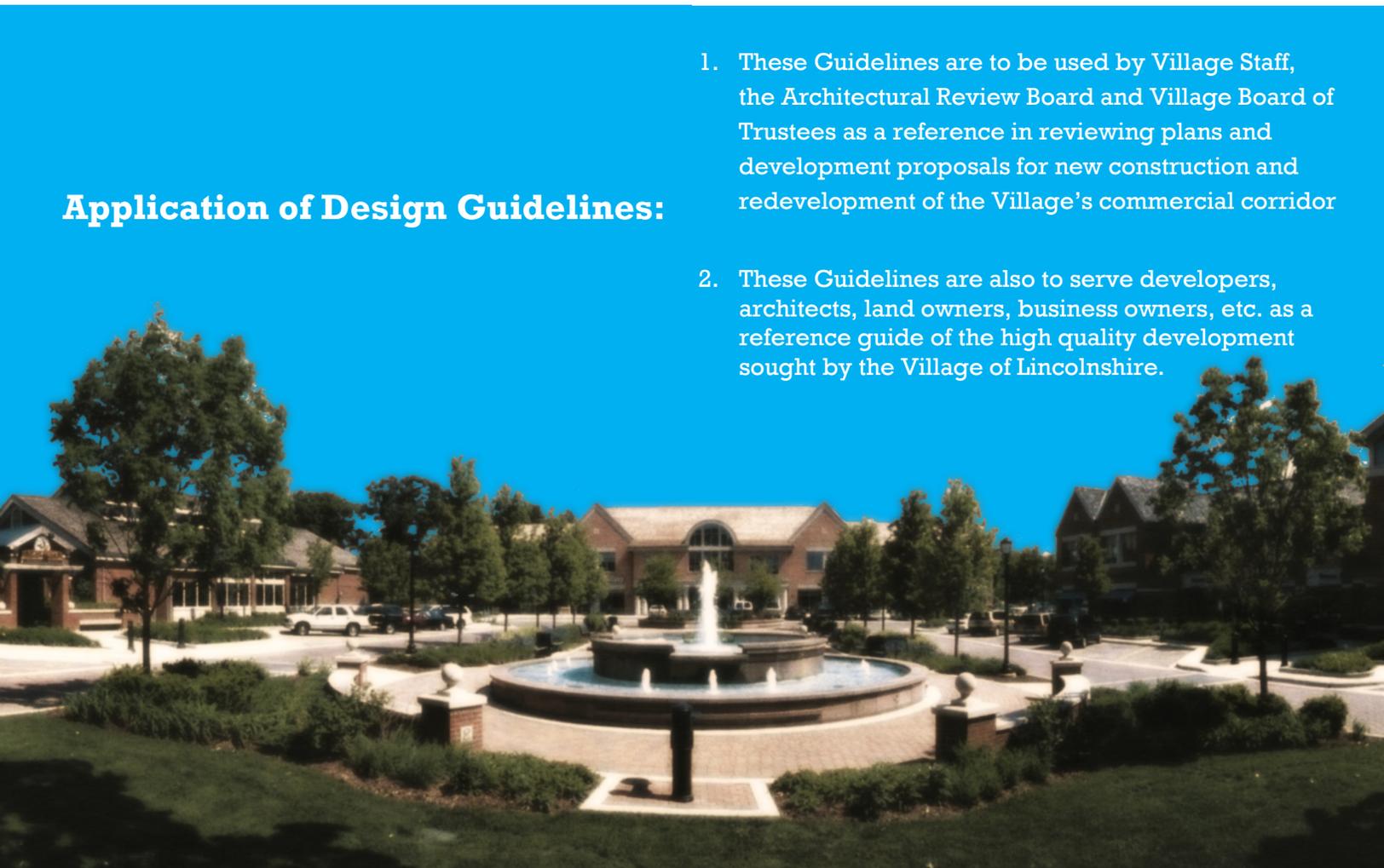
1 B. DESIRED CHARACTER & DEVELOPMENT PATTERN

The highly traveled regional roadways of Milwaukee Avenue, Half Day Road (IL Route 22), Aptakisic Road, and Interstate 94 provide Lincolnshire with the opportunity to reinforce its commitment to quality architecture and design (see Guidelines Area Map on next page).

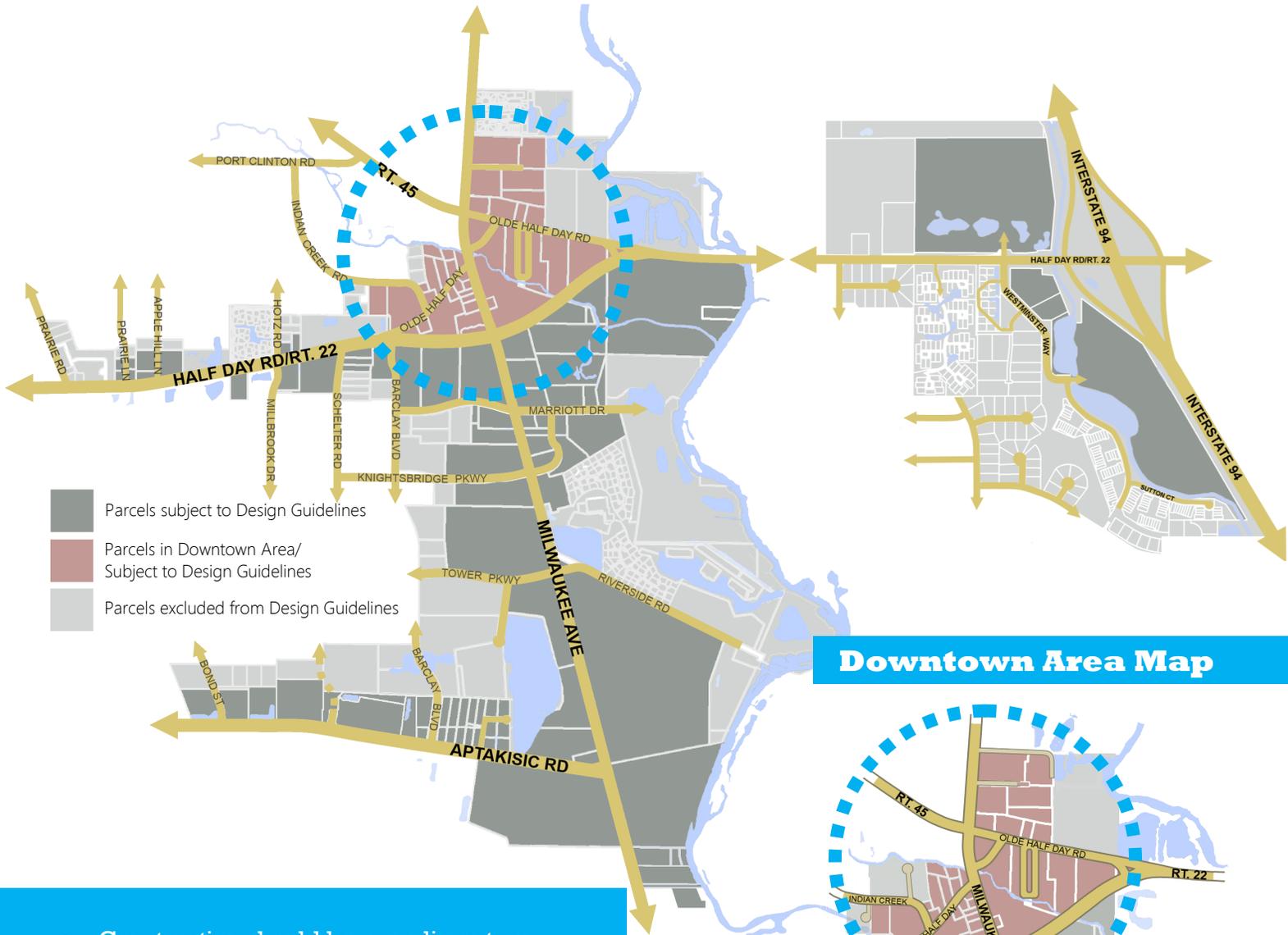
Development must go beyond the sole inspiration of aesthetics and also enhance Lincolnshire's economic vitality. The Village's expectations must take into account the economic climate and how such expectations effects a business's overall operation. Design and aesthetic recommendations/requirements should not serve as obstructions without due consideration to the economic impacts on the developer/operator. Rather, successful design should achieve a balance of quality architecture appropriate for Lincolnshire while being financially reasonable to the developer/owner.

Application of Design Guidelines:

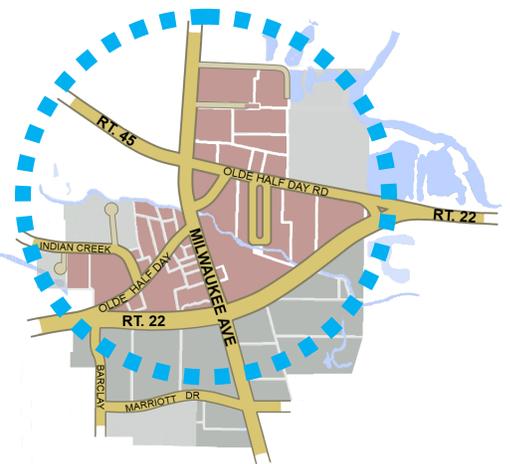
1. These Guidelines are to be used by Village Staff, the Architectural Review Board and Village Board of Trustees as a reference in reviewing plans and development proposals for new construction and redevelopment of the Village's commercial corridor
2. These Guidelines are also to serve developers, architects, land owners, business owners, etc. as a reference guide of the high quality development sought by the Village of Lincolnshire.



Guidelines Area Map



Downtown Area Map



- Construction should be complimentary to the established architectural character, but also establish a unique identity and place.
- Development should consist of exceptional design and quality building materials reflective of the built environment. Where appropriate, the use of quality building materials on every building façade should be accomplished.
- Design recommendations/ requirements should not serve as obstructions without consideration to the economic impacts on the development.

Development in the Downtown Area should have a special focus on the common design elements/themes that characterize the Downtown area and are encouraged to incorporate such common elements/themes within the area to establish cohesion, while facilitating architectural creativity.

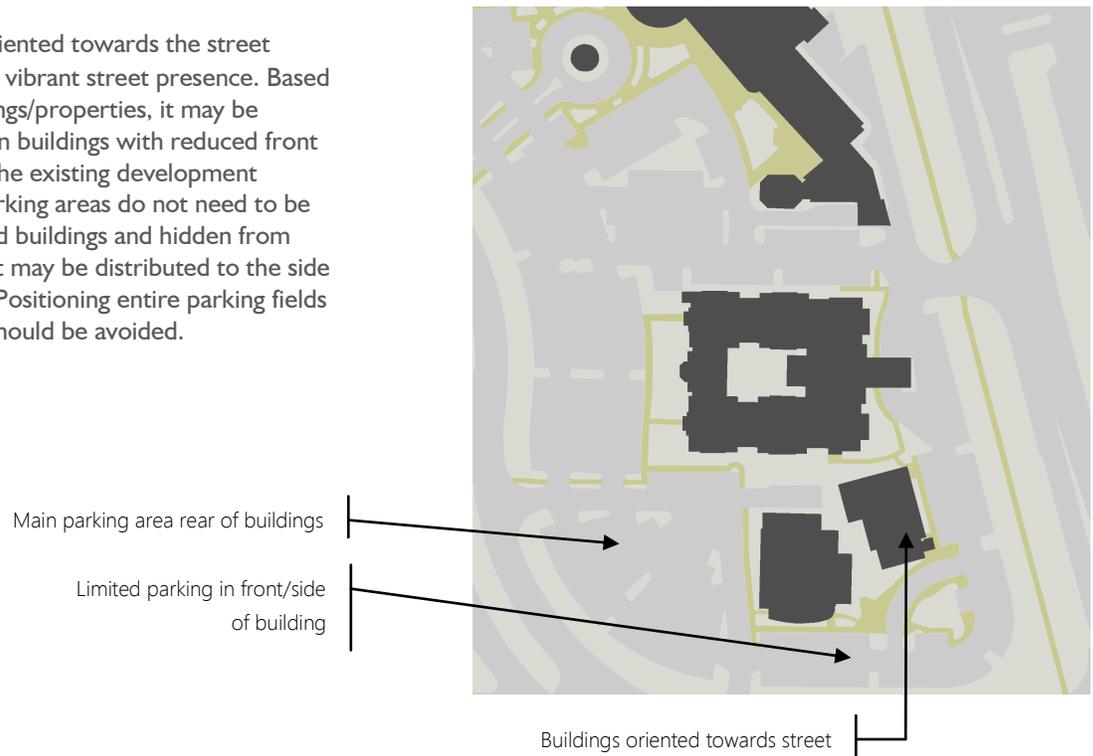


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DESIGN GUIDELINES

2 A. PLACEMENT AND ORIENTATION

1. Buildings should be oriented towards the street frontage to establish a vibrant street presence. Based on the adjacent buildings/properties, it may be appropriate to position buildings with reduced front setbacks to maintain the existing development pattern. Off-street parking areas do not need to be located entirely behind buildings and hidden from public/street view, but may be distributed to the side and rear of buildings. Positioning entire parking fields in front of a building should be avoided.



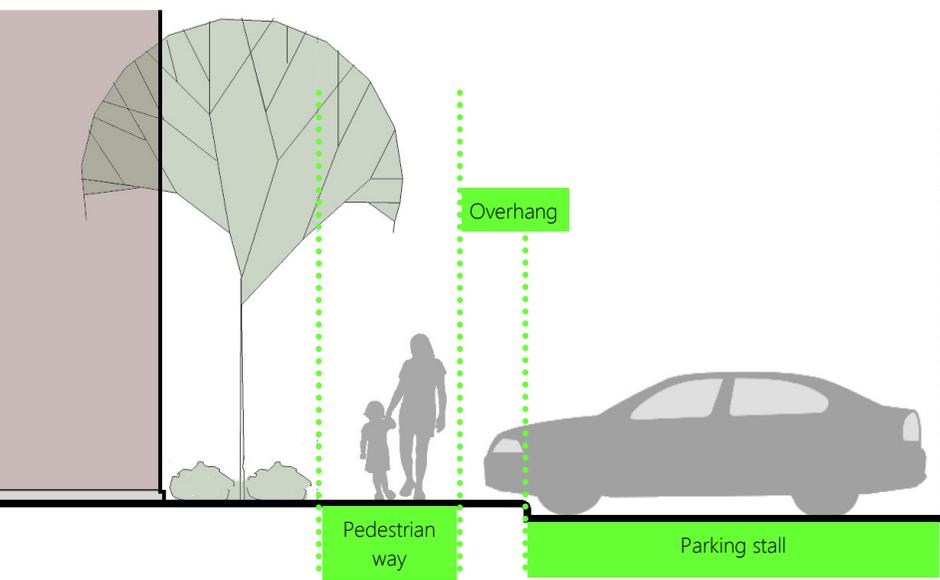
2. Buildings on corner lots should be positioned appropriately to take advantage of the corner street frontage and establish a prominent focal point, both in building location and architectural features. Thoughtful site design to locate main parking fields away from the intersection should be conducted.
3. Vehicle drive-thru facilities, including service windows and access lanes, should be positioned to minimize the visual impact from the street frontage to the greatest extent possible. Creative site design techniques, such as detached drive-thru facilities or integration of the drive-thru facility into the site/building design to conceal the facility may be appropriate.



2 A. PLACEMENT AND ORIENTATION (cont.)

4. Parking areas should be designed to provide safe and logical navigation throughout the site/development. When possible, sidewalk connectors from the parking lot to the building pad should be provided to minimize pedestrians having to walk within vehicle drive aisles. Vehicular ingress and egress to a site should focus on maximizing vehicle stacking opportunities so there is minimal impact on internal circulation and parking.

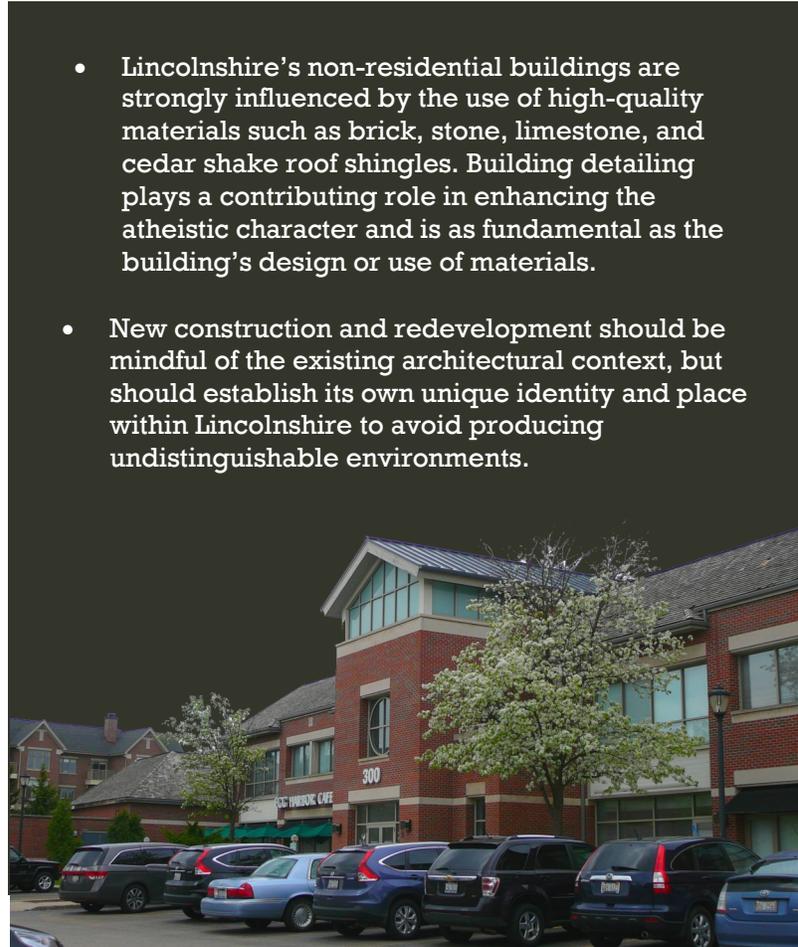
5. Parking spaces immediately adjacent to a building should be separated with adequate foundation landscape planting areas to establish a refined transition between parking areas and the building. For parking spaces fronting a curb line, the parking space length can be shortened by 2 feet where a vehicle overhang can be provided. Parking spaces where vehicle overhang is adjacent to a sidewalk, the sidewalk width should be increased to 7 feet to provide sufficient/unobstructed pedestrian access.



2 B. ARCHITECTURAL CHARACTER

Having been established in 1957, through the original “Ladd’s” Lincolnshire subdivision, the Village’s architectural style is indicative of the post-War era. The Village isn’t defined by one dominant style - Postmodern influences, mixed with regional Prairie-style elements, and combined with Traditional themes - are a few examples of the varying architectural style within Lincolnshire.

- Lincolnshire’s non-residential buildings are strongly influenced by the use of high-quality materials such as brick, stone, limestone, and cedar shake roof shingles. Building detailing plays a contributing role in enhancing the aesthetic character and is as fundamental as the building’s design or use of materials.
- New construction and redevelopment should be mindful of the existing architectural context, but should establish its own unique identity and place within Lincolnshire to avoid producing undistinguishable environments.



2 C. ARCHITECTURAL ELEMENTS

1. One-story commercial buildings should have their height accentuated through varied roof heights or architectural tower elements to provide presence.



2. Tower elements are encouraged and should be incorporated into the building design, where appropriate. Roof and building façade materials for such elements can incorporate distinctive materials separate from the main building field, but should be complementary to the overall building design and scale.



3. Buildings should incorporate a three-component façade design, including:

- 1) Base element (through materials and design),
- 2) A main building field, and
- 3) Varied roofline.



2 D. BUILDING MATERIALS

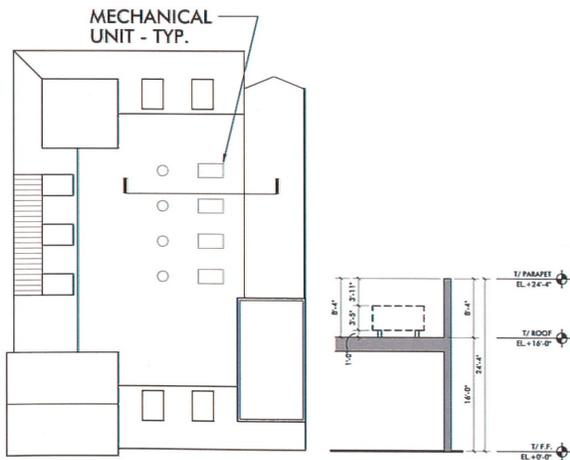
Beyond architectural style, a key element of a building's identity is the application of quality exterior materials. A variety of materials, such as stone, brick, granite, steel, wood, etc, is encouraged to create an enduring appearance.

1. Exterior materials should be coordinated with adjacent buildings to establish a harmonious character. However, repetitive use of like materials and colors can create a monotonous environment which could lead to a lack of identity amongst developments/buildings.
2. Synthetic materials such as Exterior Insulation and Finishing Systems (EIFS) and Dryvit® should not be used as the principal building material, but can be an acceptable application for secondary accent elements and features. However, materials such as cement fiber siding (“hardiboard”) and composite roofing shingles that give the impression of natural materials can be an acceptable substitute for primary exterior building materials.
3. Rooftop equipment screens, rain gutters, downspouts, exhaust vent/screens, and similar ancillary components should coordinate with the building colors to appear as unobtrusive as possible.
4. To achieve a strong architectural setting, it is essential building façades be well articulated, with special attention to street-facing façades. Multiple building façades visible from the public way, parking lots, etc. must also display equal attention to detail and design as the primary façade, in which the material palette should be carried through on all visible façades of the building.
5. Blank walls facing public ways are highly discouraged and should incorporate architectural detailing and ornamentation even if not a customer entry. False storefronts or other detailing that gives the impression of an active elevation should be utilized.
6. Architectural detailing and ornamentation (e.g., windows, cornices, lintels, medallions, columns, etc.) are encouraged to provide visual interest.

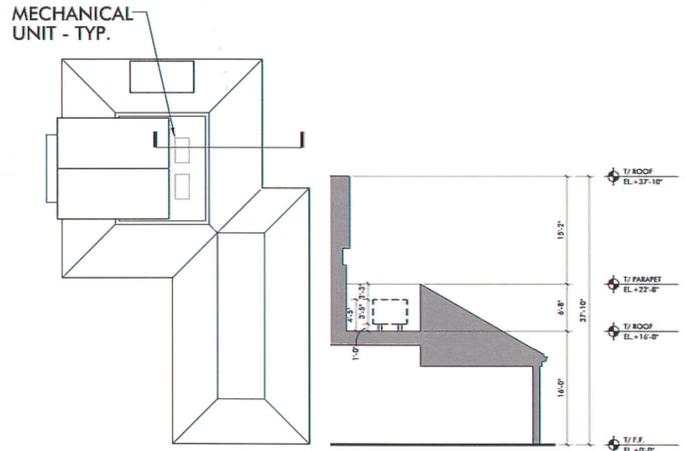


2 E. ROOFS

1. Roof styles must be compatible with the building's architectural design character.
2. Roof design elements (e.g., dormers, "eyelids", etc.) are encouraged to break up long roof sections. However, use of such elements should be implemented consciously so that elements do not appear forced.
3. Roof materials should consist of slate shingles, architectural-grade asphalt shingles, or synthetic shingles which give the appearance of slate, cedar or natural materials. Cedar shake roofing shingles are also acceptable; however, the long term maintenance and associated costs may not outweigh the visual appeal of such material. Roof materials for tower elements can incorporate distinctive materials separate from the main roof, such as standing seam metal, but should be complementary to the overall roof design.
4. Roofs should be designed to permit rooftop-mounted mechanical equipment to be placed within a well or behind parapet walls to be screened from surrounding properties.
5. Roof heights should be varied, where appropriate.



Parapet Roof Screen



Roof Well Screen

© A. Epstein and Sons, Int'l

2 F. AWNINGS & CANOPIES

1. Awnings and canopies should be an integral architectural feature of the building design, tailored to the façade of the building and positioned so that distinctive architectural features remain visible.
2. Materials should consist of noncombustible, non-reflective canvas or canvas-like material. Metal awnings and canopies can be appropriate based on compatibility with specific building architectural style.
3. Colors and patterns of awnings need not match the overall color scheme of the building to which they are attached, but should complement the building design.



G. LIGHTING

1. Site lighting should reflect the architectural tone of the development and maintain a compatible style/design throughout.
2. Building illumination should extend beyond aesthetics and serve a functional purpose for safety. Architectural building elements and ornamentation can be highlighted through the use of thematic lighting, but should be carried out tastefully.



3. Pedestrian-oriented lighting fixtures and bollard lighting should be included in the site development.



2 H. SERVICE & SITE AMENITIES

1. Site amenities such as flower baskets, sculptures, water fountains, children’s play areas, etc., are encouraged to introduce a sense of place and character to developments.
2. Site furniture (e.g., benches, trash containers, drinking fountains, bike racks/stations, etc.) locations must be strategically positioned to be functional. Materials should be weather-resistant to reduce wear and tear.
3. Trash enclosures and service areas need to be concealed with a solid enclosure constructed of consistent building materials and colors to blend with the surroundings. For those portions of the enclosure which are open to public view, landscaping to soften the visual effect of enclosures and service areas is necessary.
4. Every effort should be taken to locate service areas in the rear of the site/building layout and limit visibility from street frontages.



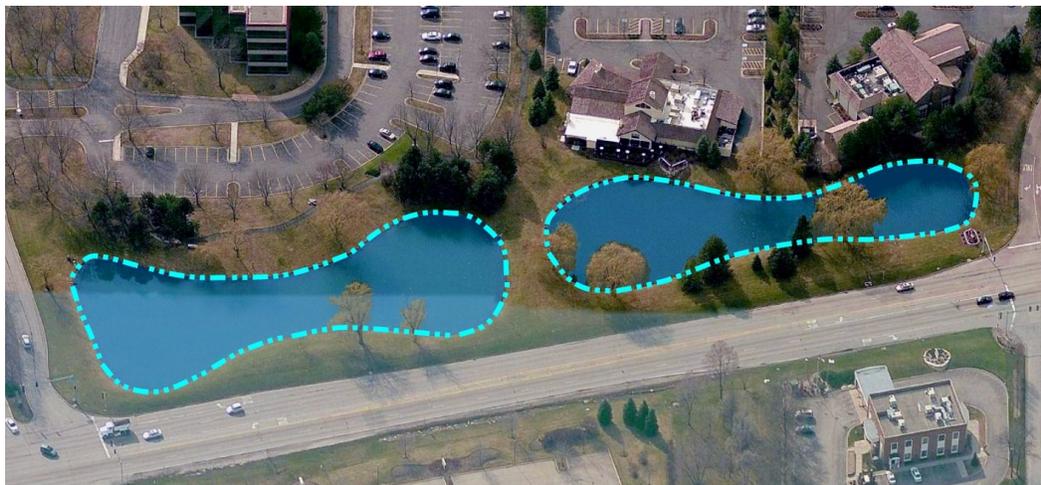
2 I. LANDSCAPING

The manner in which commercial buildings are landscaped reflects strongly on the Village's image and commitment to the natural environment. As a result, the landscaping expectations for commercial developments is to achieve and maintain sustainable and functional landscapes, which emphasize the use of plants native to the region and to provide vegetation color and interest throughout the entire year.

1. Landscaping should be comprehensive to serve the individual building/site and also complement the surrounding landscape character. The use of evergreen trees and shrubs is encouraged to offer color and texture during winter seasons. Although it is routine practice to encourage dense landscaping and tree clusters along the street frontage to visually obscure commercial buildings, site landscaping should be implemented to contribute in creating a sense of place, not as a visual blocking tool obscuring commercial buildings.
2. Non-linear arrangement of landscape beds is preferred and should contain a variety of landscape species to present a diverse palate of height, color and texture. Plantings should also be selected to take advantage of the region's seasonal schedule to provide a range of color and texture throughout the year.
3. To the greatest extent possible, native plantings should be incorporated into the landscape design.
4. A "soldier-course" of landscape plantings should generally be avoided.
5. Screening of equipment should be accomplished through plantings that work into the natural rhythm of the landscape design, rather than introducing an evergreen "soldier-course" of material not present elsewhere on the site.



6. Stormwater detention basins often occupy a significant amount of open space and can be located in high-profile areas of a site. It is important detention areas are visually appealing and should be designed in a non-uniform shape. Expanses of linear shoreline should be reduced in favor of a gradually undulating perimeter, creating a more natural appearance, rather than engineered. Shorelines should be properly sloped to prevent erosion and facilitate native plantings.



**VILLAGE OF LINCOLNSHIRE
LAKE COUNTY, ILLINOIS**

RESOLUTION NO. 19-_____

**A RESOLUTION
ACCEPTING THE DEDICATION OF
RIGHT-OF-WAY AND A PUBLIC UTILITY EASEMENT
(231 Olde Half Day Road)**

WHEREAS, Njb Real Estate LLC (the “Owner”) is the owner of that certain real estate commonly known as 231 Olde Half Day Road and identified as P.I.N. 15-15-400-039 (the “Subject Property”); and

WHEREAS, Alexander and Julia Katsnelson are contract purchasers of the Subject Property (the “Purchasers”) (the Owner and Purchasers are collectively known as the “Applicant”); and

WHEREAS, Applicant intends to develop the Subject Property with a new medical office; and

WHEREAS, as a condition of improving the Subject Property for a medical office the Applicant is required to dedicate right-of-way to the Village comprising that portion of the Subject Property which has been used as part of Olde Half Day Road; and

WHEREAS, the Applicant has prepared a Plat of Dedication for Olde Half Day Road, dated August 20, 2019, and prepared by Morris Engineering, Inc. (the “Plat of Right-of-Way”); and

WHEREAS, as a condition of improving the Subject Property for a medical office the Applicant is required to connect to and grant a public utility easement for the Village’s storm sewer main; and

WHEREAS, the Applicant has prepared a Plat of Easement for Public Utilities and Drainage, dated August 20, 2019, and prepared by Morris Engineering, Inc. (the “Plat of Easement”); and

WHEREAS, the Village Engineer has reviewed the Plat of Right-of-Way and Plat of Easement, finds them to meet the standards for such improvements described in the Village Code, and recommends to the Corporate Authorities that the Village accept the dedications described therein.

NOW, THEREFORE, BE IT RESOLVED by the Mayor and Board of Trustees of the Village of Lincolnshire, Lake County, Illinois, in exercise of its home rule powers, that the Village of Lincolnshire does hereby accept the dedications described in the Plat of Right-of-Way and Plat of Easement, true and correct copies of which are attached hereto as Exhibit A;

BE IT FURTHER RESOLVED that the Mayor, Village Clerk and Finance Director are hereby directed and authorized to sign the aforesaid Plats and cause them to be recorded in the Office of the Lake County Recorder of Deeds prior to the issuance of a Certificate of Occupancy for the premises located at 231 Olde Half Day Road; and

BE IT FURTHER RESOLVED that this Resolution shall be in full force and effect immediately upon its passage and approval, provided that the Village’s acceptance of the foregoing dedications shall not be effective until the aforesaid plats are fully signed and recorded in the manner provided by law.

PASSED this ____rd day of _____, 2019, by the Corporate Authorities of the Village of Lincolnshire on a roll call vote as follows:

AYES:

NAYS:

ABSTAIN:

ABSENT:

APPROVED this ____rd day of _____, 2019.

Elizabeth J. Brandt, Mayor

ATTEST:

Barbara Mastandrea, Village Clerk

EXHIBIT A

PLAT OF DEDICATION FOR OLDE HALF DAY ROAD

AND

PLAT OF EASEMENT FOR PUBLIC UTILITIES AND DRAINAGE



BASIS OF BEARING:
CENTER LINE OF OLDE HALF DAY ROAD
(FORMERLY ELGIN ROAD ROUTE 22).
S 36°53'00" W (R)

PLAT OF DEDICATION

FOR

OLDE HALF DAY ROAD

THIS PLAT SUBMITTED FOR RECORDING BY:
VILLAGE OF LINCOLNSHIRE
ONE OLDE HALF DAY ROAD
LINCOLNSHIRE, IL 60069
RETURN MYLARS TO THE VILLAGE OF LINCOLNSHIRE

FOR

IN

PART OF THE WEST HALF OF THE SOUTHEAST 1/4 OF SECTION 15, TOWNSHIP 43 NORTH, RANGE 11,
EAST OF THE THIRD PRINCIPAL MERIDIAN, IN LAKE COUNTY, ILLINOIS.

COUNTY RECORDER'S CERTIFICATE
STATE OF ILLINOIS)
)SS
COUNTY OF LAKE)

THIS INSTRUMENT NUMBER _____ WAS FILED FOR RECORD IN
THE RECORDER'S OFFICE OF LAKE COUNTY, ILLINOIS.

DATED THIS _____ DAY OF _____, 20____.

BY: _____
COUNTY RECORDER

ENGINEER'S CERTIFICATE

APPROVED THIS _____ DAY OF _____, A.D. 20____ BY THE VILLAGE
ENGINEER OF THE VILLAGE OF LINCOLNSHIRE, LAKE COUNTY, ILLINOIS.

BY: _____
VILLAGE ENGINEER

MUNICIPAL CERTIFICATE AS TO SPECIAL ASSESSMENTS

STATE OF ILLINOIS)
)SS
COUNTY OF LAKE)

COLLECTOR FOR THE VILLAGE OF LINCOLNSHIRE, DO HEREBY CERTIFY THAT THERE ARE NO
DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR ANY DEFERRED
INSTALLMENTS THEREOF THAT HAVE NOT BEEN APPORTIONED AGAINST THE TRACT OF LAND
INCLUDED IN THE ANNEXED PLAT..

DATED THIS _____ DAY OF _____, 20____.

BY: _____
COLLECTOR

VILLAGE BOARD CERTIFICATE

UNDER THE AUTHORITY PROVIDED BY THE ILLINOIS REVISED STATUTES, ENACTED BY THE STATE
LEGISLATURE AND ON MOTION ADOPTED BY THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE,
THIS PLAT WAS GIVEN APPROVAL BY THE VILLAGE OF LINCOLNSHIRE AND MUST BE RECORDED
WITHIN SIX (6) MONTHS OF THE DATE OF APPROVAL BY THE MAYOR AND BOARD OF TRUSTEES
OTHERWISE IT IS NULL AND VOID.

APPROVED BY THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF LINCOLNSHIRE AT A
MEETING HELD _____.

BY: _____
MAYOR

BY: _____
VILLAGE CLERK

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS)
)SS
COUNTY OF DUPAGE)

I, THOMAS J. CESAL, ILLINOIS PROFESSIONAL LAND SURVEYOR NO.035-2205, DO HEREBY
CERTIFY THAT THE PLAT AS SHOWN ON THIS PLAT OF DEDICATION IS A CORRECT
REPRESENTATION OF THE PROPERTY DESCRIBED AS FOLLOWS:

THAT PART OF THE WEST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 15, TOWNSHIP 43
NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:
COMMENCING AT A POINT IN THE CENTER OF MILWAUKEE AVENUE NORTH 19 DEGREES
WEST 928.48 FEET FROM THE INTERSECTION OF THE CENTER LINE OF SAID MILWAUKEE
AVENUE AND THE SOUTH LINE OF SAID WEST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 15;
THENCE SOUTH 71 DEGREES WEST 268.5 FEET TO THE NORTHWESTERLY CORNER OF A
TRACT OF LAND DESCRIBED IN DEED RECORDED AS DOCUMENT 598247; THENCE NORTH
31 DEGREES 58 MINUTES WEST 237.4 FEET TO THE CENTER OF ELGIN ROAD ALSO BEING
THE POINT OF BEGINNING; THENCE SOUTH 36 DEGREES 53 MINUTES WEST ALONG THE
CENTER OF SAID ROAD 117.61 FEET TO THE NORTHEAST CORNER OF SCHOOL LOT AS
DESCRIBED IN DEED RECORDED AS DOCUMENT 24697; THENCE SOUTH 18 DEGREES 7
MINUTES EAST ALONG THE EASTERLY LINE OF SAID SCHOOL LOT, 40.29 FEET; THENCE
NORTH 36 DEGREES 53 MINUTES EAST ALONG A LINE 33 FEET SOUTHEASTERLY OF, AS
MEASURED PERPENDICULAR TO AND PARALLEL WITH THE CENTER LINE OF ELGIN ROAD
(COMMONLY KNOWN AS OLDE HALF DAY ROAD) 127.95 FEET; THENCE NORTH 31
DEGREES 58 MINUTES WEST 35.38 FEET TO THE PLACE OF BEGINNING, IN LAKE COUNTY,
ILLINOIS.

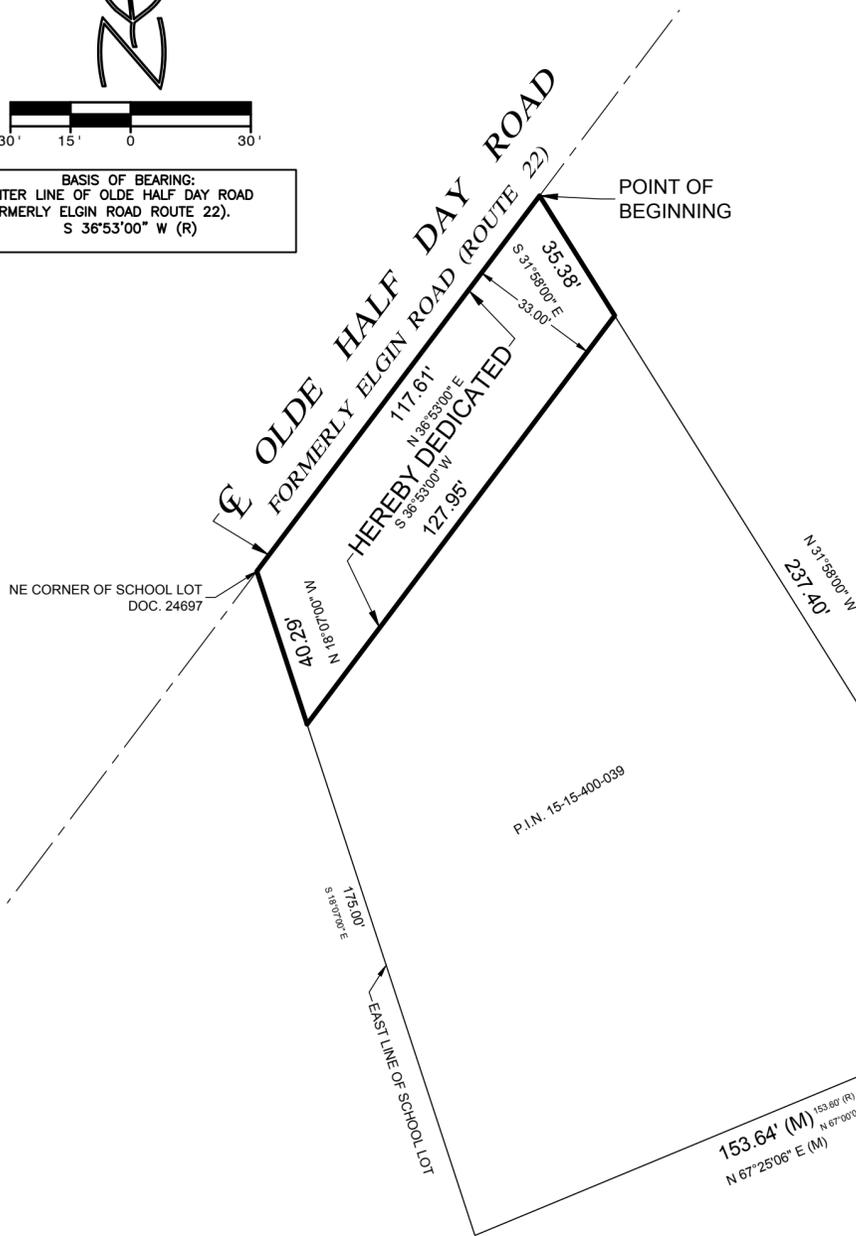
I FURTHER CERTIFY THAT NO PART OF THE PROPERTY COVERED BY THIS PLAT OF DEDICATION
IS LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA AS IDENTIFIED BY THE FEDERAL
EMERGENCY MANAGEMENT AGENCY (PER MAP NUMBER 17097C0258K, EFFECTIVE DATE OF
SEPTEMBER 18, 2013) AND THAT NO PART OF SAID PROPERTY BORDERS ON OR INCLUDES ANY
PUBLIC WATERS IN WHICH THE STATE OF ILLINOIS HAS ANY PROPERTY RIGHTS OR PROPERTY
INTERESTS.

I FURTHER CERTIFY THAT THIS PLAT OF DEDICATION LIES WITHIN 1-1/2 MILES OF THE
CORPORATE LIMITS OF THE VILLAGE OF LINCOLNSHIRE WHICH HAS ADOPTED A VILLAGE PLAN
AND IS EXERCISING THE SPECIAL POWERS AUTHORIZED BY THE STATE OF ILLINOIS
ACCORDING TO 65 ILCS 5/11-12-6, AS HERETOFORE OR HEREAFTER AMENDED.

GIVEN UNDER MY HAND AND SEAL AT THE VILLAGE OF LISLE, DUPAGE COUNTY, ILLINOIS, THIS
____ 20TH ____ DAY OF ____ AUGUST _____, 20 19 ____.

Thomas J. Cesal

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035-2205
MY LICENSE EXPIRES NOVEMBER 30, 2016.
ILLINOIS PROFESSIONAL DESIGN FIRM PROFESSIONAL
ENGINEERING CORPORATION NO. 184-001245



LEGEND

- PROPERTY LINE
- - - - - CENTERLINE
- RIGHT-OF-WAY LINE
- - - - - SECTION LINE
- (R) RECORD
- (M) MEASURED

COUNTY CLERKS CERTIFICATE

STATE OF ILLINOIS)
)SS
COUNTY OF LAKE)

I _____, COUNTY CLERK OF LAKE
COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT
GENERAL TAXES, NO UNPAID CURRENT GENERAL TAXES, NO UNPAID FORFEITED
TAXES, NO DELINQUENT OR UNPAID CURRENT SPECIAL ASSESSMENTS, AND NO
REDEEMABLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THE EASEMENT
PLAT.

DATED THIS _____ DAY OF _____, 20____.

BY: _____
COUNTY CLERK

SOUTH LINE OF WEST 1/2 OF SE 1/4 OF SECTION 15-43-11

POINT OF COMMENCING

COUNTY RECORDER'S CERTIFICATE

STATE OF ILLINOIS)
)SS
COUNTY OF LAKE)

THIS INSTRUMENT NUMBER _____ WAS
FILED FOR RECORD IN THE RECORDER'S OFFICE OF LAKE COUNTY, ILLINOIS.

DATED THIS _____ DAY OF _____,
20____.

BY: _____
COUNTY RECORDER

Morris Engineering, Inc.
Civil Engineering • Consulting
Land Surveying
515 Warrenville Road, Lisle, IL 60532
Phone: (630) 271-0770
Survey: (630) 271-0599
FAX: (630) 271-0774
Website: www.ecivil.com





BASIS OF BEARING:
CENTER LINE OF OLDE HALF DAY ROAD
(FORMERLY ELGIN ROAD ROUTE 22).
S 36°53'00" W (R)

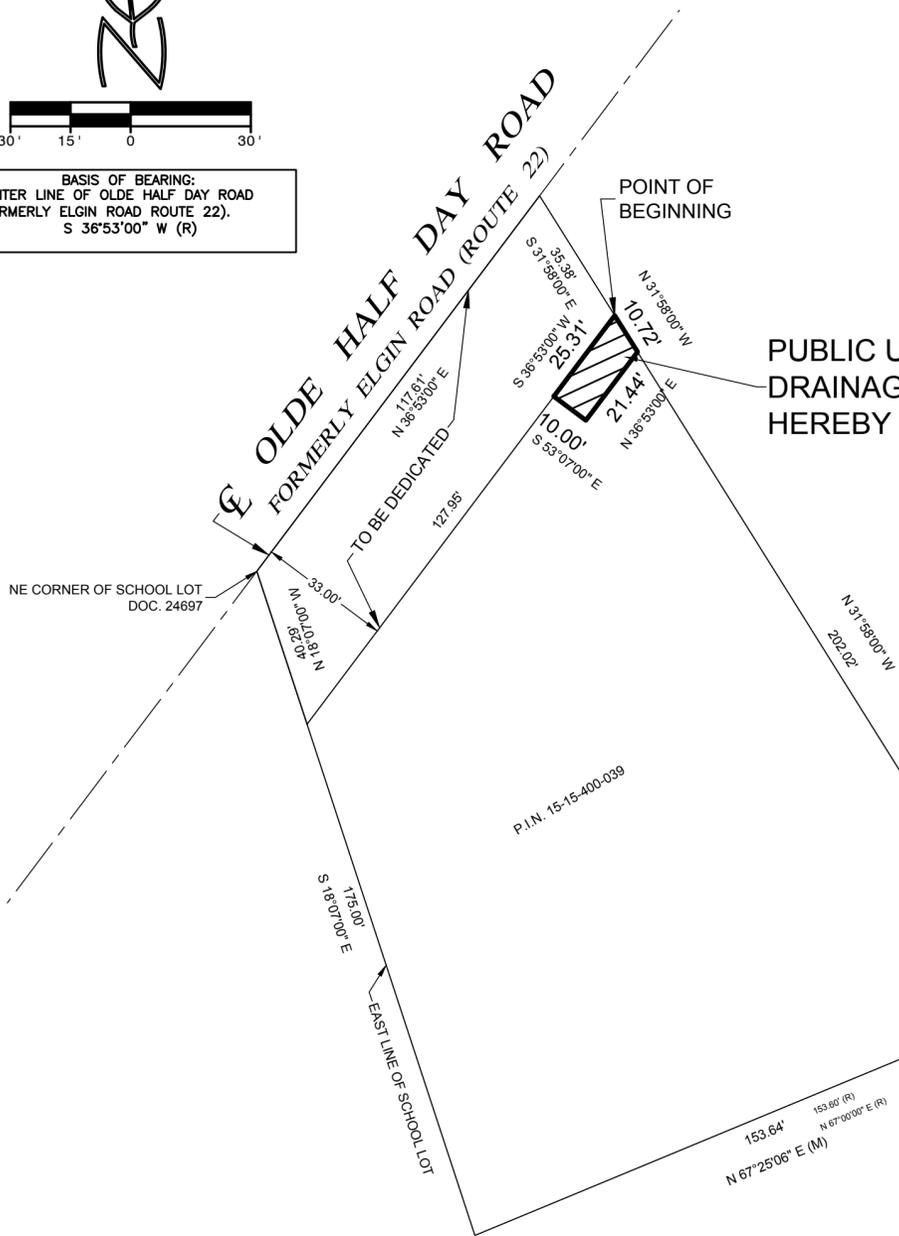
PLAT OF EASEMENT

FOR

PUBLIC UTILITIES AND DRAINAGE

IN

PART OF THE WEST HALF OF THE SOUTHEAST 1/4 OF SECTION 15, TOWNSHIP 43 NORTH, RANGE 11,
EAST OF THE THIRD PRINCIPAL MERIDIAN, IN LAKE COUNTY, ILLINOIS.



**PUBLIC UTILITY &
DRAINAGE EASEMENT
HEREBY GRANTED**

OWNER'S CERTIFICATE

STATE OF ILLINOIS)
)SS
COUNTY OF LAKE)

THIS IS TO CERTIFY THAT

IS THE OWNER OF THE PROPERTY DESCRIBED ABOVE AND AS SUCH OWNER, HAS CAUSED THE SAME TO BE PLATTED AS SHOWN HEREON, FOR THE USES AND PURPOSES THEREIN SET FORTH AND AS ALLOWED AND PROVIDED BY STATUTES, AND SAID OWNER, DOES HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE STYLE AND TITLE AFORESAID.

DATED AT _____ DAY OF _____, 20____.

BY: _____

ENGINEER'S CERTIFICATE

APPROVED THIS _____ DAY OF _____, A.D. 20____ BY THE VILLAGE ENGINEER OF THE VILLAGE OF LINCOLNSHIRE, LAKE COUNTY, ILLINOIS.

BY: _____
VILLAGE ENGINEER

MUNICIPAL CERTIFICATE AS TO SPECIAL ASSESSMENTS

STATE OF ILLINOIS)
)SS
COUNTY OF LAKE)

COLLECTOR FOR THE VILLAGE OF LINCOLNSHIRE, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT OR UNPAID CURRENT OR FORFEITED SPECIAL ASSESSMENTS OR ANY DEFERRED INSTALLMENTS THEREOF THAT HAVE NOT BEEN APPORTIONED AGAINST THE TRACT OF LAND INCLUDED IN THE ANNEXED PLAT..

DATED THIS _____ DAY OF _____, 20____.

BY: _____
COLLECTOR

VILLAGE BOARD CERTIFICATE

UNDER THE AUTHORITY PROVIDED BY THE ILLINOIS REVISED STATUTES, ENACTED BY THE STATE LEGISLATURE AND ON MOTION ADOPTED BY THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE, THIS PLAT WAS GIVEN APPROVAL BY THE VILLAGE OF LINCOLNSHIRE AND MUST BE RECORDED WITHIN SIX (6) MONTHS OF THE DATE OF APPROVAL BY THE MAYOR AND BOARD OF TRUSTEES OTHERWISE IT IS NULL AND VOID.

APPROVED BY THE MAYOR AND BOARD OF TRUSTEES OF THE VILLAGE OF LINCOLNSHIRE AT A MEETING HELD _____.

BY: _____
MAYOR

BY: _____
VILLAGE CLERK

NOTARY CERTIFICATE

STATE OF ILLINOIS)
)SS
COUNTY OF LAKE)

I, THE UNDERSIGNED, A NOTARY PUBLIC DO HEREBY CERTIFY THAT _____ PERSONALLY KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED IN THE FOREGOING INSTRUMENT, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THE EXECUTION OF THE FOREGOING INSTRUMENT AS HIS OR HER FREE AND VOLUNTARY ACT AND DEED FOR THE USES AND PURPOSES THEREIN SET FORTH.

GIVEN UNDER MY HAND AND OFFICIAL SEAL THIS _____ DAY OF _____, 20____.

NOTARY PUBLIC _____

SURVEYOR'S CERTIFICATE

STATE OF ILLINOIS)
)SS
COUNTY OF DUPAGE)

I, THOMAS J. CESAL, ILLINOIS PROFESSIONAL LAND SURVEYOR NO.035-2205, DO HEREBY CERTIFY THAT THE PLAT AS SHOWN ON THIS PLAT OF EASEMENT IS A CORRECT REPRESENTATION OF THE PROPERTY DESCRIBED AS FOLLOWS:

THAT PART OF THE WEST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 15, TOWNSHIP 43 NORTH, RANGE 11, EAST OF THE THIRD PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS: COMMENCING AT A POINT IN THE CENTER OF MILWAUKEE AVENUE NORTH 19 DEGREES WEST 928.48 FEET FROM THE INTERSECTION OF THE CENTER LINE OF SAID MILWAUKEE AVENUE AND THE SOUTH LINE OF SAID WEST 1/2 OF THE SOUTHEAST 1/4 OF SECTION 15; THENCE SOUTH 71 DEGREES WEST 268.5 FEET TO THE NORTHWESTERLY CORNER OF A TRACT OF LAND DESCRIBED IN DEED RECORDED AS DOCUMENT 598247; THENCE NORTH 31 DEGREES 58 MINUTES WEST 202.02 FEET TO A LINE 33.00 FEET SOUTHEASTERLY OF, AS MEASURED PERPENDICULAR TO AND PARALLEL WITH THE CENTER LINE OF ELGIN ROAD (COMMONLY KNOWN AS OLDE HALF DAY ROAD) ALSO BEING THE POINT OF BEGINNING; THENCE SOUTH 36 DEGREES 53 MINUTES WEST ALONG THE LAST DESCRIBED LINE 25.31 FEET; THENCE SOUTH 53 DEGREES 07 MINUTES EAST, 10.00 FEET; THENCE NORTH 36 DEGREES 53 MINUTES EAST ALONG A LINE 43 FEET SOUTHEASTERLY OF, AS MEASURED PERPENDICULAR TO AND PARALLEL WITH THE CENTER LINE OF ELGIN ROAD (COMMONLY KNOWN AS OLDE HALF DAY ROAD) 21.44 FEET; THENCE NORTH 31 DEGREES 58 MINUTES WEST 10.72 FEET TO THE PLACE OF BEGINNING, IN LAKE COUNTY, ILLINOIS.

I FURTHER CERTIFY THAT NO PART OF THE PROPERTY COVERED BY THIS PLAT OF EASEMENT IS LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA AS IDENTIFIED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (PER MAP NUMBER 17097C0258K, EFFECTIVE DATE OF SEPTEMBER 18, 2013) AND THAT NO PART OF SAID PROPERTY BORDERS ON OR INCLUDES ANY PUBLIC WATERS IN WHICH THE STATE OF ILLINOIS HAS ANY PROPERTY RIGHTS OR PROPERTY INTERESTS.

I FURTHER CERTIFY THAT THIS PLAT OF EASEMENT LIES WITHIN 1-1/2 MILES OF THE CORPORATE LIMITS OF THE VILLAGE OF LINCOLNSHIRE WHICH HAS ADOPTED A VILLAGE PLAN AND IS EXERCISING THE SPECIAL POWERS AUTHORIZED BY THE STATE OF ILLINOIS ACCORDING TO 65 ILCS 5/11-12-6, AS HERETOFORE OR HEREAFTER AMENDED.

I HEREBY DESIGNATE THE VILLAGE OF LINCOLNSHIRE TO RECORD THIS DOCUMENT WITH THE COUNTY OF LAKE, RECORDER OF DEEDS.

GIVEN UNDER MY HAND AND SEAL AT THE VILLAGE OF LISLE, DUPAGE COUNTY, ILLINOIS, THIS _____ 20TH _____ DAY OF _____ AUGUST _____, 20 19.

Thomas J. Cesal

ILLINOIS PROFESSIONAL LAND SURVEYOR NO. 035-2205
MY LICENSE EXPIRES NOVEMBER 30, 2016.
ILLINOIS PROFESSIONAL DESIGN FIRM PROFESSIONAL
ENGINEERING CORPORATION NO. 184-001245



LEGEND

- PROPERTY LINE
- - - - - CENTERLINE
- EASEMENT LINE
- - - - - SECTION LINE
- (R) RECORD
- (M) MEASURED

COUNTY CLERKS CERTIFICATE

STATE OF ILLINOIS)
)SS
COUNTY OF LAKE)

I _____, COUNTY CLERK OF LAKE COUNTY, ILLINOIS, DO HEREBY CERTIFY THAT THERE ARE NO DELINQUENT GENERAL TAXES, NO UNPAID CURRENT GENERAL TAXES, NO UNPAID FORFEITED TAXES, NO DELINQUENT OR UNPAID CURRENT SPECIAL ASSESSMENTS, AND NO REDEEMABLE TAX SALES AGAINST ANY OF THE LAND INCLUDED IN THE EASEMENT PLAT.

DATED THIS _____ DAY OF _____, 20____.

BY: _____
COUNTY CLERK

COUNTY RECORDER'S CERTIFICATE

STATE OF ILLINOIS)
)SS
COUNTY OF LAKE)

THIS INSTRUMENT NUMBER _____ WAS FILED FOR RECORD IN THE RECORDER'S OFFICE OF LAKE COUNTY, ILLINOIS.

DATED THIS _____ DAY OF _____, 20____.

BY: _____
COUNTY RECORDER



Morris Engineering, Inc.
Civil Engineering • Consulting
Land Surveying
515 Warrenville Road, Lisle, IL 60532
Phone: (630) 271-0770
Survey: (630) 271-0599
FAX: (630) 271-0774
Website: www.ecivil.com



August 20, 2019

I, Thomas Cesal, Illinois Land Surveyor No. 035-002205 in accordance with The Plat Act (765ILCS205/2) do hereby designate The Village of Lincolnshire, and/or representatives thereof, to record the Plat of Dedication for Olde Half Day Road, a true copy of which has been retained by me to assure no changes have been made to said Plat.

Dated this 20th day of August 2019, at Aurora, Kane County, Illinois.

A handwritten signature in black ink that reads 'Thomas J. Cesal'. The signature is written in a cursive style and is positioned above a horizontal line.

Thomas Cesal
Illinois Professional Land Surveyor
No. 035-002205

File No. 19-07-2005

**REQUEST FOR BOARD ACTION
COMMITTEE OF THE WHOLE MEETING
September 9, 2019**

Subject: Consideration and Discussion of Requests from Citizens and Village Organizations Regarding Proposed Fiscal Year 2020 Budget (Village of Lincolnshire)

Action Requested: Consideration Citizen and Organization Budget Requests for Fiscal Year 2020

Originated By/Contact: Village Organizations

Referred To: Village Board

Summary / Background:

The annual budget process includes inviting community organizations and residents to provide comments and recommendations regarding items the Village should address in the coming fiscal year. In early August, letters were sent to more than 15 community groups and organizations. The letter encouraged representatives to attend the September 9, 2019 Village Board meeting to make recommendations or suggestions for the coming fiscal year. A copy of the letter and list of community organizations receiving the letter is attached.

No formal requests were submitted by clubs and organizations by the date the agenda packet was prepared.

Budget Impact: Budget impact for Fiscal Year 2020 to be determined.

Service Delivery Impact: None.

Recommendation: Consideration and discussion community organization budget requests for Fiscal Year 2020.

Reports and Documents Attached:

- August 1 Letter to Community Groups Regarding Fiscal Year 2020 Budget
- List of Recipients
- Materials Outline Village Organization Requests from the Following Groups: NONE

Meeting History	
Initial Referral to Village Board (COW):	09/09/2019

August 1, 2019

Organizations:

Every August, the Village of Lincolnshire kicks off its annual budget process. The purpose of this letter is to provide an outline of the budget process for Lincolnshire's Fiscal Year 2020 Budget. This letter also provides information about dates representatives from your organization can address the Village Board regarding budgetary considerations for the coming year:

Date/Time	Event	Purpose
September 9, 7:00 p.m.	Special Committee of the Whole Meeting	Village Board receives comments from community organizations and residents regarding budgetary items the Village should consider in 2020.
October 10	Draft of the 2020 Budget available for review	This is an opportunity for your organization to review the proposed budget. The draft budget is available at Village Hall, on the Village website www.lincolnshireil.gov and also placed on file at the Vernon Area Public Library.
October 14 – November 4	Special Committee of the Whole Meetings	These meetings (dates to be announced) are designed for the Village Board to discuss the budget and make any changes. Meetings are open to the public.
November 11	Committee of the Whole Meeting	The Village Board receives comments from the community regarding the budget.

Last two weeks of November	Final Draft of the 2020 Budget Available for Review	This is an opportunity to study the proposed budget. The budget will be available at Village Hall, on the Village's website www.lincolnshireil.gov , and at the Vernon Area Public Library.
November 25	Budget Approval	Before the Budget is formally considered by the Village Board, there is an opportunity for citizens to speak. This is the final opportunity for public input into the budget prior to approval.

I hope you find this information useful. If you have a question or suggestion, I encourage you to take advantage of the time available at the September 9th Committee of the Whole meeting to make your concerns known. It is much easier to address budget concerns or incorporate changes early in the budget process for the coming year rather than after it has been approved.

Please contact me at 847.913.2335 or bburke@lincolnshireil.gov if you have any questions or concerns about the budget process.

Sincerely,

VILLAGE OF LINCOLNSHIRE



Bradly J. Burke
Village Manager

BB:lu

cc: Mayor and Board of Trustees

First Name	Last Name	Title	Organization	Address	City/State/Zip
Michele	Schaapveld	Executive Board President	Learning Fund Foundation - School District No. 103	1370 N. Riverwoods Road	Lincolnshire, IL 60069
Anne	Van Gerven	President	Board of Education School District No. 103	14445 Maryland Villa Court	Lincolnshire, IL 60069
Steven	Frost	President	Board of Education School District No. 125	1 Stevenson Drive	Lincolnshire, IL 60069
Lorrie	Hardy		Boy Scout Troop 78	47 Cumberland Dr.	Lincolnshire, IL 60069
Suzi	Schoenhof		Buffalo Grove/Lincolnshire Chamber of Commerce	P.O. Box 7124	Buffalo Grove, IL 60089
Catherine	Game	Executive Director	Brushwood Center at Ryerson Woods	21850 N. Riverwoods Road	Riverwoods, IL 60015
Caitlin	Merel		Girl Scouts of Greater Chicago & Northwest Indiana	650 North Lakeview Parkway	Vernon Hills, IL 60061
Kevin	Consodine	President & CEO	Lake County Partners	One Overlook Point, Suite 280	Lincolnshire, IL 60069
Amy	Morrissey	Director	Lincolnshire Community Nursery School	48 Fox Trail	Lincolnshire, IL 60069
Jan	Stefans	President	Lincolnshire Garden Club	president@lincolnshiregardenclub.com	Lincolnshire, IL 60069
Alan	Nerad	President	Lincolnshire Morningstar Rotary Club	11 Friar Tuck Court	Lincolnshire, IL 60069
Ryan	Daube	President	Lincolnshire Sports Association	P.O. Box 286	Lincolnshire, IL 60069
Maureen	Meyer	Secretary	PTO - School District 103	9 Kensington Drive	Lincolnshire, IL 60069
Susan	Schultze	Executive Director	Stevenson Foundation	Two Stevenson Drive	Lincolnshire, IL 60069
Peggy	Gaier	President	Riverside Foundation Women's Board	304 Whitmore Lane	Lake Forest, IL 60045
Terri	LaPiana	President	The Village Club	10 Kensington Drive	Lincolnshire, IL 60069
Cindy	Fuerst	Director	Vernon Area Public Library	300 Olde Half Day Road	Lincolnshire, IL 60069
Maureen	Riedy	President	Visit Lake County	5465 W. Grand Ave., Suite 100	Gurnee, IL 60031
Chris	Poteet	President	YMCA Adventure Guides	33 Essex Lane	Lincolnshire, IL 60069

REQUEST FOR BOARD ACTION
COMMITTEE OF THE WHOLE MEETING
SEPTEMBER 9, 2019

Subject: Proposed Fiscal Year 2020 Village of Lincolnshire Goals

Action Requested: Consideration and Discussion of Proposed Goals for FY2020

Originated

By/Contact: Village Manager/Department Managers

Referred To: Village Board

Summary / Background: Annually, as part of the budget process, staff develops proposed goals for the coming fiscal year. The following are goals and objectives for Fiscal Year 2020 identified by each Village Department. The first section outlines goals for FY2020 applicable to all Village departments, followed by department specific goals. Village Board consideration and feedback of the proposed goals is requested.

PROPOSED - FISCAL YEAR 2020 GOALS

Administration / All Village Departments

- **Vehicle Leasing Initiative:** Complete investigation of leasing options for all Village vehicles in the areas of Administration, Community and Economic Development, Police, and Public Works. Work with departments to evaluate the program, identify if it is beneficial for the Village to pursue, and assist in fleet right-sizing.
- **Technology Committee / Technology Strategic Plan:** Implement intra-departmental committee to review existing technology and evaluate organizational needs to assist in creation of Technology Strategic Plan. The GovIT Consortium completed a 3-Year Strategic Plan in 2018. Work with Village's information technology provider to update long-term technology plan to reflect both GovIT Consortium strategic plan priorities and incorporate Lincolnshire specific information technology initiatives into a single plan.
- **Update Performance Evaluation Tool:** Work with all departments to review existing performance evaluation tool and update as necessary. Ensure performance evaluation document reflects the Lincolnshire Way set of values. Train all supervisors on performance evaluation best practices.
- **Position Description Review/Update:** Work with all departments to review existing position descriptions and update as necessary. Ensure position descriptions accurately reflect duties and responsibilities, as well as required skills, knowledge, and abilities.
- **Village Hall and Public Works Facility Security Project:** Improve both internal and external security at both Village Hall and Public Works Facility. Security improvements to

provide keyless access to both facilities and ability to track access both during the work day and after hours. Improvements to provide enhanced building security for both employees and visitors.

- **Key Performance Indicators / Northern Illinois Benchmarking Cooperative:** Evaluate key performance indicators currently included in budget and update each department's performance measures as appropriate and of value for program assessment, management, decision-making. Continue work with members of the Northern Illinois Benchmarking and University of Illinois at Chicago on year two of benchmarking Police Department services. Incorporate Public Works Department into benchmarking review during third year of programming.
- **Develop Village of Lincolnshire Strategic Plan:** Work with Village staff, elected officials, and stakeholders on creation of Lincolnshire strategic plan and update to Village mission statement. Facilitate planning process to explore community strengths, weaknesses, opportunities, and threats to build an action plan and address long-term Village needs.
- **Document Management:** Research, recommend, and implement formal document management system to integrate with new enterprise software system if cost effective.
- **Policy Review:** Complete review of internal and external policies, update as necessary and make recommendation to Village board for approval. Comprehensive policy update last occurred in 2012.

Community & Economic Development

- **Updated Comprehensive Plan:** Using the assistance of planning consulting services, update the Village's Comprehensive Plan. The update will focus on specific incorporated and unincorporated properties adjacent to Lincolnshire's corporate boundaries, which have either experienced new development/redevelopment or are ripe for development in the next 10 years. Incorporate Economic Development Strategic Plan into the Comprehensive Plan.
- **Updated Planning/Escrow Fees:** Review of the Village's planning and escrow fees, survey comparable communities, and develop recommendations for the Village Board's consideration regarding appropriate fee amendments.
- **Comprehensive Review of Commercial, Corporate, and Industrial Site Conditions:** Begin a phased review of commercial and office/industrial properties for compliance with approved landscape plans, site amenities, and overall site conditions. Contact property owners regarding non-compliances. This is intended to be a multi-year goal.
- **Expanded "Express Permit" Program and Implementation of Electronic Plan Review:** Given the success of online express permitting, explore opportunities to expand this program to other permits to enhance customer service and improve staff efficiency. Evaluate the cost and feasibility of electronic plan review software within the Village's current enterprise resource planning (ERP) suite.

- **Community Enhancement Program Improvements:** Complete community enhancement program improvements pertaining to code enforcement and property maintenance standards including public education, standardized enforcement processing, and increasing the use of technology for field work.
- **Continue Work on Update to Village Brand Identity:** Pending Village Board direction, update print and electronic media as appropriate as part of initial roll out of new brand and marketing initiative.
- **Finalize Development of Zoning/Design-Oriented Regulations to ensure Residential Character/Integrity:** Finalize bulk regulations of all Residential Zoning Districts to ensure Village vision is met and analyze the necessity of varying degrees of design-standards/review to support preservation of residential character.
- **Increase Reporting on Economic Development Activities:** Continue to execute on the priorities outlined in the Lincolnshire Economic Development Strategic Plan and improve reporting on activities and accomplishments.

Finance Department Goals

- **Grant Rating:** Research and recommend solutions to improve Lincolnshire's grant rating score to improve grant award potential.
- **Vehicle & Equipment Inventory:** Conduct a physical inventory of vehicles and equipment to confirm accuracy of existing database.
- **457 Plan Fees:** Review plan design and fees; as well as, a joint municipal program to further reduce fees.
- **Debt Restructure/ Refinance:** Refinance SSA Sedgebrook bonds if savings justify issuance.
- **Fraud Awareness Training:** Prepare Fraud Awareness Training program and present to staff. Management and purchasing staff should understand the importance in preventing and detecting fraudulent disbursements. Enhance Lincolnshire's opportunity to receive grant funds with Fraud Awareness Training compliance.
- **Local Government Debt Recovery (LGDR):** Complete LGDR application process and deploy LGDR program for Lincolnshire's police tickets.
- **Time and Attendance (aka Scheduling Software):** Review possible alternative software to improve schedule reporting. The solution must interface with existing Paylocity payroll system.

Police Department

- **Procedure update:** Address the impact of the new recreational cannabis law. Update Lincolnshire's local cannabis ordinances and develop procedures for cannabis expungements.
- **Records Data Management:** Complete the police records data conversion from the Vernon Hills Police Department system to the Deerfield Police Department system.
- **Security Camera Registration Program:** Design and implement a security camera registration program for both crime prevention and investigative purposes. The program will consist of documenting security cameras of businesses and homes in an effort to enhance access to security cameras and recorded footage. This program is designed to continue our partnership with the citizens of Lincolnshire to create a stronger, transparent, and trusting relationship by providing interactive crime prevention programs.
- **Emergency Response Planning:** Prepare a joint emergency response plan as part of ongoing efforts to ensure public safety and facilitate collaboration and coordination in the event of an emergency. Develop a tabletop emergency exercise to be used in future multi-jurisdictional training

Public Work Department Goals

- **Increase Public Works Social Media Presence:** In accordance with communication policy, create and/or post a minimum of five (5) videos related to Public Works Operations. Increase the amount of Public Works related items on Facebook, Twitter, and Village website. Create "Employee Spotlights" to be published in Manager's Notes, Facebook, and Twitter. Investigate potential other social media outlets with Administrative Assistant.
- **Cul-De-Sac Maintenance Plan/Standards:** Create a plan/manual which details the design specifications and maintenance standards for all Village Cul-De-Sacs. If necessary, include provisions in the landscape maintenance contract to ensure Cul-De-Sacs are maintained to standards. Additionally, inventory all Cul-De-Sacs throughout the Village and identify which Cul-De-Sacs are in need of being brought up to standards. Once Cul-De-Sacs are identified, recommend a Capital Project for inclusion into the 10-Year CIP.
- **Village Sign Replacement Initiatives:** Take results from identified branding logo initiative and the village sign concepts RFP (Request for Proposals) and make recommendations to the Village Board on updates to all streets signs, street posts, parks signs, light posts, entryway signs, and other signage identified in the RFP (Request for Proposal). Include recommendations for all signage within 10-Year Capital Improvement Program.
- **Complete Drainage Master Plan:** Complete the Village's Storm Water Master Plan which will allow the Village to proactively plan and prepare for current and future extreme rainfall events. The goals and outcomes of Master Plan should incorporate feedback from residents and business owners, assess the Village's existing storm sewer capacity, identify

deficiencies, create and prioritize projects for improvements, and potentially identify and evaluate funding sources for these future capital improvements.

- **Long Range Pedestrian Improvement Plan: Update and/or create a Comprehensive Pedestrian Plan consisting of the following:** Investigate needs, identify capital improvements and incorporate into plan, incorporate way-finding signage, lighting, seating, and landscaping elements to encourage pedestrian flow along Milwaukee Avenue and leading to Commercial Downtown area.
- **Complete Work with Park Board on Possible Update to Recreation, Parks, Paths & Open Space Master Plan:** Investigate needs, identify capital improvements and incorporate into plan. Incorporate way-finding signage, lighting, seating, and landscaping elements to encourage pedestrian flow along Milwaukee Avenue and into Commercial Downtown area.

Meeting History	
Initial Referral to Village Board (COW):	September 9, 2019

REQUEST FOR BOARD ACTION
Committee of the Whole
September 11, 2019

Subject:	ITEP Stage 3 Improvements – Construction of Riverwoods Road Bike Path between Whytegate Park and Daniel Wright Jr. High and Westminster Way Sidewalk
Action Requested:	Approval of an Agreement with the Illinois Department of Transportation for Stage 3 Improvements for the ITEP Grant Project (Village of Lincolnshire)
Originated By/Contact:	Wally Dittrich, P.E., Assistant Public Works Director/Village Engineer
Referred To:	Mayor and Board of Trustees

Summary / Background:

The Village received an Illinois Transportation Enhancement Project (ITEP) grant in December of 2009. In February of 2010, the Mayor and Board of Trustees (MBOT) selected projects from the Corridor Enhancement Program for implementation utilizing the ITEP funds which consisted of landscaping improvements on medians along Illinois Route 22, the Olde Half Day Road bike path across from Village Hall and for enhanced Village entryway signage and wayfinding signage. Stage I (Route 22 medians enhancements) were completed in 2016. The second project (Stage 2) involving the enhancement of the right-of-way along the north side of Olde Half Day Road and Route 22 between the North Village Green (east entrance) and the Des Plaines River Bridge was completed in 2017. The Village determined that given the ongoing efforts to re-brand the Village's logo and corresponding sign appearance, that the remaining funds would be repurposed to fund the improvement of 2 bike/pedestrian facilities in the Village including a new sidewalk connecting the Homewood Suites to the Tri-State/CDW Business Park path along Westminster Way as well as a new path connecting Whytegate Park to Daniel Wright Middle School using Village owned outlots that are located along Riverwoods Road between the adjacent homes off of Whitmore and Brampton. *These funds need to be obligated in 2019, otherwise they will be rescinded by IDOT for use on other projects.*

At the March 11, 2019 Committee of the Whole Meeting, staff presented the Riverwoods Road bike path alignment showing the necessary tree and vegetation removals for the project along with some replacement landscaping. The Village Board requested staff to re-evaluate the path alignment in order to preserve as much of the existing trees/vegetation as possible and consider a corridor-wide landscaping plan along Riverwoods Road as well as reach out to the residents whose property is adjacent to the project area. Attached is a revised exhibit showing the adjustments made to the path alignment/vegetation removal. The proposed limits of construction are in **red** and the original limits of construction are in **green**. The main areas where modifications were made were in the area of Brampton and Daniel Wright and the connection to Whytegate Park. Path re-alignment and approximately 500 feet of timber retaining walls are proposed to reduce the tree removal from 25 trees to 12 trees (2 of which are already dead and need to be removed). The 2 residents on Brampton were supportive of the project and requested to save as much of the existing screening as possible or plant new screening. The resident to the north side of Whitmore is the most impacted and wanted the Village to treat this path like the other corridor paths as much as possible and to replace any screening lost between the path and his home. The residents on the south side of Whitmore is meeting with staff the week of September 9th to review the project. Other items reevaluated

were the locations of median cut-throughs on Whitmore and Brampton; which were maintained as designed to reduce impacts to the Riverwoods Road drainage system and power poles, and avoid an existing light pole on Whitmore. Once the project starts, staff plans to evaluate field conditions once initial clearing and grading is complete to determine if the tree/vegetation loss identified in the proposed plans could be reduced even further..

Landscaping enhancement opportunities were evaluated along the Riverwoods Road corridor. Staff worked with the Lake County Division of Transportation to determine if permissibility of additional plantings in their right-of-way if desired by the Village. The current contract includes quantities for 25 replacement trees in the amount of \$20,000 (the original number of trees proposed for removal). This allowance could be utilized for more screening type material given the reduction in tree loss along the corridor. Once the path is cleared, planting locations can be identified that would provide the best opportunities for adding screening and/or aesthetic enhancements along the Riverwoods Road corridor. The Village requested a landscape architect review the east side of Riverwoods Road for opportunities to add additional planting material, and the evaluation resulted in the recommendation that there was not enough room or suitable environment to plant any additional material in the ditch line between the path and Riverwoods Road. If there was a desire to add additional plantings along the east side of the bike path, additional material would need to be removed in order to accommodate any additional plantings and promote positive growth.

The original Illinois Transportation Enhancement Program grant awarded in 2009 was for a total amount of \$569,982. Stage 1 utilized \$179,635 and Stage 2 utilized \$224,247 of this funding leaving \$166,100 for the remaining Stage 3 work which includes both the Riverwoods Road Bike Path and the Westminster sidewalk. Stages 1 & 2 were funded at a cost share of 80% from IDOT and 20% Village. Using the remainder of the ITEP funds allotted to the Village results in a cost share of 47% from IDOT and 53% from the Village. This cost split is due to the final costs for Stage 2 being higher than originally anticipated once the project was closed out with IDOT as well as the project cost increased for Stage 3 of the project.

The table below provides the Board with a summary of the costs associated with the construction and engineering facet of the Stage 3 project:

		Village Share	State Share
Stage 3 Costs			
Construction	\$313,105	\$162,105	\$151,000
Construction Engineering	\$38,771	\$23,671	\$15,100
TOTAL	\$351,876	\$185,776	\$166,100

As part of the Village's Illinois Transportation Enhancement Program (ITEP) Grant, the attached Illinois Department of Transportation (IDOT) agreement (Exhibit A) between the Village of Lincolnshire (LA – Local Agency) and Illinois Department of Transportation (State) must be entered into by the Village to obtain approval for the advertisement and subsequent public letting for the project. This required agreement states the Village has appropriated sufficient funds necessary to complete its share of the proposed project. Furthermore, this agreement establishes the State's financial obligation for this Stage of the project. Also, Exhibit C is a resolution required by IDOT to formally indicate the Village has appropriated the required local match to expend the ITEP funding.

Budget Impact:

The funds required for this project were previously included in the 2019 budget and will be accounted for in the proposed 2020 budget.

Service Delivery Impact:

N/A

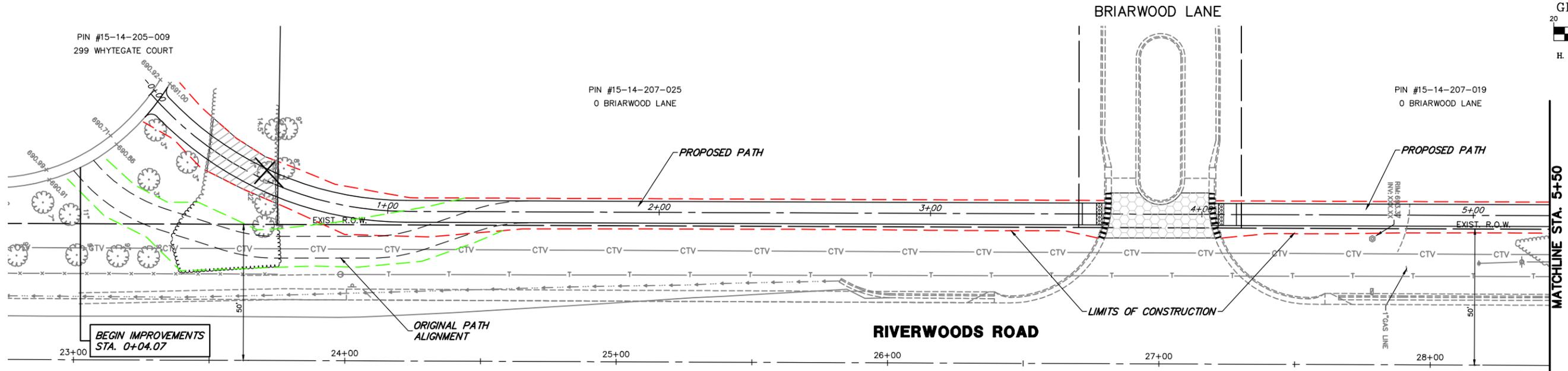
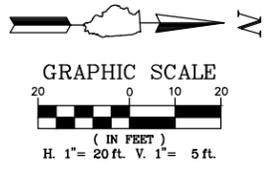
Recommendation:

Staff recommends approval of the attached agreement with the Illinois Department of Transportation in order to maintain the project's bidding schedule of November 2019 with the understanding that modifications can still be made to the path alignment as desired by the Village.

Reports and Documents Attached:

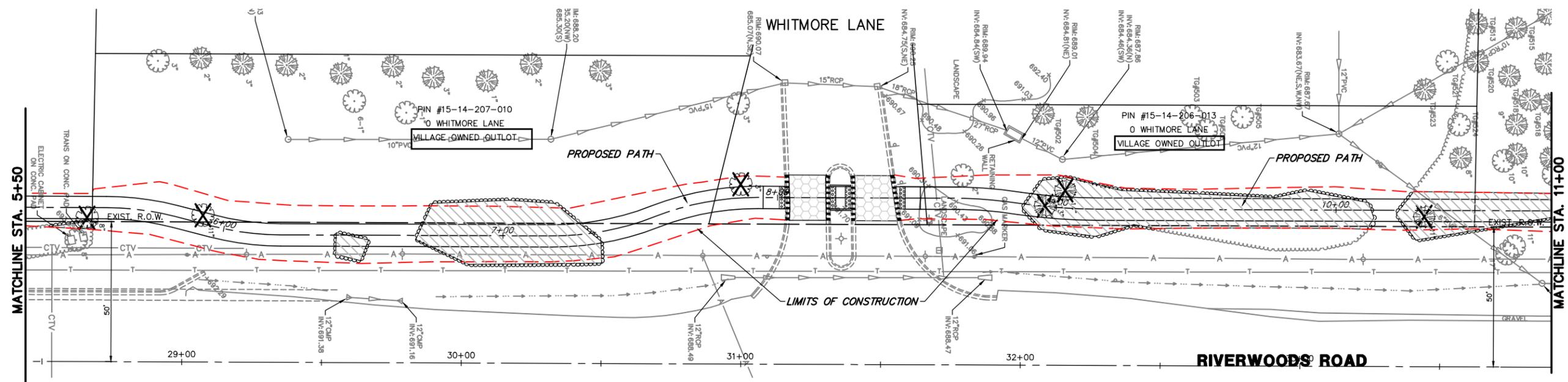
- Bike Path Alignment Exhibit
- Illinois Department of Transportation Local Agency Agreement for Federal Participation
- ITEP Stage 3 Location Map
- ITEP Stage 3 IDOT Resolution

Meeting History	
Initial Referral to Village Board (COW):	March 11, 2019
COW:	September 9, 2019

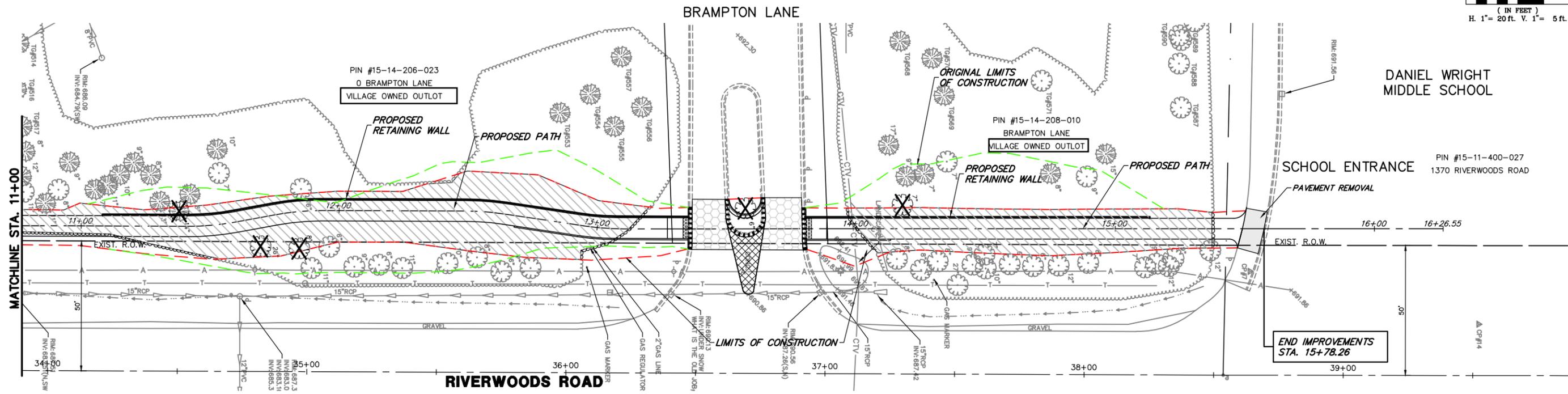
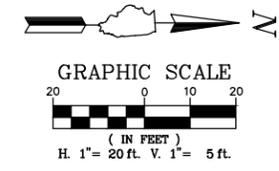


REMOVAL LEGEND

- TREE REMOVAL
- COMBINATION CURB & GUTTER REMOVAL
- CLEARING AND GRUBBING
- HOT-MIX ASPHALT SURFACE REMOVAL, 2"
- LIMITS OF CONSTRUCTION
- ORIGINAL LIMITS OF CONSTRUCTION



FILE NAME = 4904.003-PR1 -Phase II-New	DESIGNED - MGC	REVISED -	STATE OF ILLINOIS DEPARTMENT OF TRANSPORTATION	PROPOSED IMPROVEMENTS RIVERWOODS ROAD PATH - LINCOLNSHIRE, ILLINOIS		FAULMUR RTE. 2698/ 4390	SECTION 18-00024-00-BT	COUNTY LAKE	TOTAL SHEETS 2	SHEET NO. 1
	DRAWN - JMR	REVISED -				ILLINOIS FED. AID PROJECT			CONTRACT # 61F63	
	CHECKED - KLB	REVISED -				SCALE 1"=20'			SHEET NO. 1 OF 2 SHEETS	STA. 0+00 TO STA. 11+00
PLOT SCALE = 1" = .1667'	DATE - 11/9/18	REVISED -								



- REMOVAL LEGEND**
-  TREE REMOVAL
 -  COMBINATION CURB & GUTTER REMOVAL
 -  CLEARING AND GRUBBING
 -  HOT-MIX ASPHALT SURFACE REMOVAL, 2"
 -  PAVEMENT REMOVAL
 -  CONCRETE MEDIAN REMOVAL
 -  LIMITS OF CONSTRUCTION
 -  ORIGINAL LIMITS OF CONSTRUCTION

FILE NAME = 4904.003-PR1 -Phase II-New
 DESIGNER NAME = MARK COBB
 PLOT SCALE = 1" = .1667'
 PLOT DATE = 2/20/2019

DESIGNED - MGC	REVISED -
DRAWN - JMR	REVISED -
CHECKED - KLB	REVISED -
DATE - 11/9/18	REVISED -

**STATE OF ILLINOIS
 DEPARTMENT OF TRANSPORTATION**

**PROPOSED IMPROVEMENTS
 RIVERWOODS ROAD PATH - LINCOLNSHIRE, ILLINOIS**

SCALE 1"=20' SHEET NO. 2 OF 2 SHEETS STA. 11+00 TO STA. 15+78.26

FURNISH RITE	SECTION	COUNTY	TOTAL SHEETS	SHEET NO.
2698/4390	18-00024-00-BT	LAKE	2	2
CONTRACT #			61F63	
ILLINOIS FED. AID PROJECT				

**REQUEST FOR BOARD ACTION
Committee of the Whole
September 9, 2019**

Subject:

Construction Engineering Services Agreement between the Village of Lincolnshire and Gewalt Hamilton Associates, Inc.

Action Requested:

Approval of a Professional Services Agreement with Gewalt Hamilton Associates, Inc. for Phase 3 – Construction Observation Services for Stage 3 Improvements for the Illinois Transportation Enhancement Program (ITEP) Grant Project in an Amount Not to Exceed \$38,771.00 (Village of Lincolnshire)

Originated By:

Wally Dittrich, Assistant Public Works Director/Village Engineer

Referred To:

Mayor and Board of Trustees

Summary / Background:

As part of the Village's Illinois Transportation Enhancement Program (ITEP) Grant, attached is the Illinois Department of Transportation (IDOT) agreement between the Village of Lincolnshire and Gewalt Hamilton Associates, Inc. (GHA). This agreement is an IDOT (Illinois Department of Transportation) requirement and relates to construction observation services needed for the project scope discussed in the previous agenda item.

February of 2019, staff issued a request for qualifications for the construction engineering services for this project. 6 submittals were received, and the Village selected Gewalt Hamilton as the recommended consultant given their experience constructing similar projects for the Village of Lincolnshire as well as other municipalities and their experience with completing the necessary construction documentation for other IDOT federally funded projects.

Budget Impact:

Funds for the Village's share of the construction engineering in the amount of \$23,671.00 will be included in the 2020 budget as this work will take place in 2020. The ITEP grant will cover the remaining \$15,100. The consultant will be paid by the Illinois Department of Transportation and then the Village will be billed accordingly.

Recommendation:

Staff requests the Mayor and Board of Trustees place this item on the September 23, 2019, Consent Agenda for approval.

Reports and Documents Attached:

- Illinois Department of Transportation Construction Engineering Services Agreement for Federal Participation between the Village of Lincolnshire and Gewalt Hamilton Associates, Inc.
-

Meeting History	
Committee of the Whole Meeting	September 9, 2019
Regular Village Board Meeting	September 23, 2019

Local Public Agency Village of Lincolnshire	L O C A L A G E N C Y	 Illinois Department of Transportation Construction Engineering Services Agreement For Federal Participation	C O N S U L T A N T	Consultant Gewalt Hamilton Associates, Inc.
County Lake				Address 625 Forest Edge Drive
Section 18-00024-00-BT				City Vernon Hills
Project No. L3JG(391)				State Illinois
Job No. C-91-221-18				Zip Code 60061
Contact Name/Phone/E-mail Address Wally Dittrich/8479132366/ wdittrich@lincolnshire.gov				Contact Name/Phone/E-mail Address Todd Gordon / (847) 478-9700 tgordon@gha-engineers.com

THIS AGREEMENT is made and entered into this _____ day of _____, _____ between the above Local Public Agency (LPA) and Consultant (ENGINEER) and covers certain professional engineering services in connection with the PROJECT described herein. Federal-aid funds allotted to the LPA by the state of Illinois under the general supervision of the Illinois Department of Transportation (STATE) will be used entirely or in part to finance engineering services as described under AGREEMENT PROVISIONS.

WHEREVER IN THIS AGREEMENT or attached exhibits the following terms are used, they shall be interpreted to mean:

Regional Engineer	Deputy Director Division of Highways, Regional Engineer, Department of Transportation
Resident Construction Supervisor	Authorized representative of the LPA in immediate charge of the engineering details of the PROJECT
In Responsible Charge	A full time LPA employee authorized to administer inherently governmental PROJECT activities
Contractor	Company or Companies to which the construction contract was awarded

Project Description

Name Riverwoods Road Bikepath & Westminster Route FAU 2698 Length 0.38 Mi Structure No. n/a

Termini Riverwoods Rd: Daniel Wright School to Whytegate Park Westminster Ln: Homewood Suites to CDW Path

Description: This work consists of the addition of a proposed HMA path, a proposed PCC sidewalk, pavement removal, earth excavation, granular material installation, concrete curb and gutter, hot-mix asphalt placement, concrete sidewalk installation, pavement markings, landscape restoration and all incidental and collateral work necessary to complete the project as shown on the plans or as described.

Agreement Provisions

I. THE ENGINEER AGREES,

1. To perform or be responsible for the performance of the engineering services for the LPA, in connection with the PROJECT hereinbefore described and checked below:
 - a. Proportion concrete according to applicable STATE Bureau of Materials and Physical Research (BMPR) Quality Control/Quality Assurance (QC/QA) training documents or contract requirements and obtain samples and perform testing as noted below.
 - b. Proportion hot mix asphalt according to applicable STATE BMPR QC/QA training documents and obtain samples and perform testing as noted below.
 - c. For soils, to obtain samples and perform testing as noted below.
 - d. For aggregates, to obtain samples and perform testing as noted below.

NOTE: For 1a. through 1d. the ENGINEER is to obtain samples for testing according to the STATE BMPR "Project Procedures Guide", or as indicated in the specifications, or as attached herein by the LPA; test according to the STATE BMPR "Manual of Test Procedures for Materials", submit STATE BMPR inspection reports; and verify compliance with contract specifications.

- e. Inspection of all materials when inspection is not provided at the sources by the STATE BMPR, and submit inspection reports to the LPA and the STATE in accordance with the STATE BMPR "Project Procedures Guide" and the policies of the STATE.
 - f. For Quality Assurance services, provide personnel who have completed the appropriate STATE BMPR QC/QA trained technician classes.
 - g. Inspect, document and inform the LPA employee In Responsible Charge of the adequacy of the establishment and maintenance of the traffic control.
 - h. Geometric control including all construction staking and construction layouts.
 - i. Quality control of the construction work in progress and the enforcement of the contract provisions in accordance with the STATE Construction Manual.
 - j. Measurement and computation of pay items.
 - k. Maintain a daily record of the contractor's activities throughout construction including sufficient information to permit verification of the nature and cost of changes in plans and authorized extra work.
 - l. Preparation and submission to the LPA by the required form and number of copies, all partial and final payment estimates, change orders, records, documentation and reports required by the LPA and the STATE.
 - m. Revision of contract drawings to reflect as built conditions.
 - n. Act as resident construction supervisor and coordinate with the LPA employee In Responsible Charge.
2. Engineering services shall include all equipment, instruments, supplies, transportation and personnel required to perform the duties of the ENGINEER in connection with the AGREEMENT.
 3. To furnish the services as required herein within twenty-four hours of notification by the LPA employee In Responsible Charge.
 4. To attend meetings and visit the site of the work at any reasonable time when requested to do so by representatives of the LPA or STATE.
 5. That none of the services to be furnished by the ENGINEER shall be sublet, assigned or transferred to any other party or parties without the written consent of the LPA. The consent to sublet, assign or otherwise transfer any portion of the services to be furnished by the ENGINEER shall not be construed to relieve the ENGINEER of any responsibility for the fulfillment of this AGREEMENT.
 6. The ENGINEER shall submit invoices, based on the ENGINEER's progress reports, to the LPA employee In Responsible Charge, no more than once a month for partial payment on account for the ENGINEER's work completed to date. Such invoices shall represent the value, to the LPA of the partially completed work, based on the sum of the actual costs incurred, plus a percentage (equal to the percentage of the construction engineering completed) of the fixed fee for the fully completed work.
 7. That the ENGINEER is qualified technically and is entirely conversant with the design standards and policies applicable to improvement of the SECTION; and that the ENGINEER has sufficient properly trained, organized and experienced personnel to perform the services enumerated herein.
 8. That the ENGINEER shall be responsible for the accuracy of the ENGINEER's work and correction of any errors, omissions or ambiguities due to the ENGINEER'S negligence which may occur either during prosecution or after acceptance by the LPA. Should any damage to persons or property result from the ENGINEER's error, omission or negligent act, the ENGINEER shall indemnify the LPA, the STATE and their employees from all accrued claims or liability and assume all restitution and repair costs arising from such negligence. The ENGINEER shall give immediate attention to any remedial changes so there will be minimal delay to the contractor and prepare such data as necessary to effectuate corrections, in consultation with and without further compensation from the LPA.
 9. That the ENGINEER will comply with applicable federal statutes, state of Illinois statutes, and local laws or ordinances of the LPA.
 10. The undersigned certifies neither the ENGINEER nor I have:
 - a) employed or retained for commission, percentage, brokerage, contingent fee or other considerations, any firm or person (other than a bona fide employee working solely for me or the above ENGINEER) to solicit or secure this AGREEMENT;
 - b) agreed, as an express or implied condition for obtaining this AGREEMENT, to employ or retain the services of any firm or person in connection with carrying out the AGREEMENT or

- c) paid, or agreed to pay any firm, organization or person (other than a bona fide employee working solely for me or the above ENGINEER) any fee, contribution, donation or consideration of any kind for, or in connection with, procuring or carrying out the AGREEMENT.
 - d) are not presently debarred, suspended, proposed for debarment, declared ineligible or voluntarily excluded from covered transactions by any Federal department or agency;
 - e) have not within a three-year period preceding the AGREEMENT been convicted of or had a civil judgment rendered against them for commission of fraud or criminal offense in connection with obtaining, attempting to obtain or performing a public (Federal, State or local) transaction; violation of Federal or State antitrust statutes or commission of embezzlement, theft, forgery, bribery, falsification or destruction of records, making false statements or receiving stolen property;
 - f) are not presently indicted for or otherwise criminally or civilly charged by a government entity (Federal, State or local) with commission of any of the offenses enumerated in paragraph (e) of this certification; and
 - g) have not within a three-year period preceding this AGREEMENT had one or more public transactions (Federal, State or local) terminated for cause or default.
11. To pay its subconsultants for satisfactory performance no later than 30 days from receipt of each payment from the LPA.
 12. To submit all invoices to the LPA within one year of the completion of the work called for in this AGREEMENT or any subsequent Amendment or Supplement.
 13. To submit BLR 05613, Engineering Payment Report, to the STATE upon completion of the work called for in the AGREEMENT.
 14. To be prequalified with the STATE in Construction Inspection when the ENGINEER or the ENGINEER's assigned staff is named as resident construction supervisor. The onsite resident construction supervisor shall have a valid Documentation of Contract Quantities certification.
 15. Will provide, as required, project inspectors that have a valid Documentation of Contract Quantities certification.

II. THE LPA AGREES,

1. To furnish a full time LPA employee to be In Responsible Charge authorized to administer inherently governmental PROJECT activities.
2. To furnish the necessary plans and specifications.
3. To notify the ENGINEER at least 24 hours in advance of the need for personnel or services.
4. To pay the ENGINEER as compensation for all services rendered in accordance with this AGREEMENT, on the basis of the following compensation formulas:

Cost Plus Fixed Fee Formulas

- FF = 14.5%[DL + R(DL) + OH(DL) + IHDC], or
- FF = 14.5%[(2.3 + R)DL + IHDC]

Where: DL = Direct Labor
 IHDC = In House Direct Costs
 OH = Consultant Firm's Actual Overhead Factor
 R = Complexity Factor
 FF=Fixed Fee
 SBO = Services by Others

Total Compensation = DL +IHDC+OH+FF+SBO

Specific Rate (Pay per element)

Lump Sum _____

5. To pay the ENGINEER using one of the following methods as required by 49 CFR part 26 and 605 ILCS 5/5-409:

With Retainage

- a) **For the first 50% of completed work**, and upon receipt of monthly invoices from the ENGINEER and the approval thereof by the LPA, monthly payments for the work performed shall be due and payable to the ENGINEER, such payments to be equal to 90% of the value of the partially completed work minus all previous partial payments made to the ENGINEER.
- b) **After 50% of the work is completed**, and upon receipt of monthly invoices from the ENGINEER and the approval thereof by the LPA, monthly payments covering work performed shall be due and payable to the ENGINEER, such payments to be equal to 95% of the value of the partially completed work minus all previous partial payments made to the ENGINEER.
- c) **Final Payment** – Upon approval of the work by the LPA but not later than 60 days after the work is completed and reports have been made and accepted by the LPA and the STATE, a sum of money equal to the basic fee as determined in this AGREEMENT less the total of the amounts of partial payments previously paid to the ENGINEER shall be due and payable to the ENGINEER.

Without Retainage

- a) **For progressive payments** – Upon receipt of monthly invoices from the ENGINEER and the approval thereof by the LPA, monthly payments for the work performed shall be due and payable to the ENGINEER, such payments to be equal to the value of the partially completed work minus all previous partial payments made to the ENGINEER.
 - b) **Final Payment** – Upon approval of the work by the LPA but not later than 60 days after the work is completed and reports have been made and accepted by the LPA and STATE, a sum of money equal to the basic fee as determined in this AGREEMENT less the total of the amounts of partial payments previously paid to the ENGINEER shall be due and payable to the ENGINEER.
6. The recipient shall not discriminate on the basis on the basis of race, color, national origin or sex in the award and performance of any DOT-assisted contract or in the administration of its DBE program or the requirements of 49 CFR part 26. The recipient shall take all necessary and reasonable steps under 49 CFR part 26 to ensure nondiscrimination in the award and administration of DOT-assisted contracts. The recipient's DBE program, as required by 49 CFR part 26 and as approved by DOT, is incorporated by reference in this agreement. Implementation of this program is a legal obligation and failure to carry out its terms shall be treated as violation of this agreement. Upon notification to the recipient of its failure to carry out its approved program, the Department may impose sanctions as provided for under part 26 and may, in appropriate cases, refer the matter for enforcement under 18 U.S.C. 1001 and/or the Program Fraud Civil Remedies Act of 1986 (31U.S.C. 3801 et seq.).
7. To submit approved form BC 775 (Exhibit C) and BC 776 (Exhibit D) with this AGREEMENT.
8. To certify by execution of this AGREEMENT that the selection of the ENGINEER was performed in accordance with the Local Government Professional Services Selection Act 50 ILCS 510, the Brooks Act 40USC 11, and Procurement, Management, and Administration of Engineering and Design related Services (23 CFR part 172). Exhibit C is required to be completed with this agreement.

III. It is Mutually Agreed,

1. That the ENGINEER and the ENGINEER's subcontractors will maintain all books, documents, papers, accounting records and other evidence pertaining to cost incurred and to make such materials available at their respective offices at all reasonable times during the AGREEMENT period and for three years from the date of final payment under this AGREEMENT, for inspection by the STATE, Federal Highway Administration or any authorized representatives of the federal government and copies thereof shall be furnished if requested.
2. That all services are to be furnished as required by construction progress and as determined by the LPA employee In Responsible Charge. The ENGINEER shall complete all services specified herein within a time considered reasonable to the LPA, after the CONTRACTOR has completed the construction contract.
3. That all field notes, test records and reports shall be turned over to and become the property of the LPA and that during the performance of the engineering services herein provided for, the ENGINEER shall be responsible for any loss or damage to the documents herein enumerated while they are in the ENGINEER's possession and any such loss or damage shall be restored at the ENGINEER's expense.
4. That this AGREEMENT may be terminated by the LPA upon written notice to the ENGINEER, at the ENGINEER's last known address, with the understanding that should the AGREEMENT be terminated by the LPA, the ENGINEER shall be paid for any services completed and any services partially completed. The percentage of the total services which have been rendered by the ENGINEER shall be mutually agreed by the parties hereto. The fixed fee stipulated in numbered paragraph 4d of Section II shall be multiplied by this percentage and added to the ENGINEER's actual costs to obtain the earned value of work performed. All field notes, test records and reports completed or partially completed at the time of termination shall become the property of, and be delivered to, the LPA.
5. That any differences between the ENGINEER and the LPA concerning the interpretation of the provisions of this AGREEMENT shall be referred to a committee of disinterested parties consisting of one member appointed by the ENGINEER, one member appointed by the LPA, and a third member appointed by the two other members for disposition and that the committee's decision shall be final.

6. That in the event the engineering and inspection services to be furnished and performed by the LPA (including personnel furnished by the ENGINEER) shall, in the opinion of the STATE be incompetent or inadequate, the STATE shall have the right to supplement the engineering and inspection force or to replace the engineers or inspectors employed on such work at the expense of the LPA.
7. That the ENGINEER has not been retained or compensated to provide design and construction review services relating to the contractor's safety precautions, except as provided in numbered paragraph 1f of Section I.
8. This certification is required by the Drug Free Workplace Act (30ILCS 580). The Drug Free Workplace Act requires that no grantee or contractor shall receive a grant or be considered for the purpose of being awarded a contract for the procurement of any property or service from the State unless that grantee or contractor will provide a drug free workplace. False certification or violation of the certification may result in sanctions including, but not limited to, suspension of contract or grant payments, termination of a contract or grant and debarment of contracting or grant opportunities with the State for at least one (1) year but no more than five (5) years.

For the purpose of this certification, "grantee" or "contractor" means a corporation, partnership or other entity with twenty-five (25) or more employees at the time of issuing the grant, or a department, division or other unit thereof, directly responsible for the specific performance under a contract or grant of \$5,000 or more from the State, as defined in the Act.

The contractor/grantee certifies and agrees that it will provide a drug free workplace by:

- (a) Publishing a statement:
 - (1) Notifying employees that the unlawful manufacture, distribution, dispensing, possession or use of a controlled substance, including cannabis, is prohibited in the grantee's or contractor's workplace.
 - (2) Specifying the actions that will be taken against employees for violations of such prohibition.
 - (3) Notifying the employee that, as a condition of employment on such contract or grant, the employee will:
 - (A) abide by the terms of the statement; and
 - (B) notify the employer of any criminal drug statute conviction for a violation occurring in the workplace no later than five (5) days after such conviction.
 - (b) Establishing a drug free awareness program to inform employees about:
 - (1) the dangers of drug abuse in the workplace;
 - (2) the grantee's or contractor's policy of maintaining a drug free workplace;
 - (3) any available drug counseling, rehabilitation and employee assistance program; and
 - (4) the penalties that may be imposed upon an employee for drug violations.
 - (c) Providing a copy of the statement required by subparagraph (a) to each employee engaged in the performance of the contract or grant and to post the statement in a prominent place in the workplace.
 - (d) Notifying the contracting or granting agency within ten (10) days after receiving notice under part (B) of paragraph (3) of subsection (a) above from an employee or otherwise receiving actual notice of such conviction.
 - (e) Imposing a sanction on, or requiring the satisfactory participation in a drug abuse assistance or rehabilitation program by, any employee who is convicted, as required by section S of the Drug Free Workplace Act.
 - (f) Assisting employees in selecting a course of action in the event drug counseling, treatment and rehabilitation is required and indicating that a trained referral team is in place.
 - (g) Making a good faith effort to continue to maintain a drug free workplace through implementation of the Drug Free Workplace Act.
9. The ENGINEER or subconsultant shall not discriminate on the basis of race, color, national origin or sex in the performance of this AGREEMENT. The ENGINEER shall carry out applicable requirements of 49 CFR part 26 in the administration of DOT-assisted contracts. Failure by the ENGINEER to carry out these requirements is a material breach of this AGREEMENT, which may result in the termination this AGREEMENT or such other remedy as the LPA deems appropriate.
 10. When the ENGINEER is requested to complete work outside the scope of the original AGREEMENT, a supplemental AGREEMENT will be required. Supplements will also be required for the addition or removal of subconsultants, direct costs, the use of previously unspecified staff, and other material changes to the original AGREEMENT.

Exhibit C Federal Qualification Based Selection (QBS) Checklist

Local Public Agency Village of Lincolnshire
 Section Number 18-00024-00-BT
 Project Number L3JG(391)
 Job Number C-91-221-18

The LPA must complete Exhibit C, if federal funds are used for this engineering agreement and the value will exceed \$25,000. The LPA must follow federal small purchase procedures, if federal funds are used and the engineering agreement has a value less than \$25,000.

Form Not Applicable (engineering services less than \$25,000)

1.	Do the written QBS policies and procedures discuss the initial administration (procurement, management, and administration) concerning engineering and design related consultant services? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No																				
2.	Do the written QBS policies and procedures follow the requirements as outlined in Section 5-5 and specifically Section 5-5.06(e) of the <i>BLRS Manual</i> ? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If no, IDOT's approval date: _____																				
3.	Was the scope of services for this project clearly defined? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No																				
4.	Was public notice given for this project? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Due date of submittal: <u>01/31/2019</u> Method(s) used for advertisement and dates of advertisement: <u>Daily Herald & Lincolnshire Website 01/16/19 - 1/23/19</u>																				
5.	Do the written QBS policies and procedures cover conflicts of interest? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No																				
6.	Do the written QBS policies and procedures use covered methods of verification for suspension and debarment? <input type="checkbox"/> Yes <input type="checkbox"/> No																				
7.	Do the written QBS policies and procedures discuss the method of evaluation? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <table style="width: 100%; border: none;"> <tr> <td style="width: 33%;">Criteria for this project</td> <td style="width: 17%;">Weighting</td> <td style="width: 33%;">Criteria for this project</td> <td style="width: 17%;">Weighting</td> </tr> <tr> <td><u>Technical Approach</u></td> <td style="text-align: center;"><u>20</u> %</td> <td><u>Firm Experience</u></td> <td style="text-align: center;"><u>30</u> %</td> </tr> <tr> <td><u>Specialized Expertise</u></td> <td style="text-align: center;"><u>0</u> %</td> <td><u>Staff Capabilities</u></td> <td style="text-align: center;"><u>30</u> %</td> </tr> <tr> <td><u>Workload Capacity</u></td> <td style="text-align: center;"><u>10</u> %</td> <td><u>Past Performance</u></td> <td style="text-align: center;"><u>10</u> %</td> </tr> <tr> <td>_____</td> <td style="text-align: center;">_____ %</td> <td>_____</td> <td style="text-align: center;">_____ %</td> </tr> </table>	Criteria for this project	Weighting	Criteria for this project	Weighting	<u>Technical Approach</u>	<u>20</u> %	<u>Firm Experience</u>	<u>30</u> %	<u>Specialized Expertise</u>	<u>0</u> %	<u>Staff Capabilities</u>	<u>30</u> %	<u>Workload Capacity</u>	<u>10</u> %	<u>Past Performance</u>	<u>10</u> %	_____	_____ %	_____	_____ %
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_____	_____ %	_____	_____ %																		
8.	Do the written QBS policies and procedures discuss the method of selection? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Selection committee (titles) for this project: <u>Wally Dittrich (Village Engineer), Brad Woodbury (Director of Public Works), & Marc Facchini (Public Works Analyst)</u> Top three consultants selected for this project in order: 1) <u>GeWalt Hamilton Associates, Inc.</u> 2) <u>BLA, Inc.</u> 3) <u>Christopher B. Burke Engineering, LTD.</u> If less than 3 responses were received, IDOT's approval date: _____																				
9.	Was an estimated cost of engineering for this project developed in-house prior to contract negotiation? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No																				
10.	Were negotiations for this project performed in accordance with federal requirements? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No																				
11.	Were acceptable costs for this project verified? <input type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> LPA will rely on IDOT review and approval of costs.																				
12.	Do the written QBS policies and procedures cover review and approving for payment, before forwarding the request for reimbursement to IDOT for further review and approval? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No																				
13.	Do the written QBS policies and procedures cover ongoing and finalizing administration of the project (monitoring, evaluation, closing-out a contract, record retention, responsibility, remedies to violations or breaches to a contract, and resolution of disputes)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No																				

PAYROLL ESCALATION TABLE FIXED RAISES

FIRM NAME
 PRIME/SUPPLEMENT
 Prepared By

Gewalt Hamilton Associates

DATE 02/11/19
 PTB-ITEM# 1

CONTRACT TERM 3 MONTHS
 START DATE 8/1/2019
 RAISE DATE 5/1/2019

OVERHEAD RATE 160.00%
 COMPLEXITY FACTOR 0
 % OF RAISE 3%

END DATE 10/31/2019

ESCALATION PER YEAR

year	First date	Last date	Months	% of Contract
0	8/1/2019	5/1/2019	-3	-100.00%
1	5/2/2019	11/1/2019	6	206.00%

The total escalation = 6.00%

PAYROLL RATES

FIRM NAME Gewalt Hamilton Associates 02/11/19
 PRIME/SUPPLEMENT 0
 PTB-ITEM # 1

ESCALATION FACTOR

Note: Rates should be capped on the AVG 1 tab as necessary

CLASSIFICATION	IDOT PAYROLL RATES ON FILE	
Principal	\$70.00	\$70.00
CE VI	\$69.00	\$70.00
CE V	\$65.63	\$66.94
CE IV	\$54.73	\$55.82
CE III	\$42.29	\$43.14
CE II	\$29.50	\$30.09
CE I	\$27.37	\$27.92
Land Surveyor IV	\$46.75	\$47.69
Land Surveyor II	\$34.38	\$35.07
GISP I	\$32.00	\$32.64
Environmental Consult II	\$30.50	\$31.11
ET V	\$54.00	\$55.08
ETIV	\$38.53	\$39.30
ET III	\$29.75	\$30.35
ET II	\$26.50	\$27.03
Admin I	\$24.93	\$25.43

GHA Hourly Rate Range

Riverwoods Rd Bikepath & Westminster (FAU Route 2698)

Section No.: 18-00024-00-BT

Project No.: L3JG(391)

Job No.: C-91-221-18

Classification	From	To	Average	IDOT Max
Principal Engineer	\$ 70.00	\$ 73.00	\$ 71.44	\$ 70.00
Civil Engineer VI	\$ 65.00	\$ 70.00	\$ 69.00	
Civil Engineer V	\$ 65.00	\$ 68.00	\$ 66.00	
Civil Engineer IV	\$ 47.00	\$ 63.00	\$ 54.22	
Civil Engineer III	\$ 38.00	\$ 49.00	\$ 42.29	
Civil Engineer II	\$ 29.00	\$ 37.00	\$ 29.50	
Civil Engineer I	\$ 25.00	\$ 29.00	\$ 27.37	
Land Surveyor IV	\$ 43.00	\$ 50.00	\$ 46.75	
Land Surveyor II	\$ 32.00	\$ 38.00	\$ 34.38	
Land Surveyor I	\$ 25.00	\$ 30.00	N/A	
GISP I	\$ 25.00	\$ 32.00	\$ 32.00	
Environmental Consultant II	\$ 29.00	\$ 35.00	\$ 30.50	
Engineering Tech V	\$ 40.00	\$ 62.00	\$ 54.00	
Engineering Tech IV	\$ 31.00	\$ 45.00	\$ 38.53	
Engineering Tech III	\$ 28.50	\$ 32.00	\$ 29.75	
Engineering Tech II	\$ 24.00	\$ 28.50	\$ 26.50	
Engineering Tech I	\$ 15.00	\$ 23.00	\$ 18.39	
Admin I	\$ 17.00	\$ 40.00	\$ 23.80	

SCOPE OF SERVICES

Phase III Construction Engineering Services
Riverwoods Rd Bike Path & Westminster Improvements
Village of Lincolnshire
GHA Proposal No. 2019.CS019

PROJECT UNDERSTANDING

The Riverwoods Road Bike Path and Westminster Way Sidewalk Improvement is a bicycle passage enhancement project in the Village of Lincolnshire, and the project is part of the Village's continued efforts to ultimately connect existing path segments and continually improving the infrastructure throughout the community. The project will be administered and awarded through the Illinois Department of Transportation's (IDOT) Bureau of Local Roads and Streets. As Illinois Transportation Enhancement Program (ITEP) funds will be utilized for construction, the project will follow IDOT procedures for Federal Aid Projects.

The overall project is divided in to two segments; the Riverwoods Road Bike Path and the Westminster Way Sidewalk Improvements. The Riverwoods Road Bike Path section is the construction of a 1,560 lineal foot 8' wide multi-use pathway on the west side of Riverwoods Road (county right-of-way) from Whytegate Park to Daniel Wright Junior High School. The proposed section of pathway will link an existing internal concrete path in Whytegate Park to an existing asphalt path located on the south side of the south entrance/exit driveway to Daniel Wright Junior High School. The proposed path will cross three existing streets at Whitmore Lane, Briarwood Lane, and Brampton Lane. The Westminster Way Sidewalk is the construction of an approximately 300 lineal foot 7' wide concrete "carriage walk" style sidewalk that will link an existing 5' wide concrete sidewalk that surrounds an existing retention pond to the existing entrance/exist driveway to Homewood Suites on Westminster Way. Generally, the project improvements will consist of tree removal, hot-mix asphalt path, concrete sidewalks, various sidewalk and curb and gutter improvements in compliance with the ADA, pavement markings, traffic control, and associated restoration work.

CONSTRUCTION ENGINEERING SERVICES

It is our practice to adhere to construction industry standards and insist on compliance with the project plans and specifications in an effort to efficiently produce a quality project.

As such, Construction Engineering Services will be performed in accordance with the services outlined in the Request for Qualifications, as well as Illinois Department of Transportation standard procedures including, but not limited to, the following:

1. GHA will oversee a scheduled pre-construction meeting with project stakeholders prior to the start of construction and provide the meeting attendees with a summary in the form of Minutes for their records.
2. Prior to construction commencement, GHA will utilize measures outlined in our Public Relations Plan to determine impacts on schools, local businesses, places of worship, parks, and other local projects. We will include the Village, Village Hall, Public Works Department(s), School District(s), utility companies, and permitting agencies as members of our project communications team to collaborate and determine the best methods for identifying, reaching, and maintaining relationships with the project stakeholders. Once communications plan is established, GHA will continue to coordinate and communicate with stakeholders using resident letters, project flyers and newsletters as requested to ensure they are properly and consistently informed of the project's progress.

3. GHA will review drawings, diagrams, illustrations, brochures, catalog cuts, shop drawings, project schedules, and other data which the contractor is required to submit for conformance with the design concept and compliance with the contract documents.
4. GHA will provide geometric control and construction layout verification by making random checks to the Contractor's staking to determine if the work is in general conformance with the plans. If an error is found, we will immediately notify the Contractor to make the appropriate changes prior to construction. In addition, our survey crew will also provide before and after measurements and cross sections for applicable pay items.
5. GHA will provide full-time construction observation of the necessary construction operations and processes to ensure all materials and procedures are in conformance with the contract documents. We will utilize IDOT's computer-based system known as the Illinois Construction Records System (ICORS). This system will provide a computerized version of a Daily Diary, Weekly Reports, Daily Quantities, Quantity Book, Pay Estimates, Authorizations, and numerous other reports. We will measure, record, and provide source documentation daily for all quantities for which payment will be made, and we will adhere to general IDOT requirements regarding inspection rates, including, but not limited to, depth checks, yield requirements, and material weight ticket collection to help facilitate a timely project closeout. We will also work with the IDOT documentation auditors and reviewers as necessary to ensure the required records are provided. GHA will keep a project box on site, including all the necessary up-to-date documentation in accordance with standard procedures and IDOT's Documentation of Contract Quantities guide.
6. The Contractor is to secure final permit from Lake County Division of Transportation for work being completed within the County's right-of-way.
7. GHA will act as the Village's Resident Engineer with regards to the issued LCDOT permit and the provisions of the permit that includes providing weekly progress reports to the LCDOT Permit Department and include at the completion of the project, identify in writing to the LCDOT Access Control Officer that all work and improvements have been completed in general conformance with the engineering plans and specifications.
8. If a field change or Authorization is required, whether force account or agreed unit price, GHA will notify and advise the Village prior to making any decisions that may affect the budget. In addition, our documentation of the Contractor's daily activities will help provide sufficient information to permit verification of the nature and costs of any changes in plans or authorized extra work.
9. GHA will make observations of the utility marks provided by the J.U.L.I.E. system and address potential conflicts with the contractor.
10. GHA will schedule and moderate project progress meetings with the Village and Contractor(s) and provide attendees with a summary in the form of Minutes for their records.
11. GHA will coordinate with Village of Lincolnshire's staff for quality assurance testing for the HMA and concrete. Our sub consultant, Soil & Material Consultants, Inc., will administer the quality assurance testing for the field and laboratory requirements regarding soils and aggregate quality. We will confirm and document that all the materials used on the site meet or exceed the quality requirements of the contract and IDOT-issued Project Procedures Guide.
12. GHA will perform daily traffic control inspections in addition to those required weekly and bi-monthly during night hours, and respectively submit deficient remarks to the Contractor with appropriate corrections requested.
13. GHA will provide National Pollutant Discharge Elimination System (NPDES) monitoring in compliance with the ILR10 permit and Designated Erosion Control Inspection (DECI) services, as necessary.
14. GHA will prepare monthly pay requests for the Village's review and provide the required documentation and correspondence for the Village of Lincolnshire to submit to IDOT.

15. GHA will schedule a final walk-through upon project completion with the Village of Lincolnshire's representatives to generate a punch list of deficiencies.
16. GHA will schedule a final walk-through upon completion with LCDOT to obtain final approval and acceptance of the project.
17. GHA will keep current as-builts as the work is performed. We will annotate by hand all revisions, substitutions, variations, and omissions made or discovered during construction. Upon project completion, GHA will provide the Village of Lincolnshire with hard copies and an electronic copy of the record drawing plan set.
18. GHA will coordinate contract closeout procedures with the Contractor and IDOT to ensure an expedient and productive closeout.

**ATTACHMENT A TO GEWALT HAMILTON ASSOCIATES, INC.
PROFESSIONAL SERVICES AGREEMENT**

1. Standard of Care. The services provided by Gewalt Hamilton Associates, Inc., (GHA) under this Agreement will be reasonably performed consistent with the generally accepted standard of care for the Scope of Basic Services called for herein at the time when and the place where the services are provided. GHA will use reasonable care to comply with applicable codes and laws in effect at the time its services are provided.

2. Duration of Proposal. The terms of this Agreement are subject to renegotiation if not accepted within 60 calendar days of the date indicated on this Agreement. Requests for extension beyond 60 calendar days shall be made in writing prior to the expiration date. The fees and terms of this Agreement shall remain in full force and effect for one year from the date of acceptance of this Agreement, and shall be subject to revision at that time, or any time thereafter if GHA gives written notice to the other party at least 60 calendar days prior to the requested date of revision. In the event that the parties fail to agree on the new rates or other revisions, either party may terminate this Agreement as provided for herein.

3. Client Information. Client shall provide GHA will all project criteria and full information for its Scope of Basic Services. GHA may rely, without liability, on the accuracy and completeness of the information Client provides, including that of its other consultants, contractors and subcontractors, without independently verifying that information.

4. Payment. Payments are due within 30 calendar days after a statement is rendered. Statements not paid within 60 calendar days of the end of the calendar month when the statement is rendered will bear interest at the rate of one percent (1.0%) per month until paid. The provision for the payment of interest shall not be construed as authorization to pay late. Failure of the Client to make payments when due shall, in GHA's sole discretion, be cause for suspension of services without breach or termination of this agreement. Upon notification by GHA of suspension of services, Client shall pay in full all outstanding invoices within 7 calendar days. Client's failure to make such payment to GHA shall constitute a material breach of the Agreement and shall be cause for termination by GHA. GHA shall be entitled to reimbursement of all costs actually incurred by GHA in collecting overdue accounts under this Agreement, including, without limitations, attorney's fees and costs. GHA shall have no liability for any claims or damages arising from either suspension or termination of this Agreement due to Client's breach. The Client's obligation to pay for GHA's services is in no way dependent upon the Client's ability to obtain financing, rezoning, payment from a third party, approval of governmental or regulatory agencies or the Client's completion of the project.

5. Instruments of Service. The Client acknowledges GHA's plans and specifications, including field data, notes, calculations, and all documents or electronic data, are instruments of service. GHA shall retain ownership rights over all original documents and instruments of service. All instruments of service provided by GHA shall be reviewed by Client within 10 calendar days of receipt. Any deficiencies, errors, or omissions the Client discovers during this period will be reported to GHA and will be corrected as part of GHA's Basic Services. Failure to provide such notice shall constitute a waiver. The Client shall not reuse or make, or permit to be made, any modifications to the instruments of service without the prior written authorization of GHA. The Client waives all claims against GHA arising from any reuse or modification of the instruments of service not authorized by GHA. The Client agrees, to the fullest extent permitted by law, to defend and indemnify and hold GHA harmless from any liability, damage, or cost, including attorneys' fees, arising from the unauthorized reuse or modification of the instruments of service by any person or entity. The parties agree that if elements of the Scope of Basic Services identified in this Agreement are reduced and/or eliminated by Client, then Client waives, releases and holds GHA harmless from all claims and damages arising from those reduced and/or eliminated services. If GHA's Scope of Basic Services does not include construction administration phase services, Client assumes responsibility for interpretation of the instruments of service and construction observation, and waives all claims against GHA for any act, omission or event connected thereto. Unless included in GHA's Scope of Basic Services, GHA shall not be liable for coordination with of the services of Client's other design professionals.

6. Electronic Files. The Client acknowledges that differences may exist between the electronic files delivered and the printed instruments of service. In the event of a conflict between the signed / sealed printed instruments of service prepared by GHA and the electronic files, the signed / sealed instruments of service shall control. GHA's electronic files shall be prepared in the current software GHA uses and will follow GHA's standard formatting unless the Scope of Basic Services requires otherwise. Client accepts that GHA makes no warranty that its software will be compatible with other systems or software.

7. Applicable Codes. The Client acknowledges that applicable laws, codes and regulations may be subject to various, and possibly contradictory, interpretations. Client accepts that GHA does not warrant or guarantee that the Client's project will comply with interpretations of applicable laws, codes, and regulations as they may be interpreted to the project. Client agrees that GHA shall not be responsible for added project costs, delay damages, or schedule changes arising from unreasonable or unexpected interpretations of the laws, codes, or regulations applied to the project, nor for changes required by the permitting authorities due to changes in the law that became effective after completion of GHA's instruments of service. Client shall compensate GHA for additional fees required to revise the instruments of service to comply with such interpretations. Client shall also compensate GHA for additional fees required to revise the instruments of service if Client changes the project scope after GHA's completes its instruments of service.

8. Utilities and Soils. When the instruments of service include information pertaining to the location of underground utility facilities or soils, such information represents only the opinion of the engineer as to the possible locations. This information may be obtained from visible surface evidence, utility company records or soil borings performed by others, and is not represented to be the exact location or nature of these utilities or soils in the field. Client agrees that GHA may reasonably rely on the accuracy and completeness of information furnished by third parties respecting utilities, underground conditions and soils without performing any independent verification. Contractor is solely responsible for utility locations, their markings in the field and their placement on the plans based on information they provided. Client agrees GHA is not liable for damages resulting from utility conflicts, mistaken utility locates, unfavorable soils, and concealed or unforeseen conditions, including but not limited to added construction costs and/or project delays. If the Client wishes to obtain the services of a contractor to provide test holes and exact utility locations, GHA may incorporate that information into the design and reasonably rely upon it. If not included in the Scope of Basic Services, such work will be compensated as additional services.

9. Opinion of Probable Construction Costs. GHA's Scope of Basic Services may include the preparation of an opinion of probable construction costs. Client acknowledges that GHA has no control over the costs of labor, materials, or equipment, or over the contractor's methods of determining prices, or over competitive bidding or market conditions. Opinions of probable costs, shall be made on the basis of experience and qualifications applied to the project scope contemplated by this Agreement as well as information provided by Client (the accuracy and completeness of which GHA may rely upon), and represent GHA's reasonable judgment. Client accepts that GHA does not guarantee or warrant that proposals, bids, or the actual construction costs will not vary from opinions of probable cost prepared for the Client. GHA shall not be liable for cost differentials between the bid and/or actual costs and GHA's opinion of probable construction costs. Client agrees it shall employ an independent cost estimator if, based on its sole determination, it wants more certainty respecting construction costs,

10. Contractor's Work. Client agrees that GHA does not have control or charge of and is not responsible for construction means, methods, techniques, sequences or procedures, or for site or worker safety measures and programs including enforcement of Federal, State and local safety requirements, in connection with construction work performed by the Client or the Client's construction contractors. GHA is not responsible for the supervision and coordination of Client's construction contractors, subcontractors, materialmen, fabricators, erectors, operators, suppliers, or any of their employees, agents and representatives of such workers, or responsible for any machinery, construction equipment, or tools used and employed by contractors and subcontractors. GHA has no authority or right to stop the work. GHA may not direct or instruct the construction work in any regard. In no event shall GHA be liable for the acts or omissions of Client's construction contractors, subcontractors, materialmen, fabricators, erectors, operators or suppliers, or any persons or entities performing any of the work, or for failure of any of them to carry out their work as called for by the Construction Documents. The Client agrees that the Contractor is solely responsible for jobsite and worker safety and warrants that this intent shall be included in the Client's agreement with all prime contractors. The Client agrees that GHA and GHA's personnel and consultants (if any) shall be defended/indemnified by the Contractor for all claims asserted against GHA which arise out of the Contractor's or its subcontractors' negligence, errors or omissions in the performance of their work, and shall also be named as an additional insured on the Contractor's and subcontractors' general liability insurance policy. Client warrants that this intent shall be included in the Client's agreement with all prime contractors. If the responsible prime contractor's agreement fails to comply with the Client's intent then the Client agrees to assume the duty to defend and indemnify GHA for claims arising out of the Contractor's or subcontractors' negligence, errors or omissions in the performance of their work.

11. Contractor Submittals. Shop drawing and submittal reviews by GHA shall apply only to the items in the submissions that concern GHA's scope of Basic Services and only for the purpose of assessing if, upon successful incorporation in the project, they are generally consistent with the GHA's Instruments of Service. Client agrees that the Contractor is solely responsible for the submissions and for compliance with the Instruments of Service. Owner agrees that GHA's review and action in relation to the submissions does not constitute the provision of means, methods, techniques, sequencing or procedures of construction or extend to jobsite or worker safety. GHA's consideration of a component does not constitute acceptance of an assembled item.

12. Hazardous Materials. Client agrees that GHA has no responsibility or liability for any hazardous or toxic materials, contaminants or pollutants.

13. Record Drawings. If required by the Scope of Basic Services, record drawings will be prepared which may include unverified information compiled and furnished by others, the accuracy and completeness of which GHA may reasonably rely upon. Client accepts that GHA shall not verify the information provided to it and agrees GHA will not be responsible for any errors or omissions in the record drawings due to incorrect or incomplete information furnished by others to GHA.

14. Disputes. Client agrees to limit GHA's total aggregate liability to the Client for GHA's alleged acts, errors or omissions to \$50,000 or the amount of GHA's paid fees for its services on the project, whichever is greater. GHA's liability to Client shall be limited to twelve months from the last invoice submitted to Client by GHA, regardless of payment by Client. GHA makes no guarantees or warranties, either expressed or implied, including any warranty of habitability or fitness for a particular purpose. The parties agree to waive all claims against the other for any and all consequential damages, including attorneys' fees. The parties agree to waive against each other all rights and claims otherwise covered by property insurance, by builder's risk insurance or by all risk insurance, including but not limited to subrogation rights regardless of whether the claims arise during or post-construction and regardless of final payment to GHA.

All disputes arising out of or relating to this Agreement shall first be negotiated between the parties. If unresolved, the dispute shall be submitted to mediation as a condition precedent to litigation. Mediation shall take place in Chicago, Illinois unless the Client and GHA mutually agree otherwise. The fees and costs of the mediator shall be apportioned equally between the parties. If mediation is unsuccessful, litigation shall be the form of dispute resolution and shall be filed in the jurisdiction where the project was pending. The controlling law shall be the law of the jurisdiction where the project was located. Client agrees that all causes of action under this Agreement shall be deemed to have accrued and all statutory limitations periods shall commence no later than the date of GHA's services being substantially completed. Client agrees that any claim against GHA arising out of this Agreement shall be asserted only against the entity and not against GHA's owners, officers, directors, shareholders, or employees, none of whom shall bear any liability and may not be subject to any claim.

15. Miscellaneous. Either Client or GHA may terminate this Agreement without penalty at any time with or without cause by giving the other party ten (10) calendar days prior written notice. The Client shall, within thirty (30) calendar days of termination pay GHA for all services rendered and all costs incurred up to the date of termination in accordance with compensation provisions of this Agreement. Client shall not assign this Agreement without GHA's prior written consent. There are no third-party beneficiaries to this Agreement.



Office: 847-870-0544

Fax: 847-870-0661

us@soilandmaterialconsultants.com

www.soilandmaterialconsultants.com

February 8, 2019
Proposal No. 17,345

Mr. James Houston
Gewalt Hamilton Associates, Inc.
625 Forest Edge Drive
Vernon Hills, IL 60061

Re: Soil and Construction Material Testing
FAU Riverwoods Rd & Westminster Way
Lincolnshire, Illinois

Dear Mr. Houston:

Submitted for your consideration is our proposal to provide soil and construction material testing on a will-call basis initiated by your office or representative.

We understand the testing requirements of the IDOT QC/QA program are applicable. We propose to be the QA project manager, provide QA plant testing and provide QA jobsite testing.

Attached is our Schedule of Fees for anticipated services. Note that hourly rates are inclusive of mileage and equipment charges. Based on available information and our experience on similar projects, we estimate a charge of \$1,845.00 may be incurred for the anticipated services. Actual billing will be on a unit price basis and you will only be billed for those services actually provided. Final billing may be less than or greater than the estimated charge. Requests for services not included within the scope of this proposal will be provided at our established unit prices.

Thank you for the opportunity of submitting this proposal, which includes the attached General Conditions. If acceptable, please sign and return one copy to our office. Further, please include applicable plans and specifications, if not already submitted.

Very truly yours,

SOIL AND MATERIAL CONSULTANTS, INC.

Reid T. Steinbach, P.E.
Director of Engineering

Proposal Accepted By:

Client _____

Street _____

Town _____ State _____ Zip Code _____

Phone () _____ E-Mail Address _____

Signature _____ Position _____

Printed Name _____ Date _____

8 W. COLLEGE DR. • SUITE C • ARLINGTON HEIGHTS, IL 60004

SOIL BORINGS • SITE INVESTIGATIONS • PAVEMENT INVESTIGATIONS • GEOTECHNICAL ENGINEERING
TESTING OF • SOIL • ASPHALT • CONCRETE • MORTAR • STEEL

SOIL AND MATERIAL CONSULTANTS, INC.

SCHEDULE OF FEES

Effective 1-1-19

BITUMINOUS CONCRETE

<u>Service</u>	<u>Estimated Units</u>	<u>Fee</u>	<u>Cost</u>
<u>Field Testing</u>			
Technician with Nuclear Gauge	5 hours	\$ 85.00 /hour 340.00 /day min.	\$ 425.00
<u>Engineering</u>			
Senior Engineer (P.E.) - QA Project Manager, includes project administration, field/laboratory engineering, mix design review, consultation and report review	1 hours	\$ 140.00 /hour	\$ 140.00
Estimated Cost:			\$ 565.00

Estimates:

<u>Item</u>	<u>Tons</u>	<u>Contractor Working Days</u>	<u>Est. Days - 20% QA</u>
HMA Surface, N50	240	0.5	0.5
HMA Binder, N50	8	0.5	
Total:	248	0.5	0.5

Billing Notes:

Hourly Charges: Portal To Portal
 Weekdays over 8 hours/day: Hourly Rate x 1.5

Saturdays: Hourly Rate x 1.5
 Sundays: Hourly Rate x 2.0

SOIL AND MATERIAL CONSULTANTS, INC.

SCHEDULE OF FEES

Effective 1-1-19

PORTLAND CEMENT CONCRETE

<u>Service</u>	<u>Est. Work Units</u>	<u>Fee</u>	<u>Cost</u>
<u>Field Testing</u>			
Technician - includes temperature, slump, air and cylinders	10 hours	\$ 85.00 /hour 340.00 /day min.	\$ 850.00
Cylinder Pick-up	2 hours	\$ 85.00 /hour	\$ 170.00
<u>Laboratory Testing</u>			
Cylinder Compressive Strength	8 each	\$ 15.00 each	\$ 120.00
<u>Engineering</u>			
Senior Engineer (P.E.) - QA Project Manager. includes project administration, field/laboratory engineering, mix design review, consultation and report review	1 hours	\$ 140.00 /hour	\$ 140.00
			Estimated Cost: \$ 1,280.00

Estimates:

<u>Item</u>	<u>Quantity</u>	<u>CY</u>	<u>Contractor Working Days</u>	<u>Est. Days - 20% QA</u>	<u>Cyls.</u>
PCC Combined C & G	185 Ft.	10.3	0.5	0.5	4
PCC Sidewalk (5")	2,745 Ft²	42.4	2.0	0.5	4
Total:		52.7	2.5	1.0	8

Billing Notes:

Hourly Charges: Portal To Portal
 Weekdays over 8 hours/day: Hourly Rate x 1.5

Saturdays: Hourly Rate x 1.5
 Sundays: Hourly Rate x 2.0

TERMS AND CONDITIONS

Soil and Material Consultants, Inc. (SMC) scope of work defined in the proposal was based on information provided by the client. If incomplete, inaccurate or if unexpected site conditions are discovered, the scope of work may change.

GEOTECHNICAL INVESTIGATIONS

Client will furnish SMC with right-of-access to the site. SMC will take reasonable precautions to minimize site damage due to its operations, but has not included in the fee the cost of restoration of any resulting damage. SMC shall not be liable for damage or injury due to encountering subsurface structures (pipes, tanks, utilities or others) not called to SMC's attention in writing or are not correctly shown on the drawings furnished by client or client's representative. If the client desires, SMC will restore any damage to the site and add the cost of restoration to the fee.

Field work, laboratory testing and engineering analysis will be performed in accordance with generally accepted soil and foundation engineering practices. Samples are retained in our laboratory for 30 days from date of report and then destroyed unless other disposition is requested. The data reported applies only to the soils sampled and the conditions encountered at each boring location. This does not imply or guarantee that soils between borings will be identical in character. Isolated inclusions of better or poorer soils can be found on any site. SMC will not be liable for extra work or other consequences due to changed conditions encountered between borings.

Any exploration, testing and analysis associated with the investigation will be performed by SMC for the client's sole use to fulfill the purpose of this Agreement. SMC is not responsible for use or interpretation of the information by others. The client recognizes that subsurface conditions may vary from those encountered in borings or explorations. Information and recommendations developed by SMC are based solely on available information and for the currently proposed improvement.

Documents including but not limited to technical reports, original boring logs, field data, field notes, laboratory test data, calculations, reports of inspection and testing, geotechnical reports, technical reports, submittals and estimates furnished to the client or its agents pursuant to this agreement are not intended or represented to be suitable for reuse by the client or others on extensions of this project or on any other project. Any reuse without SMC's written consent will be at user's sole risk and without liability or legal exposure to SMC. User shall indemnify and hold harmless SMC from all claims, damages, losses and expenses including attorney's fees arising out of or resulting therefrom. To the maximum extent permitted by law, the Client agrees to limit SMC liability for clients' damages to \$100,000 or the fee, whichever is lesser. This limitation shall apply regardless of the cause of action or legal theory pled or asserted.

Soil and Material Consultants, Inc. is a Professional Engineering Corporation. Engineering services are often completed by extension through technical staff. The unit rates presented in this proposal do not reflect charges associated with organized labor. Future agreements, if any, with organized labor will invalidate some of the unit rates presented. Required rate adjustments will be presented to the client for acceptance prior to providing services at the adjusted rates.

Services are invoiced monthly for the preceding period. Client agrees to pay each invoice within thirty (30) days of receipt and further agrees to pay interest on all amounts not paid at the rate of 2.0% per month, an annual rate of 24%, from the due date. Client agrees to pay all reasonable costs of collection including staff time, court costs, Attorneys' fees and related expenses, if this account becomes delinquent. Client agrees that reports furnished to the client but not paid for in full remain the sole property of SMC and will not be used for design, construction, permits, licensing, sales or other gain.

TESTING SERVICES

Client shall furnish SMC with at least one working day's notice on any part-time (less than 8 hours/day) job when field personnel are requested. SMC shall make reasonable effort to provide field personnel in a timely manner but reserves the right to schedule field personnel as deemed appropriate. Minimum charges will be billed when work cancellations are received after field personnel have left for the project site.

SMC personnel will provide a professional service based on observations and testing of the work of a contractor, subcontractor, or other service/material provider, as specifically requested. SMC field personnel will look for general conformance with project specifications, plans and/or soil report but does not accept the responsibility to control or direct the work of others. Discrepancies noted by SMC office or field personnel will be referred to client or client's representative.

Testing Services furnished by SMC are defined as the taking of soil and/or material tests at various locations and the making of visual observations relating to earthwork, foundations, and/or materials as specifically requested by the client and agreed to by SMC, and will be limited to those specifically agreed services. Such services will be performed by SMC using that degree of care and skill ordinarily exercised, under similar circumstances, by reputable members of the profession practicing in this or similar localities.

Observations and testing of soils and/or materials by SMC in no way implies a guarantee or warranty of the work of the contractor, subcontractor, or other service/material provider. SMC's work or failure to perform same shall in no way excuse such contractor, subcontractor or other service/material provider from liability in the event of subsequently discovered defects, omissions, errors, deficiencies or failure to perform in accordance with the project plans and specifications. SMC field personnel shall not be responsible for superintendence of the construction process nor direction of the work of the contractor, subcontractor, or other service/material provider. SMC's work shall not include determining or implementing the means, methods, techniques, sequences or procedures of construction. SMC shall not be responsible for evaluating, reporting or affecting job conditions concerning health, safety or welfare.

AVERAGE HOURLY PROJECT RATES

FIRM Soil and Material Consultants
PTB-ITEM# 1
PRIME/SUPPLEMENT 0

DATE 02/19/19

SHEET 1 OF 5

PAYROLL CLASSIFICATION	AVG HOURLY RATES	TOTAL PROJ. RATES			Material Testing											
		Hours	% Part.	Wgtd Avg	Hours	% Part.	Wgtd Avg	Hours	% Part.	Wgtd Avg	Hours	% Part.	Wgtd Avg	Hours	% Part.	Wgtd Avg
Asphalt Technician	85.00	5.0	26.32%	22.37	5	26.32%	22.37									
Concrete Technician	85.00	10.0	52.63%	44.74	10	52.63%	44.74									
Concrete Cylinder Pickup	85.00	2.0	10.53%	8.95	2	10.53%	8.95									
Senior Engineer	140.00	2.0	10.53%	14.74	2	10.53%	14.74									
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TOTALS		19.0	100%	\$90.79	19.0	100.00%	\$90.79	0.0	0%	\$0.00	0.0	0%	\$0.00	0.0	0%	\$0.00



Local Public Agency Resident Construction Supervisor/ In Responsible Charge

Mr. Anthony Quigley, P.E.
IDOT District One Engineer
Regional Engineer
Department of Transportation
201 West Center Court
Schaumburg, Illinois 60196

County Lake
Municipality Village of Lincolnshire
Section 18-00024-00-BT
Route FAU 2698
Contract No.
Job No. C-91-221-18
Project L3JG(391)

- I recommend the following individual as a local public agency employee qualified to be resident construction supervisor and to be in responsible charge of this construction project.
I certify that I am in responsible charge as defined by the department of this construction project. Since the local public agency does not have a local public agency employee qualified to be the resident construction supervisor, I am recommending a consulting engineer to serve as resident construction supervisor.

Date Signature and Title (for the Local Public Agency)

Jon Zuhr
Applicants Name (Type or Print)

The following describes my educational background, experience and other qualifications to be resident construction supervisor of this construction project for the Local Public Agency.
For Consultants: I certify that my firm is prequalified in Construction Inspection and my Documentation of Contract Quantities certificate number is 17-12528.
Jonathon E. Zuhr is an experienced professional with a diverse education and experience within a civil engineering firm. Mr. Zuhr has worked full-time with GHA since 2005, where he has concentrated his efforts in construction phase services, documentation, engineering design, geographic information systems, and data collection and inventory.

Date Signature of Applicant Job Title of Applicant

Based on the above information and my knowledge of the applicant's experience and training, it is my opinion that the applicant is qualified to serve as the resident construction supervisor on this construction project.

Approved Date Regional Engineer

cc: Engineer of Local Roads and Streets, Central Bureau of Local Roads and Streets
Engineer of Construction, Central Bureau of Construction
Resident Construction Supervisor
Local Public Agency

Instructions for Preparation of Form BC 775

23 CFR 635.105 requires that the state transportation department (STD) has responsibility for the construction of all Federal-aid projects, and is not relieved of such responsibility by authorizing performance of the work by a local public agency or other Federal agency.

When a project is located on a street or highway over which the STD does not have legal jurisdiction, or when special conditions warrant, the STD, while not relieved of overall project responsibility, may arrange for the local public agency having jurisdiction over such street or highway to perform the work with its own forces or by contract. In those instances where a local public agency elects to use consultants for construction engineering services, the local public agency shall provide a full-time employee of the agency to be in responsible charge of the project.

The full-time local public agency employee in responsible charge of the project shall perform the following duties and functions:

- Administer inherently governmental project activities, including those dealing with cost, time, adherence to contract requirements, construction quality and scope of projects;
- Maintain familiarity of day to day project operations, including project safety issues;
- Make or participate in decisions about changed conditions or scope changes that require change orders or supplemental agreements;
- Visit and review the project on a frequency that is commensurate with the magnitude and complexity of the project;
- Review financial processes, transactions and documentation to ensure that safeguards are in place to minimize fraud, waste, and abuse;
- Direct project staff, agency or consultant, to carry out project administration and contract oversight, including proper documentation; and
- Aware of the qualifications, assignments and on-the-job performance of the agency and consultant staff at all stages of the project.

The Department of Transportation, in accordance with the requirements, requires the local public agency to identify the local public agency employee who will be in responsible charge of each Federal-Aid project which will be constructed under the supervision of the county, municipality or other public agency. County Engineers, Municipal Engineers, and full-time local public agency employees registered as a professional engineer should be identified in the pre-construction meeting minutes. All other resident construction supervisors must submit their qualifications on this form for approval by the department. Resident construction supervisors who are consultants shall be certified in Documentation of Contract Quantities and their firm shall be prequalified in Construction Inspection.

This form will be completed by the applicant, endorsed by a representative of the local public agency, and submitted to the Deputy Director Division of Highways, Regional Engineer prior to the start of construction. This signatory for the local public agency should be the County Engineer or Municipal Engineer, as applicable. In the event a municipality does not have a Municipal Engineer, the applicant will be recommended by the appropriate municipal authority.

If a consultant is named on this form, the approved form will be included as an attachment to the appropriate construction engineering consultant agreement.

This document should be discussed as part of the preconstruction conference and a copy of the approved form retained with the preconstruction meeting minutes.

Instructions for Preparation of Form BC 776

23 CFR 635.105 requires that the state transportation department (STD) has responsibility for the construction of all Federal-aid projects, and is not relieved of such responsibility by authorizing performance of the work by a local public agency or other Federal agency.

A consultant may be utilized for periodic examination and consultation or for full-time technical inspection of construction. However, the prime responsibility for general supervision of the construction must remain with the state. The state (or county or municipality under agreement with the state) cannot be relieved of its responsibility to ensure that the work is performed in accordance with the approved project plans, specifications and estimate.

Therefore, the Department of Transportation requires the local public agency to submit the qualifications of all personnel who will be assigned to construction layout and inspection duties on each Federal-Aid project which will be constructed under the supervision of the county, municipality or other local public agency. This form will be approved by the resident construction supervisor. If the resident construction supervisor is a consultant, this form will also be approved by the local public agency employee in responsible charge.

If a consultant is named on this form, the approved form will be included as an attachment to the construction engineering consultant agreement.

The approved form will be submitted to the Deputy Director Division of Highways, Regional Engineer prior to the start of construction. This form should be discussed as part of the preconstruction conference and a copy of the approved form retained with the preconstruction meeting minutes.

**REQUEST FOR BOARD ACTION
Committee of the Whole
September 9, 2019**

Subject: Village of Lincolnshire Leaf Hauling and Disposal

Action Requested: Consideration and Discussion

Originated By: Marc Facchini, Public Works Management Analyst
Wally Dittrich, Assistant Public Works Director/Village Engineer

Referred To: Mayor and Board of Trustees

Summary / Background:

In 2016, the Village received bids for 2017 leaf disposal services (with an option for the Village to renew in 2018 & 2019). This contract provides for a contractor to haul away the leaves dumped at the Village's Londonderry Lane facilities by Waste Management during leaf collection season. Due to issues with the Village's current leaf disposal contractor, staff solicited bids for the next three years of leaf disposal services. The Village published a bid notice on Monday August 19 in the Daily Herald and notified previous contractors who have previously hauled and disposed leaves during the Village's annual Leaf Collection Program. Staff opened 1 sealed bid at a public bid opening on Tuesday, September 3. The Village received a bid from the following company: The Mulch Center, Deerfield, IL

The following is the contract price proposed by the bidder:

Bidder: The Mulch Center

	2019	2020	2021
Current Contract	\$6.00		
\$/cubic Yard	\$5.10	\$5.85	\$6.65

Budget Impact

The Fiscal Year 2019 Budget reflects \$40,000 allocated in Public Works account 01-21-61-9006 for Leaf Disposal. The Village has averaged 6,195 cubic yards of leaves annually over the last 10 years with a high of 7,100 cubic yards and a low of 5,100 cubic yards. In 2018 the quantity hauled was 5,940 cubic yards at a price of \$5.75/ cubic yard at a total cost of \$34,155. The 2019 price by the current contract was \$6.00/cubic yard, which is \$0.90/cubic yard higher than the bid received and \$0.25/cubic yard more expensive than the 2018 contact cost.

Recommendation:

Staff checked references and found The Mulch Center of Deerfield, IL to be a reputable contractor who has performed leaf hauling for several communities including Waukegan, Lake Forest and Evanston. Staff recommends approval of a contract with found The Mulch Center and placement on the September 23, 2019 consent agenda for leaf hauling and disposal services in an amount not to exceed \$40,000.00. While there was only 1 bidder, the 5 bidders that submitted bids previously for the 2019 leaf disposal contract ranged from \$6.00/cubic yard

to \$25.00/cubic yard. The Mulch Center was subcontracted by the Village's current contractor for the past 2 years to dispose of the leaves and has performed exceptionally well; therefore, given the past performance and pricing, staff recommends approval of the bid even though only 1 bid was submitted.

Reports and Documents Attached:

- N/A

Meeting History	
Committee of the Whole	September 9, 2019