



**AGENDA**  
**REGULAR VILLAGE BOARD MEETING**  
**Village Hall – Board Room**  
**Tuesday, October 15, 2019**  
**7:00 p.m.**

*Reasonable accommodations/auxiliary aids will be provided to enable persons with disabilities to effectively participate in any public meetings of the Board. Please contact the Village Administrative Office (847.883.8600) 48 hours in advance if you need special accommodations to attend. Regular Village Board Meetings will not proceed past 10:30 p.m. unless there is a consensus of the majority of the Trustees to do so.*

**CALL TO ORDER**

**1.0 ROLL CALL**

**2.0 PLEDGE OF ALLEGIANCE**

**3.0 REPORTS OF OFFICERS**

3.1 Mayor's Report

3.2 Village Clerk's Report

3.3 Village Treasurer's Report

3.4 Village Manager's Report

**4.0 PAYMENT OF BILLS**

4.1 Bills Presented for Payment on October 15, 2019 in the amount of \$670,304.45

**5.0 CITIZENS WISHING TO ADDRESS THE BOARD (on agenda items only)**

**6.0 PETITIONS AND COMMUNICATIONS**

**7.0 CONSENT AGENDA**

*Items on the Consent Agenda will be approved by one motion. If a Trustee wishes to discuss any item, it will be pulled from the Consent Agenda and discussed under "Unfinished Business".*

7.1 Approval of September 23, 2019 Regular Village Board Meeting Minutes

7.2 Approval of September 23, 2019 Committee of the Whole Meeting Minutes

7.3 Approval of an Ordinance Authorizing the Disposal of Surplus Property (Village of Lincolnshire)

7.4 Approval of the Community Christian Church of Lincolnshire's Request to Use Village Streets for a Community 5K Race/Walk and Waiver of the Village Street Usage Policy Cash Bond Requirement (Community Christian Church of Lincolnshire)

- 7.5 Approval of an Ordinance Amending Title 3 (Business and License Regulations), Chapter 3 (Liquor Control), Section 3-3-2-1 (Liquor License Classes) of the Lincolnshire Village Code (Village of Lincolnshire)

**8.0 ITEMS OF GENERAL BUSINESS**

8.1 Planning, Zoning & Land Use

- 8.11 Approval of an Ordinance Amending the Lincolnshire Village Code, Title 6 (Zoning), Chapter 11 (Off-Street Parking and Loading), Section 6-11-2-G (Off-Street Parking Facilities) Related to Hotel Parking Requirements (350 Knightsbridge Parkway - Knight Bridge Pky, LLC)

- 8.12 Approval of an Ordinance Granting a Special Use Permit to Construct a 113-room Hotel in the Office/Industrial (O/Ib) Zoning Subdistrict; Building Height Variation; Setback Variations; and Wall Sign Variations (350 Knightsbridge Parkway - Knight Bridge Pky, LLC)

8.2 Finance and Administration

8.3 Public Works

8.4 Police

8.5 Parks and Recreation

8.6 Judiciary and Personnel

**9.0 REPORTS OF SPECIAL COMMITTEES**

**10.0 UNFINISHED BUSINESS**

**11.0 NEW BUSINESS**

**12.0 ADJOURNMENT**



**VILLAGE OF LINCOLNSHIRE**

**BILLS PRESENTED FOR PAYMENT**  
10/15/2019

General Fund	\$	261,913.13
Water & Sewer Fund	\$	311,522.61
Motor Fuel Tax		
Water & Sewer Improvement Fund	\$	33,302.50
Fraud, Alcohol, Drug Enforcement		
Vehicle Maintenance Fund	\$	16,145.24
E 911 Fund		
Park Development Fund		
Sedgebrook SSA	\$	225.00
General Capital Fund	\$	47,195.97
<b>GRAND TOTAL</b>	<b>\$</b>	<b>670,304.45</b>

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Brad Burke, Village Manager

INVOICE NUMBER	DESCRIPTION	AMOUNT
<b>VENDOR NAME: ACCURATE DOCUMENT DESTRUCTION</b>		
15667233	09/05/19 Document Destruction	139.93
TOTAL VENDOR ACCURATE DOCUMENT DESTRUCTIO		139.93
<b>VENDOR NAME: ADAMS ENTERPRISES, INC.</b>		
J004153	Trailer 261 Re-Deck (Emergency Repair)	2,239.92
S015911	Western Plow Oil	162.00
TOTAL VENDOR ADAMS ENTERPRISES, INC.		2,401.92
<b>VENDOR NAME: ADVANCED BUSINESS GR</b>		
00022124	Site-to-site VPN Service	125.00
TOTAL VENDOR ADVANCED BUSINESS GR		125.00
<b>VENDOR NAME: AED SUPERSTORE</b>		
1491043	AED Battery	169.00
TOTAL VENDOR AED SUPERSTORE		169.00
<b>VENDOR NAME: AEREX PEST CONTROL SERVICES, INC.</b>		
2301719	Pest Control Service - Public Works	55.00
2301707	Pest Control Services - Village Hall	55.00
TOTAL VENDOR AEREX PEST CONTROL SERVICES, IN		110.00
<b>VENDOR NAME: ALEXANDER CHEMICAL CORPORATION</b>		
10083751	Chlorine Cylinders	1,160.00
TOTAL VENDOR ALEXANDER CHEMICAL CORPORATIO		1,160.00
<b>VENDOR NAME: ALPHAGRAPHICS</b>		
54315	Prints of Maps	285.33
TOTAL VENDOR ALPHAGRAPHICS		285.33
<b>VENDOR NAME: AMERICAN PRINTING TECHNOLOGIES</b>		
19-LS10-P	10 2019 UB Postage	930.62
19-LS10	10 2019 UB Print Service	465.00
TOTAL VENDOR AMERICAN PRINTING TECHNOLOGIES		1,395.62
<b>VENDOR NAME: AMERICAN WATER WORKS</b>		
0042932219-20	Membership Renewal for Bob Suda 12-1-19 to 11-3	218.00
TOTAL VENDOR AMERICAN WATER WORKS		218.00
<b>VENDOR NAME: AMERICAN WELDING &amp; GAS, INC.</b>		
06591740	Torch Oxygen	22.25
6597652	Welding Wire	64.00
06618401	For Lift Propane	30.35
06618402	Gas Tanks	54.04
06618383	Gas Tank Regulator	75.00
TOTAL VENDOR AMERICAN WELDING & GAS, INC.		245.64
<b>VENDOR NAME: AMERI-TEX INC.</b>		
124325	Embroider Vest Cover - Kantner	7.50
TOTAL VENDOR AMERI-TEX INC.		7.50
<b>VENDOR NAME: ANYPROMO INC.</b>		
CV9094525	Promo Item power banks	325.41
CV9094526	Promo Item LPD mugs	479.23
CV9096556	Promo Item Whistle Flashlight Keychains	192.78
TOTAL VENDOR ANYPROMO INC.		997.42
<b>VENDOR NAME: ARLINGTON HEIGHTS FORD</b>		
C91256	Admin 63 Alignment & Trans Service	356.40
876839	Admin 83 Trans Lines	116.02
877688	Admin 103 Fuel Pump Module	46.45
878153	Wiper Blades	199.31
878016	Squad 1803 Seat Handle	20.33

INVOICE NUMBER	DESCRIPTION	AMOUNT
<b>VENDOR NAME: ARLINGTON HEIGHTS FORD</b>		
	TOTAL VENDOR ARLINGTON HEIGHTS FORD	738.51
<b>VENDOR NAME: ARROWHEAD FORENSICS</b>		
119325	Footprint Lifter and Tape	124.82
	TOTAL VENDOR ARROWHEAD FORENSICS	124.82
<b>VENDOR NAME: ASSOCIATED TECHNICAL SERVICES LTD.</b>		
31863	Village Hall Leak Check	705.00
	TOTAL VENDOR ASSOCIATED TECHNICAL SERVICES L	705.00
<b>VENDOR NAME: AZAVAR</b>		
148396	Utility Tax Audit Cable Complete- Final Payment	119.35
	TOTAL VENDOR AZAVAR	119.35
<b>VENDOR NAME: B &amp; F CONSTRUCTION CODE SERVICES</b>		
11622	July 2019 Inspections	2,160.00
52212	Plan Review_350 Knightsbridge Pky_Homes2 Suite	3,498.91
11787	August 2019 Inspections	2,910.00
	TOTAL VENDOR B & F CONSTRUCTION CODE SERVICE	8,568.91
<b>VENDOR NAME: BADE SUPPLY</b>		
29658	Paper Products	255.00
30099	Paper Products	345.54
	TOTAL VENDOR BADE SUPPLY	600.54
<b>VENDOR NAME: BADGER METER</b>		
80038870	Beacon Meter Maintenance	165.30
	TOTAL VENDOR BADGER METER	165.30
<b>VENDOR NAME: BAXTER &amp; WOODMAN INC.</b>		
0208859	2019 Pavement Rehab Design Professional Service	4,655.44
	TOTAL VENDOR BAXTER & WOODMAN INC.	4,655.44
<b>VENDOR NAME: BELLAS BOUNCIERS</b>		
25757_Revised	2019 Boo Bash_Bellas Bounciers_Revised Contract	1,603.00
	TOTAL VENDOR BELLAS BOUNCIERS	1,603.00
<b>VENDOR NAME: BOLLINGER, LACH &amp; ASSOC</b>		
19844-1	Crosstown Watermain Design 08-1-19 to 8-31-19	8,200.71
19806-6	Crosstown Watermain Phase III Professional Servic	15,684.14
	TOTAL VENDOR BOLLINGER, LACH & ASSOC	23,884.85
<b>VENDOR NAME: BS&amp;A SOFTWARE</b>		
125165_125649	BS&A Aug 2019_2020 Annual	14,914.00
	TOTAL VENDOR BS&A SOFTWARE	14,914.00
<b>VENDOR NAME: BURRIS EQUIPMENT CO.</b>		
WI36296	Anti-Icing Room Brine Pump	463.96
	TOTAL VENDOR BURRIS EQUIPMENT CO.	463.96
<b>VENDOR NAME: CDW-G</b>		
VCM8380	Zebra Printer Paper	476.00
	TOTAL VENDOR CDW-G	476.00
<b>VENDOR NAME: CHICAGOLAND PAVING</b>		
19-32-2	North Park Tennis Court - Payment #2	20,520.00
	TOTAL VENDOR CHICAGOLAND PAVING	20,520.00
<b>VENDOR NAME: CHRISTOPHER B BURKE ENGINEERING LTD</b>		

INVOICE NUMBER	DESCRIPTION	AMOUNT
<b>VENDOR NAME: CHRISTOPHER B BURKE ENGINEERING LTD</b>		
153299	Village Wide Drainage Study 7-28-19 to 8-31-19	9,420.83
TOTAL VENDOR CHRISTOPHER B BURKE ENGINEERIN		9,420.83
<b>VENDOR NAME: CINTAS CORPORATION #47P</b>		
4031715124	Weekly Uniform Rental - Public Works	206.70
4031167833	Weekly Uniform Rental - Public Works	99.35
4030638208	Weekly Uniform Rental - Public Works	99.35
4029609899	Weekly Uniform Rental - Public Works	99.35
4030128246	Weekly Uniform Rental - Public Works	99.35
TOTAL VENDOR CINTAS CORPORATION #47P		604.10
<b>VENDOR NAME: CIORBA GROUP</b>		
0024402	Buffalo Grove Water Interconnection Construction 7	9,417.65
TOTAL VENDOR CIORBA GROUP		9,417.65
<b>VENDOR NAME: CLOWNING AROUND ENTERTAINMENT, INC.</b>		
36922	2019 Boo Bash_Clowning Around Entertainment_S	562.50
36922a	2019 Boo Bash_Clowning Around Entertainment_S	562.50
TOTAL VENDOR CLOWNING AROUND ENTERTAINMENT		1,125.00
<b>VENDOR NAME: COMCAST CABLE</b>		
86899246	2019 September Ethernet VPN Connection 101 We	371.42
88424839	2019 October Ethernet VPN Connection 101 Westm	212.00
TOTAL VENDOR COMCAST CABLE		583.42
<b>VENDOR NAME: COMED</b>		
3427049011-09-19	Rate 23 Street Lighting 8-21-19 to 9-20-19	935.67
1131144094-09-19	Trailhead Park Lighting 8-29-19 to 9-30-19	31.04
5760114015-09-19	Riverside Drive Liftstation Pumping 8-30-19 - 9-30-19	215.17
6520050011-10-19	Fallstone Pumping Meter 8-30-19 to 10-1-19	63.72
0777044014-10-19	Old Mill Liftstation 8-30-19 to 10-1-19	128.66
9047167009-10-19	Londonderry Pumping 8-29-19 to 9-30-19	341.31
4803164127-10-19	OHDR Bike Path Lighting 8-30-19 to 10-1-19	44.91
7299013001-10-19	Farrington Pumping 8-30-19 to 10-1-19	73.56
7128083006-09-19	Westwood Pumping Meter 8-29-19 to 9-30-19	86.18
3038188003-10-19	Northampton Sanitary Sump Meter 8-30-19 to 10-1-19	27.62
3038275001-10-19	Whytegate Park 8-30-19 to 10-1-19	40.26
3168065033-10-19	Brookwood Liftstation 8-30-19 to 10-1-19	66.09
0995113016-10-19	Entry Sign @ Milwaukee & OHDR 8-30-19 to 10-1-19	34.53
0339014158-10-19	Riverwoods @ Everett Street Lighting 8-30-19 to 10-1-19	5.30
TOTAL VENDOR COMED		2,094.02
<b>VENDOR NAME: CONCENTRIC INTEGRATION, LLC</b>		
0207691	ICLS Repair	735.76
0207692	SCADA Server Repair	945.00
0207693	ESR Signal Issue	390.00
0208837	SCADA Repair Issues	537.48
0208839	ESR UPS Replacement	2,486.86
0208838	ICLS Level Controller Repair	2,827.13
0208602	HPWTP Ethernet Installation	987.00
0205716	Communication Failure	946.54
TOTAL VENDOR CONCENTRIC INTEGRATION, LLC		9,855.77
<b>VENDOR NAME: CONSERV FS, INC.</b>		
65083695	Field Paint - North Park	995.00
TOTAL VENDOR CONSERV FS, INC.		995.00
<b>VENDOR NAME: CUTLER WORKWEAR</b>		
127962	Thigh Bibs for Jeremy Hakala	96.29
127961	Work Boots for Jeremy Hakala	139.46
125835	PW Uniform - Sweatshirt	77.39
126511	Uniform Sweatshirt	154.78
TOTAL VENDOR CUTLER WORKWEAR		467.92
<b>VENDOR NAME: DEERFIELD LOCKSMITH CO INC</b>		

INVOICE NUMBER	DESCRIPTION	AMOUNT
<b>VENDOR NAME: DEERFIELD LOCKSMITH CO INC</b>		
035512	Village Hall Door Repair @ Front Entrance	177.50
TOTAL VENDOR DEERFIELD LOCKSMITH CO INC		177.50
<b>VENDOR NAME: DIMEO BROS., INC.</b>		
41417	Emergency Watermain Repair @ 3 Astor	8,056.00
41416	Emergency Watermain Repair @ 4 Briarwood	7,615.00
TOTAL VENDOR DIMEO BROS., INC.		15,671.00
<b>VENDOR NAME: DURABIL FENCE II, INC.</b>		
12070	North Park Chain Link Fence Re-Tie	595.00
TOTAL VENDOR DURABIL FENCE II, INC.		595.00
<b>VENDOR NAME: DUSTCATCHERS &amp; A LOGO MAT INC</b>		
65124	Floor Mat Service - Public Works	59.50
65123	Floor Mat Service - Village Hall	14.00
65572	Floor Mat Service - Public Works	59.50
65571	Floor Mat Service - Village Hall	14.00
TOTAL VENDOR DUSTCATCHERS & A LOGO MAT INC		147.00
<b>VENDOR NAME: ECO CLEAN MAINTENANCE, INC.</b>		
8181	Janitorial Services 9-1-19 to 9-30-19	2,985.00
TOTAL VENDOR ECO CLEAN MAINTENANCE, INC.		2,985.00
<b>VENDOR NAME: ELEVATOR INSPECTION SERVICES</b>		
87500	September 2019 Elevator Reinspections 8@17/insp	136.00
TOTAL VENDOR ELEVATOR INSPECTION SERVICES		136.00
<b>VENDOR NAME: ERNIE'S WRECKER SERV</b>		
09242019LSPW	Admin 103 Tow	85.00
TOTAL VENDOR ERNIE'S WRECKER SERV		85.00
<b>VENDOR NAME: EVIDENT, INC.</b>		
149021B	Print Lifter Field Kit	783.02
TOTAL VENDOR EVIDENT, INC.		783.02
<b>VENDOR NAME: FAINMAN, MELISSA</b>		
09212019	Picnic Permit Refund, inclement weather	50.00
TOTAL VENDOR FAINMAN, MELISSA		50.00
<b>VENDOR NAME: FENCE SOLUTIONS CO.</b>		
092020192	Old Mill Fence - Payment 2 of 2	1,332.50
092020191	Fence Repair @ 101 Fallstone (50% Deposit)	1,332.50
TOTAL VENDOR FENCE SOLUTIONS CO.		2,665.00
<b>VENDOR NAME: FIRST COMMUNICATIONS</b>		
118391502	09 2019- T-1 Line	279.92
TOTAL VENDOR FIRST COMMUNICATIONS		279.92
<b>VENDOR NAME: FIRST RESPONDERS WELLNESS CENTER</b>		
4408	First Responder Wellness Check - Zange	125.00
TOTAL VENDOR FIRST RESPONDERS WELLNESS CEN		125.00
<b>VENDOR NAME: FOREMAN, JD</b>		
326002A	Storm Sewer Repair @ 104 Surrey	793.00
326002	Storm Sewer Repair @ 104 Surrey	652.80
325970	Storm Sewer Line Repair @ 104 Surrey	118.40
TOTAL VENDOR FOREMAN, JD		1,564.20
<b>VENDOR NAME: GARVEY'S OFFICE PRODUCTS</b>		
PINV1795365	Legal pads, pens, laminating pouches, computer scr	183.33

INVOICE NUMBER	DESCRIPTION	AMOUNT
<b>VENDOR NAME: GARVEY'S OFFICE PRODUCTS</b>		
PINV1795379	Wireless mouse	18.99
TOTAL VENDOR GARVEY'S OFFICE PRODUCTS		202.32
<b>VENDOR NAME: GAS DEPOT OIL COMPANY</b>		
73717	On Road Diesel	3,852.00
TOTAL VENDOR GAS DEPOT OIL COMPANY		3,852.00
<b>VENDOR NAME: GEWALT HAMILTON ASSOCIATES</b>		
3794.012-1	ITEP Design Professional Services through 8-31-19	5,747.49
4904.003-14	ITEP Stage III Phase I & II Professional Services 8-	556.69
TOTAL VENDOR GEWALT HAMILTON ASSOCIATES		6,304.18
<b>VENDOR NAME: GILBERTSON BEN</b>		
1007209	2019 Mileage and Toll Reimbursement: May 30, 20	157.67
TOTAL VENDOR GILBERTSON BEN		157.67
<b>VENDOR NAME: GLATFELTER CLAIMS MANAGEMENT, INC</b>		
ILPF216121107	Reimbursement / Liability deductible provisor	253.50
TOTAL VENDOR GLATFELTER CLAIMS MANAGEMENT, I		253.50
<b>VENDOR NAME: GRAINGER, INC.</b>		
9289127343	Disposable Gloves & Mechanics Gloves	189.46
9284066355	Rubber Gloves	65.40
9300516532	Winter Face Masks	31.02
TOTAL VENDOR GRAINGER, INC.		285.88
<b>VENDOR NAME: GREEN ACRES LANDSCAPING</b>		
2019-5375	Monthly Landscape Maintenance	17,754.00
2019-5376	Parks Mowing	500.00
2019-5377	Tree Watering - Christian Church (4 Visits)	552.00
2019-5384	Public Works Facility - Dead Tree Removal	450.00
2019-5383	Public Works Favcility - Seed Restoration and Woc	900.00
2019-5379	Old Mill Tree Removal	960.00
2019-5378	Old Mill Tree Removal	2,250.00
2019-5382	Public Works Facility - Tree Removal	800.00
2019-5380	Public Works Facility Tree Removal & Seed Restora	900.00
2019-5381	Public Works Facility - Tree Removal	1,200.00
TOTAL VENDOR GREEN ACRES LANDSCAPING		26,266.00
<b>VENDOR NAME: HBK WATER METER SERVICE</b>		
190568	Commercial Meter Testing	2,765.00
TOTAL VENDOR HBK WATER METER SERVICE		2,765.00
<b>VENDOR NAME: HIGH PSI LTD</b>		
64567	Power Washer Hose	258.04
TOTAL VENDOR HIGH PSI LTD		258.04
<b>VENDOR NAME: HIGHLAND PARK, CITY OF</b>		
009348-09-19	09/2019 Water Purchase 40352 cuft Metr 16033582	98,176.42
009297-09-19	09/2019 Water Purchase 6954 cuft Metr 70327541	16,919.08
TOTAL VENDOR HIGHLAND PARK, CITY OF		115,095.50
<b>VENDOR NAME: HOME DEPOT CREDIT SERVICES</b>		
90159291	Sign Post Repair/Replace	69.85
3014327	Electrical Supplies for Whytegate Park	21.73
1014566	Janitorial Supplies	27.79
5015218	Pothole Patching	69.90
5015289	Electrical Supplies for Whytegate Park	5.55
15784	Sign Post Repair/Replace	63.67
9016001	Village Hall Supplies	70.90
8016060	Bench Repair Whytegate Park	50.63
8016069	Drill Bits	82.92
8016072	Bench Repair Whytegate Park	55.03
7016230	Flood Accessories	549.38

INVOICE NUMBER	DESCRIPTION	AMOUNT
<b>VENDOR NAME: HOME DEPOT CREDIT SERVICES</b>		
4016560	Storm Sewer Repairs	34.95
4194811	ESR GFCI Generator Engine Heater	17.78
3016665	PW Construction Supplies	203.22
3520583	Anti-Freeze Sign Bracket	19.25
1016951	Road Patching	652.40
17051	Storm Sewer Materials	9.65
17080	Admin 63 Sway Bar Nuts	2.60
6017523	Tool Set & Hornet/Wasp Spray	194.12
6017556	Fence Pickets for Spring Lake Park	24.71
6017575	Table Saw	599.00
4010161	Storm Sewer R & R	71.66
TOTAL VENDOR HOME DEPOT CREDIT SERVICES		2,896.69
<b>VENDOR NAME: IMPACT NETWORKING, LLC</b>		
1572566	Dory and PW Base Charge 10/06/19 - 11/05/19	147.00
TOTAL VENDOR IMPACT NETWORKING, LLC		147.00
<b>VENDOR NAME: IMRF</b>		
53131	09 2019 Member & Employer Contributions	44,133.31
TOTAL VENDOR IMRF		44,133.31
<b>VENDOR NAME: IN LIGHT PHOTO BOOTHS</b>		
#179/2019	2019 Boo Bash_In Light Photo Booth_10252019	649.00
TOTAL VENDOR IN LIGHT PHOTO BOOTHS		649.00
<b>VENDOR NAME: INTERDEV, LLC</b>		
MSP1022720-1	September 2019 IT Services	5,518.62
MSP1022720-2	September 2019 License Fee	308.00
TOTAL VENDOR INTERDEV, LLC		5,826.62
<b>VENDOR NAME: INVOICE CLOUD</b>		
1185-2019_9	10 2019 Paperless Utility Bills	54.25
TOTAL VENDOR INVOICE CLOUD		54.25
<b>VENDOR NAME: IPELRA</b>		
092519	Essential Skills for Supervisory Success (IPELRA) T	318.00
TOTAL VENDOR IPELRA		318.00
<b>VENDOR NAME: IRC RETAIL CENTERS</b>		
10_2019	CAM Estimated Escrow Lease #_T0000888_Octob	2,942.01
TOTAL VENDOR IRC RETAIL CENTERS		2,942.01
<b>VENDOR NAME: J. G. UNIFORMS, INC.</b>		
61271	Vest Cover - Kantner	138.06
TOTAL VENDOR J. G. UNIFORMS, INC.		138.06
<b>VENDOR NAME: JC LICHT, LLC</b>		
59052448	Paint for Spring Lake Park	172.05
59052510	Paint	34.94
TOTAL VENDOR JC LICHT, LLC		206.99
<b>VENDOR NAME: LAKE COUNTY DIV OF TRANSPORATION</b>		
430027009	3d Quarter Traffic Signal Maintenance - 2019	1,540.46
TOTAL VENDOR LAKE COUNTY DIV OF TRANSPORATIO		1,540.46
<b>VENDOR NAME: LAKE COUNTY PUBLIC WORKS</b>		
LCPW-08-30-19	Sanitary sewer treatment bill dates 7-16-19 to 8-15-	136,867.68
Aug19	Swr Conn - Cty Fees Collected 2 Properties	7,560.00
TOTAL VENDOR LAKE COUNTY PUBLIC WORKS		144,427.68
<b>VENDOR NAME: LAWSON PRODUCTS INC</b>		
9307024629	Wire Connectors	135.42

INVOICE NUMBER	DESCRIPTION	AMOUNT
<b>VENDOR NAME: LAWSON PRODUCTS INC</b>		
	TOTAL VENDOR LAWSON PRODUCTS INC	135.42
<b>VENDOR NAME: LEXISNEXIS RISK SOLUTIONS</b>		
1217074-20190930	Sep 2019 Internet, Computer & Phone Searches by	74.50
	TOTAL VENDOR LEXISNEXIS RISK SOLUTIONS	74.50
<b>VENDOR NAME: LINCOLNSHIRE RIVERWOODS FPD</b>		
10622	Plan Review 1 Overlook Point Suite 630 Incredible	319.00
10623	Plan Review 800 Audubon Way Sedgebrook P19-	60.00
10625	Plan Review_575 Bond Street_Ravinia Plumbing_F	319.00
10619	Plan Review_350 Knightsbridge Parkway_Homes2	342.62
10618	Plan Review_475 Half Day Road_TDK_P19-0057F	319.00
10617	Plan Review_616 Heathrow Dr_SGS Tent Event_P1	60.00
	TOTAL VENDOR LINCOLNSHIRE RIVERWOODS FPD	1,419.62
<b>VENDOR NAME: LINCOLNSHIRE VILLAGE-PETTY CASH</b>		
10152019	10/15/19 Petty Cash Reimbursements	468.87
	TOTAL VENDOR LINCOLNSHIRE VILLAGE-PETTY CASH	468.87
<b>VENDOR NAME: LUND INDUSTRIES</b>		
95326	Replace Radar Unit Sq. 1621	150.00
	TOTAL VENDOR LUND INDUSTRIES	150.00
<b>VENDOR NAME: MADISON NATIONAL LIFE INS CO, INC.</b>		
1362066	10 2019 Life Insurance Premiums	1,244.80
	TOTAL VENDOR MADISON NATIONAL LIFE INS CO, INC.	1,244.80
<b>VENDOR NAME: MANKOFF INDUSTRIES</b>		
4968	September UST Inspections	660.00
	TOTAL VENDOR MANKOFF INDUSTRIES	660.00
<b>VENDOR NAME: MATT SETTLER</b>		
10042019	Special Event Consultant Services_2019 Boo Bash	80.00
	TOTAL VENDOR MATT SETTLER	80.00
<b>VENDOR NAME: MCMASTER-CARR SUPPLY</b>		
15602156	Sump Pump Replacement	812.26
15318506	CL2 Room Part	32.09
16771363	Pipe Fittings	95.68
16893508	Drill Bits	75.46
16392389	Valve Bolts & Nuts	63.33
16490563	OMW Liftstation Gauge	69.86
	TOTAL VENDOR MCMASTER-CARR SUPPLY	1,148.68
<b>VENDOR NAME: MENONI &amp; MOCOGNI, IN</b>		
28369	Gravel	1,128.13
	TOTAL VENDOR MENONI & MOCOGNI, IN	1,128.13
<b>VENDOR NAME: MGN LOCK-KEY &amp; SAFES</b>		
60073	New Hire Keys	51.20
	TOTAL VENDOR MGN LOCK-KEY & SAFES	51.20
<b>VENDOR NAME: MICHAEL MERANDA JR.</b>		
192709	9/23/19 RVB/COW Mtg & 9/24/19 ARB Mtg	255.00
	TOTAL VENDOR MICHAEL MERANDA JR.	255.00
<b>VENDOR NAME: MID-AMERICA SPORTS ADVANTAGE</b>		
409175-00	12" Practice Cones for NP	129.90
	TOTAL VENDOR MID-AMERICA SPORTS ADVANTAGE	129.90

INVOICE NUMBER	DESCRIPTION	AMOUNT
<b>VENDOR NAME: MIDWEST METER INC.</b>		
0114934	Water Meters	653.25
TOTAL VENDOR MIDWEST METER INC.		653.25
<b>VENDOR NAME: MOTOROLA SOLUTIONS - STARCOM21</b>		
451158302019	Oct 2019 Monthly use rate Starcom	952.00
TOTAL VENDOR MOTOROLA SOLUTIONS - STARCOM21		952.00
<b>VENDOR NAME: MULCH CENTER</b>		
101699	Log Disposal	100.00
TOTAL VENDOR MULCH CENTER		100.00
<b>VENDOR NAME: MUNICIPAL ELECTRONICS DIVISION, LLC</b>		
66821	Certification of Radar Units	280.00
TOTAL VENDOR MUNICIPAL ELECTRONICS DIVISION, L		280.00
<b>VENDOR NAME: MUNICIPAL GIS PARTNERS, INC.</b>		
4670	GIS staffing and services for September 2019	5,065.84
TOTAL VENDOR MUNICIPAL GIS PARTNERS, INC.		5,065.84
<b>VENDOR NAME: NAPA AUTO PARTS</b>		
021007	Admin 96 Brakes	225.64
TOTAL VENDOR NAPA AUTO PARTS		225.64
<b>VENDOR NAME: NATIONAL PEN CO.</b>		
110978696	LPD Promotional Pens	292.25
TOTAL VENDOR NATIONAL PEN CO.		292.25
<b>VENDOR NAME: NEWARK ELEMENT 14</b>		
31970933	WSR Sump Pump	84.34
TOTAL VENDOR NEWARK ELEMENT 14		84.34
<b>VENDOR NAME: NORTH EAST MULTI-REGIONAL TRAINING</b>		
261241	Staff & Command Training - Hyde	3,800.00
TOTAL VENDOR NORTH EAST MULTI-REGIONAL TRAINI		3,800.00
<b>VENDOR NAME: NORTH SHORE GAS</b>		
604290016-04-09-19	Fallstone Liftstation 8-13-19 to 9-13-19	34.23
604290016-02-09-19	Westwood Liftstation 8-13-19 to 9-13-19	33.83
606017125-01-09-19	24400 Riverwoods Pumping 8-13-19 to 9-11-19	34.21
603028481-01-09-19	NP Maint. Bldg Gas Service 8-13-19 to 9-11-19	32.15
604290016-01-09-19	Old Mill Liftstation 8-13-19 to 9-13-19	32.17
604290016-03-09-19	Farrington Liftstation 8-13-19 to 9-11-19	32.54
606253075-01-09-19	Well #3 Gas Service 8-13-19 to 9-11-19	37.22
603028481-02-09-19	NP Concession Gas Service 8-13-19 to 9-11-19	33.39
604290016-05-09-19	207A Northampton 8-13-19 to 9-11-19	33.80
TOTAL VENDOR NORTH SHORE GAS		303.54
<b>VENDOR NAME: NORTH SUBURBAN EMPLOYEE BENEFIT COO</b>		
2019-09-Medical	September 2019 Medical Insurance Premiums	80,616.12
2019-10	October 2019 Vision Insurance Premiums	21.00
TOTAL VENDOR NORTH SUBURBAN EMPLOYEE BENE		80,637.12
<b>VENDOR NAME: O'HERRON CO INC</b>		
1954065-IN	Explorer Uniform Pants	47.99
1953414-IN	Explorer Uniform Striping	274.45
1951042-IN	Uniform Shirt & Jacket - Zange	236.14
1950695-IN	Uniform shirts - Covelli	99.11
19511070-IN	Uniform Shirts & Pants - Weadick	331.42
1951071-IN	Uniform Shirts & Pants - Rafalowitz	195.34
1951595-IN	Explorer Nameplates	30.31
1955301-IN	Uniform Winter Hats	449.80
1955304-IN	Uniform Shirts - Rafalowitz	74.78
1955305-IN	Uniform Shirt - Anderson and Coat Patches - Weadi	79.44

INVOICE NUMBER	DESCRIPTION	AMOUNT
<b>VENDOR NAME: O'HERRON CO INC</b>		
1955307-IN	Uniform Coat - Anderson	171.75
TOTAL VENDOR O'HERRON CO INC		1,990.53
<b>VENDOR NAME: PADDOCK PUBLICATIONS, INC.</b>		
4531342	Road Project Bid	102.00
27167 4531293	BD Bond Escrow Legal Notice 09032019 Sedgebr	73.60
26739	Leaf Hauling Bid	43.50
196122-100619	Daily Herald Subscription 10/6/19-12/28/19	47.20
28113	Zoning Board Legal Notice_Oct 10, 2019 Bulk Req	35.25
27715	BD Bond Escrow_ARB legal notice#4531925-09242	63.00
TOTAL VENDOR PADDOCK PUBLICATIONS, INC.		364.55
<b>VENDOR NAME: PARAGON MICRO INC.</b>		
882511	Dell ProSupport_Dell VRTZ/PE M520_Renewal thru	2,213.97
TOTAL VENDOR PARAGON MICRO INC.		2,213.97
<b>VENDOR NAME: PASQUESI HOME &amp; GARD</b>		
27170/1	Flowers for Village Hall Planters	121.88
TOTAL VENDOR PASQUESI HOME & GARD		121.88
<b>VENDOR NAME: PAYLOCITY</b>		
105615131	10/11/19 Pay Services	211.33
105567503	09/27/19 Pay Services	743.26
TOTAL VENDOR PAYLOCITY		954.59
<b>VENDOR NAME: POMP'S TIRE SERVICE INC.</b>		
290159025	Admin 63 Tires	417.76
TOTAL VENDOR POMP'S TIRE SERVICE INC.		417.76
<b>VENDOR NAME: PRF GRAPHICS</b>		
328199	2 sets of bank deposit tickets- Gen Fund	88.45
TOTAL VENDOR PRF GRAPHICS		88.45
<b>VENDOR NAME: QUICKET SOLUTIONS, INC</b>		
306	Quicket Subscription 2019	12,912.12
TOTAL VENDOR QUICKET SOLUTIONS, INC		12,912.12
<b>VENDOR NAME: RC JUGGLE ENTERTAINM</b>		
102519	2019 Boo Bash_RC Juggles LLC Balloon Entertain	275.00
TOTAL VENDOR RC JUGGLE ENTERTAINM		275.00
<b>VENDOR NAME: RESOURCE MANAGEMENT ASSOCIATES</b>		
19003	Police Sergeant Assessment	7,674.23
TOTAL VENDOR RESOURCE MANAGEMENT ASSOCIAT		7,674.23
<b>VENDOR NAME: REVELAS SOPHIE</b>		
2018	Senior Citizen Property Tx Relief Refund	149.42
TOTAL VENDOR REVELAS SOPHIE		149.42
<b>VENDOR NAME: RICHARD CLEVELAND</b>		
10152019b	UB incorrect pm sent for account: 02012050450	5,649.55
TOTAL VENDOR RICHARD CLEVELAND		5,649.55
<b>VENDOR NAME: ROBERT LEAHY</b>		
10152019	UB overpmt refund for account: 0101765841-0	50.72
TOTAL VENDOR ROBERT LEAHY		50.72
<b>VENDOR NAME: RUSH TRUCK CENTERS</b>		
3016789077	International Truck Parts 251-252	1,252.60

INVOICE NUMBER	DESCRIPTION	AMOUNT
<b>VENDOR NAME: RUSH TRUCK CENTERS</b>		
	TOTAL VENDOR RUSH TRUCK CENTERS	1,252.60
<b>VENDOR NAME: SCHROEDER &amp; SCHROEDER INC.</b>		
6314	Concrete Curb & VH Sidewalk	21,292.50
	TOTAL VENDOR SCHROEDER & SCHROEDER INC.	21,292.50
<b>VENDOR NAME: SCOTT LOOCHTAN</b>		
10152019a	UB overpmt refund for account: 030269035	49.89
	TOTAL VENDOR SCOTT LOOCHTAN	49.89
<b>VENDOR NAME: SEWER EQUIPMENT CO OF AMERICA</b>		
175627	Sewer Flusher Tank Cap & Strainer	103.25
	TOTAL VENDOR SEWER EQUIPMENT CO OF AMERICA	103.25
<b>VENDOR NAME: SHI INTERNATIONAL CORP</b>		
S50435151	Fortinet Support & Renewal-'Firewall' Renewal	629.01
	TOTAL VENDOR SHI INTERNATIONAL CORP	629.01
<b>VENDOR NAME: SODEXO</b>		
15484	Sodexo Catering - LPD Host of Regional School Re	178.34
	TOTAL VENDOR SODEXO	178.34
<b>VENDOR NAME: SPRAYER SPECIALTIES, INC.</b>		
1073590	Valve Bracket & Base	29.63
	TOTAL VENDOR SPRAYER SPECIALTIES, INC.	29.63
<b>VENDOR NAME: STRATTON HATS, INC.</b>		
209381	Explorer Uniform Hat	107.73
	TOTAL VENDOR STRATTON HATS, INC.	107.73
<b>VENDOR NAME: SWALCO</b>		
09202019	10 Compost Bins	500.00
	TOTAL VENDOR SWALCO	500.00
<b>VENDOR NAME: THE GREAT BOODINI MAGIC COMPANY</b>		
10252019a	2019 Boo Bash_The Great Boodini_Magic Show_	500.00
	TOTAL VENDOR THE GREAT BOODINI MAGIC COMPAN	500.00
<b>VENDOR NAME: THELEN MATERIALS</b>		
380434	Sand for Sandbag Construction for Flooding	682.69
	TOTAL VENDOR THELEN MATERIALS	682.69
<b>VENDOR NAME: TKG ENVIRONMENTAL SERVICES GROUP</b>		
CRO13582T	Special Sweep @ PW due to Flooding & Heavy Ra	1,365.00
	TOTAL VENDOR TKG ENVIRONMENTAL SERVICES GRO	1,365.00
<b>VENDOR NAME: TRAFFIC CONTROL &amp; PROTECTION INC.</b>		
102146	No Outlet Signs	993.20
	TOTAL VENDOR TRAFFIC CONTROL & PROTECTION IN	993.20
<b>VENDOR NAME: TRAILCAMPRO.COM</b>		
102205	Delineators	527.00
	TOTAL VENDOR TRAILCAMPRO.COM	527.00
<b>VENDOR NAME: TRUGREEN</b>		
110637303	Fall fertilization @ Bicentennial Park	225.00
110561870	Fall fertilization @ Whitmore & Bramptor	170.00
110579918	Fall fertilization @ Whytegate Historical Site	60.00
110593723	Fall fertilization @ Old Mill Commons	200.00
110606620	Fall fertilization @ Westminster Median @ Rt 22	120.00

INVOICE NUMBER	DESCRIPTION	AMOUNT
<b>VENDOR NAME: TRUGREEN</b>		
110615784	Fall fertilization @ Balzer Park	135.00
110618692	Fall fertilization @ Balzer Pie Shape Lot	55.00
110626160	Fall fertilization @ Memorial Park	70.00
110631905	Fall fertilization @ Buckingham Mediar	75.00
110573379	Fall fertilization @ Whytegate Park	220.00
110666172	Fall fertilization @ Spring Lake Park	330.00
110543519	Fall fertilization @ Public Works	165.00
110684726	Fall fertilization @ 400 Milwaukee	45.00
110367612	Fall fertilization @ North Park	620.00
TOTAL VENDOR TRUGREEN		2,490.00
<b>VENDOR NAME: US BANK- CORP TRUST</b>		
5501583	Paying agent fee- Sedgebrook bonds	225.00
TOTAL VENDOR US BANK- CORP TRUST		225.00
<b>VENDOR NAME: VERIZON WIRELESS</b>		
9839171994	09 2019 Cell Phone Svc & new Utility iPad	918.41
9839171995	09 2019 Squad Laptops	1,120.81
9837960647	08/13 - 09/12/19 SCADA Data Plan Util	237.28
TOTAL VENDOR VERIZON WIRELESS		2,276.50
<b>VENDOR NAME: WE FIX-IT TIRE REPAIR</b>		
10042019	Truck 249 Tire Replacement	36.00
TOTAL VENDOR WE FIX-IT TIRE REPAIR		36.00
<b>VENDOR NAME: WEST SIDE TRACTOR SALES CO</b>		
151681	6" Pump Rear Crank Seal	51.21
TOTAL VENDOR WEST SIDE TRACTOR SALES CO		51.21
<b>VENDOR NAME: WORLD SECURITY &amp; CONTROL, INC.</b>		
30414	Electrical Panic Button Installation @ Village Hal	1,158.00
TOTAL VENDOR WORLD SECURITY & CONTROL, INC.		1,158.00
<b>VENDOR NAME: XEROX CORPORATION</b>		
098225610	Police Base Charge (08/30/19 - 09/21/19)	85.00
098225609	Nemo Base Charge (08/30/19 - 09/21/19)	57.00
098225611	Meme Base & Usage Charge (08/21/19 - 09/21/19)	72.70
TOTAL VENDOR XEROX CORPORATION		214.70
<b>VENDOR NAME: ZOZULYA TONYA</b>		
42093_317753	T. Zozulya_Mileage_Meals_Travel for 2019 IL State	96.78
TOTAL VENDOR ZOZULYA TONYA		96.78
<b>GRAND TOTAL:</b>		<b>670,304.45</b>



**MINUTES**  
**REGULAR VILLAGE BOARD MEETING**  
**Monday, September 23, 2019**

Present:

- |   |   |
|---|---|
| Mayor Brandt  | Trustee Harms Muth                        |
| Trustee Grujanac  | Trustee Hancock                           |
| Trustee Leider  | Trustee Pantelis                          |
| Trustee Raizin  | Village Clerk Mastandrea                  |
| Village Attorney Simon                                    | Village Manager Burke                     |
| Chief of Police Leonas                                    | <del>Public Works Director Woodbury</del> |
| Village Treasurer/Finance Director Peterson               | Assistant Village Manager/Community &     |
| Planning & Development Manager Zozulya                    | Economic Development Director Gilbertson  |
| Assistant Public Works Director/Village Engineer Dittrich |   |

**1.0 ROLL CALL**

Mayor Brandt called the meeting to order at 7:00 p.m., and Village Clerk Mastandrea called the Roll.

**2.0 PLEDGE OF ALLEGIANCE**

**3.0 REPORTS OF OFFICERS**

3.1 Mayor's Report – None

3.2 Village Clerk's Report – None

3.3 Village Treasurer's Report

**3.31 Revenues and Expenditures for the Month of August, 2019**

Village Treasurer/Finance Director Peterson noted the Revenue and Expenditure Summary is included in the Board packet; and all revenues and expenditures have been properly recorded for the month of August 2019.

3.4 Village Manager's Report

**3.41 Waste Management Letter**

Village Manager Burke noted staff received a letter from Waste Management regarding state law fuel tax change earlier this year. Waste Management asserting this change will result in an increase in the charges for service. Staff is in the process of working with the Solid Waste Agency of Lake County communities and had a meeting with Waste Management representatives to understand how they came up with the new calculations. Staff will update the Board accordingly.

### **3.42 October 15, 2019 Regular Village Board/Committee of the Whole Meetings**

Village Manger Burke noted the next scheduled Regular Village Board/Committee of the Whole meetings are scheduled for Tuesday, October 15, 2019. The change in days is due to the Columbus Day holiday.

### **3.43 Stormwater Management Update**

Village Manager Burke stated letters went out to the Lincolnshire Drive neighborhood with a series of three meetings. Meeting invites with these dates will be sent to the Board.

Mayor Brandt thanked staff for their quick and thorough response regarding the recent rain and flooding.

## **4.0 PAYMENT OF BILLS**

### **4.1 Bills Presented for Payment on September 23, 2019 in the amount of \$506,471.69**

Village Treasurer/Finance Director Peterson provided a summary of the September 23, 2019 bills prelist presented for payment with the total being \$506,471.69. The total amount is based on \$95,200 for General Fund; \$197,300 for Water & Sewer Fund; \$194,300 for Water & Sewer Improvement Fund; \$4,500 for Fraud, Alcohol, Drug Enforcement; \$3,900 for Vehicle Maintenance Fund, and \$11,300 for General Capital Fund.

Trustee Grujanac moved and Trustee Leider seconded the motion to approve the bills prelist dated September 23, 2019 as presented. The roll call vote was as follows: AYES: Trustees Grujanac, Pantelis, Raizin, Leider, Hancock, and Harms Muth. NAYS: None. ABSENT: None. ABSTAIN: None. Mayor Brandt declared the motion carried.

## **5.0 CITIZENS WISHING TO ADDRESS THE BOARD (on agenda items only)**

Mr. Pat O'Brien, resident at 301 Whitmore Lane noted there was a discussion at the last Committee of the Whole meeting regarding the proposed bike path along Riverwoods Road from Whytegate subdivision to Daniel Wright Junior High School. Mr. O'Brien passed out pictures showing where the trail is marked out and vegetation would be removed. Mr. O'Brien noted the recent rain events show that the proposed path location may be affected by the storm water storage area near his home.

Mayor Brandt stated as a result of the Committee of the Whole meeting some of the Board walked the area and the plan calls for planting of 20 large trees and other vegetation to assist with screening adjacent properties.

Mr. O'Brien noted the Village has a conservation area adjacent to where the vegetation is proposed to be removed, and based on the layout of where the path would go, any vegetation the Village would be installing would go into the conservation area. Mayor

Brandt stated the plan has not yet been finalized. One of the things the Trustees have asked staff is look at variations for the path location and size.

Mr. O'Brien noted concern regarding storm water flooding his property as a result of the proposed path.

Ms. Ingrid Michael, resident at 312 Briarwood Lane stated they are one of the first owners to move into Manors of Whytegate and were told in the buying process that there would be a bike path put on the west side of Riverwoods Road, a path to Whytegate Park, and footpath on the back side of Briarwood to Brampton so the subdivision could be connected to the community. Ms. Michael stated currently, communications regarding these paths have been all over the place and noted concern since the subdivision is somewhat stranded at this time with no pedestrian connections. Ms. Michael stated she is concern for her children traveling on the street. She was told this path would be installed.

Ms. Kate Harper, resident of 41 Lancaster Lane asked why the Village would budget for the path on Riverwoods Road, receive money from the state for the path, but not install it. Ms. Harper noted concern for safety for the children if the path is not put in, and stated the path would be an asset for the entire community. Mayor Brandt clarified how the grant for the path would be used along with Park Development funds; noting that Park Development funds cannot be used for purposes other than parks and recreation expenditures. Ms. Harper asked what the competition for the Park Development funds are. Mayor Brandt stated Park Development funds would be for projects the Park Board would recommend being done and one of the projects in recent considerations has been for paddle courts. Ms. Harper stated she polled the Lincolnshire Moms Facebook page to see if there was an interest for the proposed path and received at least a dozen replies in favor.

Ms. Diane Giuliani, resident at 303 Surrey Lane noted concern regarding safety issues challenging the neighbors, their children, and others. Ms. Giuliani provided examples of how unsafe Riverwoods Road can be. Ms. Giuliani recommended the Village replace old or install additional signage at the crosswalks on Riverwoods Road that state laws requires drivers stop when pedestrians are present at the crosswalks. Ms. Giuliani also recommended Police presence at intersections along Riverwoods Road during rush hour, the start of school, and the end of school for ½ hour time increments. Mayor Brandt asked if Ms. Giuliani is in favor of the proposed bike path. Ms. Giuliani stated she is in favor of the proposed bike bath. Chief of Police Leonas stated they have increased Police presence on Riverwoods Road; specifically when school starts and ends. Chief of Police stated there is a zone of compliance meaning that when there is Police presence, people comply but as soon as the Police leave, compliance stops. A conversation regarding different ways to patrol in the area followed.

## **6.0 PETITIONS AND COMMUNICATIONS - None**

## **7.0 CONSENT AGENDA**

**7.1 Approval of September 9, 2019 Regular Village Board Meeting Minutes**

**7.2 Approval of September 9, 2019 Committee of the Whole Meeting Minutes**

**7.3 New Medical Office Building – 231 Olde Half Day Road (Alexander and Julia**

**Katsnelson)**

- (A) Consideration of Exterior Architectural Design of a Proposed New Medical Building per Section 6-14-4-E of the Lincolnshire Village Code (Site Plan, Building Design, and Landscape Plan)**
- (B) Consideration of a Resolution Approving a Plat of Dedication for Right-of-Way and Plat of Easement for Public Utilities and Drainage for 231 Olde Half Day Road**

**7.4 Approval of a Multi-Year Contract with The Mulch Center for Leaf Hauling and Disposal (Village of Lincolnshire)**

Trustee Grujanac moved and Trustee Leider seconded the motion to approve the Consent Agenda. The roll call vote was as follows: AYES: Trustees Grujanac, Pantelis, Raizin, Leider, and Harms Muth. NAYS: None. ABSENT: None. ABSTAIN: Trustee Hancock. Mayor Brandt declared the motion carried.

**8.0 ITEMS OF GENERAL BUSINESS**

**8.1 Planning, Zoning & Land Use**

**8.11 PUBLIC HEARING Regarding a Major Amendment to Special Use Ordinance 03-1864-41 for a Planned Unit Development for a Continuing Care Retirement Campus (Sedgebrook) to Allow Temporary Events and Mobile Food Vendors (Sedgebrook Propco SL LLC)**

Mayor Brandt recessed the September 23, 2019 Regular Village Board meeting and convened the Public Hearing regarding a major amendment to Special Use Ordinance 03-1864-41 for a planned unit development for a continuing care retirement campus (Sedgebrook) to allow temporary events and mobile food vendors.

Planning & Development Manager Zozulya provided a brief summary of the request for a major amendment to Special Use Ordinance 03-1864-41 for Sedgebrook to allow temporary events and mobile food vendors. Planning & Development Manager Zozulya noted that when this was presented at the last Committee of the Whole meeting there was a question raised specifically about the food component. At that time, representatives from Sedgebrook stated there would not be any food vendors at their special events. However, since the preliminary evaluation meeting, they have reconsidered the food aspect and added this to their current request making this a two prong request. Planning & Development Manager Zozulya noted the process of the Public Hearing was followed and a comment was received from the Rivershire community inquiring about the specific location of the events on Sedgebrook property in which staff responded.

Mr. Dan Harrington, Executive Director at Sedgebrook was sworn in to the Public Hearing. Mr. Harrington provided a brief description of a proposed car show event they would like to have at Sedgebrook.

A resident at Camberley Club was sworn in to the Public Hearing and asked if there was a time limit for events if this was approved. Mr. Harrington stated the car show is planned for 10:00 a.m. – 3:00 p.m. The Camberley Club resident noted concern for other events going late into the evening. Mr. Harrington stated the residents of Sedgebrook would never have a late event.

Trustee Hancock asked if the approval would be for just the car show event. Village Attorney Simon noted Sedgebrook is requesting permission to operate temporary events which would allow for two a year. The request is also to have mobile food vendors in which there is no limit. The code limits temporary events to no later than 11:00 p.m.

Mayor Brandt noted Findings of Fact would be entered into the record.

Mayor Brandt adjourned the Public Hearing and reconvened the Regular Village Board meeting at 7:36 p.m.

**8.12 Approval of an Ordinance Amending a Special Use for a Planned Unit Development for a Continuing Care Retirement Campus (Sedgebrook) to Allow Temporary Events and Mobile Food Vendors (Sedgebrook Propco SL LLC – Waiver of First Reading Requested)**

Trustee Grujanac moved and Trustee Hancock seconded the motion to waive the first reading of an Ordinance Amending a Special Use for a Planned Unit Development for a Continuing Care Retirement Campus (Sedgebrook) to Allow Temporary Events and Mobile Food Vendors (Sedgebrook Propco SL LLC). The roll call vote was as follows: AYES: Trustees Grujanac, Pantelis, Raizin, Leider, Hancock, and Harms Muth. NAYS: None. ABSENT: None. ABSTAIN: None. Mayor Brandt declared the motion carried.

Trustee Grujanac moved and Trustee Hancock seconded the motion approve an Ordinance Amending a Special Use for a Planned Unit Development for a Continuing Care Retirement Campus (Sedgebrook) to Allow Temporary Events and Mobile Food Vendors (Sedgebrook Propco SL LLC). The roll call vote was as follows: AYES: Trustees Grujanac, Pantelis, Raizin, Leider, Hancock, and Harms Muth. NAYS: None. ABSENT: None. ABSTAIN: None. Mayor Brandt declared the motion carried.

8.2 Finance and Administration

8.3 Public Works

**8.31 Approval of a Resolution for Maintenance of Streets and Highways by Municipality under the Illinois Highway Code – January 1, 2019 to December 31, 2019 (Village of Lincolnshire – Waiver of First Reading)**

Assistant Public Works Director/Village Engineer Dittrich provided a summary of a Resolution for maintenance of streets and highways by municipality under the Illinois Highway Code – January 1, 2019 to December 31, 2019.

Trustee Grujanac moved and Trustee Leider seconded the motion to waive the first reading of a Resolution for maintenance of streets and highways by municipality under the Illinois Highway Code – January 1, 2019 to December 31, 2019. The roll call vote was as follows: AYES: Trustees Grujanac, Pantelis, Raizin, Leider, Hancock, and Harms Muth. NAYS: None. ABSENT: None. ABSTAIN: None. Mayor Brandt declared the motion carried.

Trustee Grujanac moved and Trustee Leider seconded the motion to approve a Resolution for maintenance of streets and highways by municipality under the Illinois Highway Code – January 1, 2019 to December 31, 2019. The roll call vote was as follows: AYES: Trustees Grujanac, Pantelis, Raizin, Leider, Hancock, and Harms Muth. NAYS: None. ABSENT: None. ABSTAIN: None. Mayor Brandt declared the motion carried.

**8.32 Approval of a Contract for the Construction of the Village of Lincolnshire's 2019 Road and Bike Path Resurfacing Project with Builders Asphalt, Rosemont, IL in an Amount not to Exceed \$892,000.00 (Village of Lincolnshire)**

Assistant Public Works Director/Village Engineer Dittrich provided a summary of a contract for the construction of the Village of Lincolnshire's 2019 road and bike path resurfacing project with Builders Asphalt, in an amount not to exceed \$892,000.00. The bids came in approximately \$100,000 over the Engineers Estimate due to the extent of hand work on the connector paths and substantial amount of drainage work on the road project which is required to be done.

Trustee Pantelis moved and Trustee Hancock seconded the motion to approve a contract for the construction of the Village of Lincolnshire's 2019 road and bike path resurfacing project with Builders Asphalt, in an amount not to exceed \$892,000.00. The roll call vote was as follows: AYES: Trustees Grujanac, Pantelis, Raizin, Leider, Hancock, and Harms Muth. NAYS: None. ABSENT: None. ABSTAIN: None. Mayor Brandt declared the motion carried.

**8.33 Approval of a Professional Services Agreement with Baxter & Woodman Consulting Engineers for Phase 3 – Construction Observation Services for 2019 Road and bike Path Resurfacing Project in an Amount not to Exceed \$49,940.00 (Village of Lincolnshire)**

Assistant Public Works Director/Village Engineer Dittrich provided a summary of a professional services agreement with Baxter & Woodman Consulting Engineers for phase 3 – construction observation services for 2019 road and bike path resurfacing project in an amount not to exceed \$49,940.00. Baxter & Woodman will oversee the contractor's day to day

operations, document quantities and materials, complete MFT paperwork, and be the interface between Village residents and staff for any issues or concerns that arise.

Trustee Harms Muth asked if the Village always hires a contractor to oversee these types of projects. Assistant Public Works Director/Village Engineer Dittrich confirmed the Village typically hires contractors to oversee these types of projects because the work requires someone to be onsite the entire time the contractor is onsite, and the Village does not have the staff to do this. Village Manager Burke stated this is typical for these projects not just to be sure the materials meet the bid specifications, but also to mitigate resident concerns. Trustee Harms Muth asked if it would be more beneficial for the Village to hire an employee for this type of work. Assistant Public Works Director/Village Engineer Dittrich noted hiring a contractor has been the typical course of action. Most municipalities hire consultants. Trustee Leider suggested looking at this during budgeting to see if it makes more sense to hire someone full time to manage these projects.

Trustee Hancock asked if this contract goes out to bid. Assistant Public Works Director/Village Engineer Dittrich stated construction observation is part of "Request for Qualifications" selection process which means staff selects a consultant based on their qualifications then negotiates a price. Trustee Hancock suggested getting multiple bids for this type of work. Village Attorney Simon stated engineering and architectural services are not subject to competitive bidding because the state finds that the quality of the work is more important in the first selection process. When the cost of the contract exceeds \$40,000, you have to do a qualifications based selection instead of a cost based selection. Trustee Leider suggested staff educate the Board as to what market rates are and how the Board can support staff on these decisions. Village Manager Burke stated staff would provide the Board with a report on use of professional services. Village Manager Burke noted there were multiple consultants that responded to the Request for Qualifications process and provided the background on how Baxter and Woodman was involved in the project from the beginning. Assistant Public Works Director/Village Engineer Dittrich noted there were eight consultants that responded to the Request for Qualifications.

A conversation regarding hiring someone in-house for this type of work followed. Staff would provide additional information during the budget workshop meetings.

Trustee Grujanac moved and Trustee Leider seconded the motion to approve a Professional Services Agreement with Baxter & Woodman Consulting Engineers for Phase 3 – Construction Observation Services for 2019 Road and bike Path Resurfacing Project in an Amount not to exceed \$49,940.00. The roll call vote was as follows: AYES: Trustees Grujanac, Pantelis, Raizin, Leider, and Harms Muth. NAYS: Trustee

Hancock. ABSENT: None. ABSTAIN: None. Mayor Brandt declared the motion carried.

**8.34 Approval of an Agreement with the Illinois Department of Transportation (IDOT) for Stage 3 Improvements for the Illinois Transportation Enhancement Program (ITEP) Grant Project (Village of Lincolnshire)**

Assistant Public Works Director/Village Engineer Dittrich provided a presentation including the history, project scope, and existing path linkage system regarding an agreement with the Illinois Department of Transportation (IDOT) for Stage 3 Improvements for the Illinois Transportation Enhancement Program (ITEP) Grant Project.

Mayor Brandt asked if either of the ponds shown on the project scope have overflowed onto Riverwoods Road. Assistant Public Works Director/Village Engineer Dittrich stated there is a ditch near the roadway water overflows to. Mr. O'Brien stated in his time of living at his residence, the water has not overflowed onto the street and noted concern with the path being a barrier for the water to overflow correctly. Assistant Public Works Director/Village Engineer Dittrich stated they are working to keep the path on top of the berm.

Trustee Harms Muth asked what would happen with flooding and vegetation as a result of bringing the path further east. Assistant Public Works Director/Village Engineer Dittrich stated by bringing the path further east, more vegetation will be maintained, and it pulls the path further away from the detention basin.

A conversation regarding the new path location followed.

Assistant Public Works Director/Village Engineer Dittrich continued the presentation with funding breakdown.

Trustee Leider asked for clarification of the state money. Assistant Public Works Director/Village Engineer Dittrich stated the way the Village received approval to change how we utilize the funds was to fund a new sidewalk connecting the Homewood Suites to the Tri-State/CDW Business Park path along Westminster Way, as well as a new path connecting Whytegate Park to Daniel Wright Middle School. Village Manager Burke stated staff reached out to IDOT but has not heard back on whether or not funds would be reserved for Lincolnshire if the scope of the project should change. Trustee Leider asked if we can use the money from the state for Homewood Suites for now and break this into two stages.

Mayor Brandt provided a summary of the sidewalk connecting Homewood Suites to CDW.

Trustee Grujanac asked how Park Development Funds are used from developers. Village Manager Burke provided a summary of Park Development Funds. Trustee Grujanac stated approximately \$150,000 is coming from the Development in this area and asked what happened to the other connections for this subdivision. Assistant Public Works Director/Village Engineer Dittrich provided path linkage from the Manors of Whytegate and what was approved. A conversation regarding connecting paths to this location followed.

Mayor Brandt summarized how funding would work between the ITEP Grant, Park Development Funds, and possibly utilizing Tree Bank Funds.

Trustee Harms Muth asked if there was an update from the County regarding the fence that needs to be removed on Riverwoods Road. Village Manager Burke stated the County notified the Village that the fence needed to be moved from the right-of-way and the Board's last direction was the section south of driveway will be removed. Trustee Harms Muth noted there would be vegetation removed as a result of the County project.

Trustee Grujanac moved and Trustee Hancock seconded the motion to approve an Agreement with the Illinois Department of Transportation (IDOT) for Stage 3 Improvements for the Illinois Transportation Enhancement Program (ITEP) Grant Project. The roll call vote was as follows: AYES: Trustees Grujanac, Pantelis, Raizin, Leider, Hancock, and Harms Muth. NAYS: None. ABSENT: None. ABSTAIN: None. Mayor Brandt declared the motion carried.

**8.35 Approval of a Professional Services Agreement with Gewalt Hamilton Associates, Inc. for Phase 3 – Construction Observation Services for Stage 3 Improvements for the Illinois Transportation Enhancement Program (ITEP) Grant Project in an Amount not to Exceed \$38,771.00 (Village of Lincolnshire)**

Trustee Grujanac stated to work closely with the neighbors regarding this project with the goal being low impact to their properties. Mayor Brandt noted staff met with other neighbors in the area and all were in favor.

Trustee Grujanac moved and Trustee Pantelis seconded the motion to approve a Professional Services Agreement with Gewalt Hamilton Associates, Inc. for Phase 3 – Construction Observation Services for Stage 3 Improvements for the Illinois Transportation Enhancement Program (ITEP) Grant Project in an Amount not to exceed \$38,771.00. The roll call vote was as follows: AYES: Trustees Grujanac, Pantelis, Raizin, Leider, and Harms Muth. NAYS: Trustee Hancock. ABSENT: None. ABSTAIN: None. Mayor Brandt declared the motion carried.

8.4 Police

8.5 Parks and Recreation

8.6 Judiciary and Personnel

**9.0 REPORTS OF SPECIAL COMMITTEES**

**10.0 UNFINISHED BUSINESS**

**11.0 NEW BUSINESS**

**12.0 EXECUTIVE SESSION**

**13.0 ADJOURNMENT**

Trustee Grujanac moved and Trustee Leider seconded the motion to adjourn. The voice vote was unanimous and Mayor Brandt declared the meeting adjourned at 8:25 p.m.

Respectfully submitted,  
**VILLAGE OF LINCOLNSHIRE**

Barbara Mastandrea  
Village Clerk



**MINUTES  
COMMITTEE OF THE WHOLE MEETING  
Monday, September 23, 2019**

Present:

Mayor Brandt	Trustee Harms Muth
Trustee Grujanac	Trustee Hancock
Trustee Leider	Trustee Pantelis
Trustee Raizin	Village Clerk Mastandrea
Village Attorney Simon	Village Manager Burke
Finance Director/Treasurer Peterson	<del>Public Works Director Woodbury</del>
Chief of Police Leonas	Assistant Village Manager/Community &
Planning & Development Manager Zozulya	Economic Development Director Gilbertson
Assistant Public Works Director/Village Engineer Dittrich	

**1.0 ROLL CALL**

Mayor Brandt called the meeting to order at 8:26 p.m., and Village Clerk Mastandrea called the Roll.

**2.0 ITEMS OF GENERAL BUSINESS**

2.1 Planning, Zoning and Land Use

**2.11 Consideration and Direction Regarding a Request to Amend Title 12 (Sign Control) of the Lincolnshire Village Code to Allow Electronic Menu Board for Food Establishments with a Drive-Through (Keyser Industries/McDonald's Restaurant - 450 Milwaukee Avenue)**

Planning & Development Manager Zozulya provided a summary of a proposed request to amend Title 12 (sign control) of the Lincolnshire Village Code to allow electronic menu board for food establishments and drive-through. The request will not just benefit McDonald's, but any food establishment with a drive-through; which currently there are three. Planning & Development Manager Zozulya stated if the Board approves this to move forward, the next step would be for the Architectural Review Board (ARB) to do research in a Public Hearing setting and then propose conditions appropriate for the sign code change before coming back to the Village Board for review and possibly approval. Some of the conditions would include no flashing or moving images, no videos, no sound, signs to be turned off when the drive-through service is closed, and up to only three changes a day. The ARB will need to work out details regarding illumination.

Ms. Michelle Freeman, Project Manager at Keyser Industries; Mr. Chris Prucnal, Franchise Operator at Keyser; and Mr. Brian Hiestand, Project

Manager at Keyser introduced themselves. Ms. Freeman provided background and a presentation regarding the request to amend Title 12 (sign control) of the Lincolnshire Village Code to allow electronic menu board for food establishments and drive-through. Mr. Prucnal provided information related to proposed lighting. Ms. Freeman continued with the presentation regarding screen content, menu changes, and provided photos of existing compared to proposed.

Trustee Raizin asked if special promotions will be displayed and if so, would they be included with the daily menu items. Mr. Hiestand showed photos in the presentation indicating how special promotions would be displayed.

Trustee Grujanac noted the other two drive-through restaurants have menu boards that face towards residents and noted concern regarding illumination.

Trustee Leider recommended staff differentiate the definition of electronic menu boards and electronic reader boards.

Village Attorney Simon stated the signs proposed switch from white background with black lettering to black background with white lettering at night and asked if this is conventionally available for all these types of boards. Mr. Prucnal stated he was not sure if every manufacturer provides this but everything on these boards is customizable.

It was the consensus of the Board to refer this to the Architectural Review Board.

## 2.2 Finance and Administration

### 2.1 **Receipt and Consideration of Report by Visit Lake County (Village of Lincolnshire)**

Village Manager Burke introduced Maureen Reidy, President of Visit Lake County; Brad LaJoie, General Manager for Marriott Lincolnshire, Julie Berry, Director of Sales and Marketing for Marriott Lincolnshire; and John McGuire, Staff Member for Visit Lake County. Village Manager Burke provided background and a summary of the report by Visit Lake County for 2020 budget request.

Ms. Reidy provided a presentation regarding Visit Lake County's mission, community partnering efforts, and marketing strategies relative to Lincolnshire and other community partners.

Trustee Hancock asked if Marriott Lincolnshire pays for placement of the video Ms. Reidy played as part of her presentation. Ms. Reidy stated Marriott Lincolnshire invests money to be a partner in the video.

Ms. Reidy continued with the presentation with the fall campaign,

Restaurant Week, other marketing strategies, and economic impact.

Ms. Reidy asked the Board to consider investing \$30,000 for 2020.

Mr. LaJoie and Ms. Berry from Marriott Lincolnshire provided a presentation to highlight the impact Visit Lake County has on the Marriott Lincolnshire.

Trustee Raizin asked how the flooding impacted Marriott Lincolnshire. Ms. Berry noted loss of revenue and evacuation due to the flood puts stress on the staff. Mr. LaJoie thanked Assistant Public Works Director/Village Engineer Dittrich for all the help during the floods and stated his staff was better prepared as a result of the 2017 flooding.

It was the consensus of the Board to discuss this request during Special Committee of the Whole Budget Workshop Meetings.

## **2.22 Receipt and Consideration of Police Pension Fund Report (Village of Lincolnshire)**

Village Manager Burke introduced Mr. Steve Lee, President of the Police Pension Fund and provided a brief summary of the annual Police Pension Fund Report and funding policy.

Mr. Lee provided background on the Police Pension Fund and a presentation regarding the Police Pension Fund including annual actuarial process, 2018 highlights, summary of 2019 actuarial valuation, financial condition indicators, recommended versus actual contribution, 10-year projections, projected funding policy contribution, projected financial condition indicators, funded status of Lincolnshire versus downstate police pension plans, and an area comparison.

Trustee Hancock asked what the underlying cost of investments are. Mr. Lee stated the underlying cost of investments are 49 basis points. Index percentages were briefly discussed.

Mayor Brandt noted Gerard Leider serves at the Village Board liaison to the Police Pension Fund.

Trustee Hancock asked how frequently the Police Pension goes out to bid for investment managers. Mr. Lee stated every five years they negotiate investment and account managers.

The Police Pension Board requests \$959,428 in contributions for 2020.

It was the consensus of the Board to discuss this request during Special Committee of the Whole Budget Workshop Meetings.

## **2.23 Consideration and of an Ordinance Authorizing the Disposal of**

### **Surplus Property (Village of Lincolnshire)**

Village Manager Burke provided a summary of the bi-annual Ordinance authorizing disposal of surplus property.

It was the consensus of the Board to place this item on the Consent Agenda for approval at the next Regular Village Board Meeting.

#### 2.3 Public Works

##### **2.31 Consideration of the Community Christian Church of Lincolnshire's Request to Use Village Streets for a Community 5K Race/Walk and Waiver of the Village Street Usage Policy Cash Bond Requirement (Community Christian Church of Lincolnshire)**

Assistant Public Works Director/Village Engineer Dittrich provided a brief summary of the Community Christian Church request to use village streets for a community 5K race/walk and waiver of the Village Street Usage Policy cash bond requirement.

It was the consensus of the Board to place this item on the Consent Agenda for approval at the next Regular Village Board Meeting.

#### 2.4 Public Safety

##### **2.41 Consideration of an Ordinance Amending Title 3 (Business and License Regulations), Chapter 3 (Liquor Control), Section 3-3-2-1 (Liquor License Classes) of the Lincolnshire Village Code (Village of Lincolnshire)**

Chief of Police Leonas provided a summary of an Ordinance amending Title 3 (Business and License Regulations, Chapter 3 (Liquor Control), Section 3-3-2-1 (Liquor License Classes) of the Lincolnshire Village Code. Staff recently identified the Class C, E, and F Liquor License Classes sections were missing the required parameter "for consumption on premises." This requirement was inadvertently omitted in the comprehensive rewrite to the liquor licensing provisions of the code.

It was the consensus of the Board to place this item on the Consent Agenda for approval at the next Regular Village Board Meeting.

#### 2.5 Public Safety

#### 2.6 Parks and Recreation

#### 2.7 Judiciary and Personnel

### **3.0 UNFINISHED BUSINESS**

### **4.0 NEW BUSINESS**

### **5.0 EXECUTIVE SESSION**

It was the consensus of the Board to discuss personnel at the next Committee of the Whole Meeting.

**6.0 ADJOURNMENT**

Trustee Grujanac moved and Trustee Harms Muth seconded the motion to adjourn. Upon a voice vote, the motion was approved unanimously and Mayor Brandt declared the meeting adjourned at 10:01 p.m.

Respectfully submitted,  
**VILLAGE OF LINCOLNSHIRE**

Barbara Mastandrea  
Village Clerk

**REQUEST FOR BOARD ACTION  
Regular Village Board  
October 15, 2019**

**Subject:** New Extended Stay Hotel – Home2 Suites by Hilton –  
350 Knightsbridge Parkway

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**Action Requested:** 8.11 Approval of an Ordinance Amending the Lincolnshire Village Code, Title 6 (Zoning), Chapter 11 (Off-Street Parking and Loading), Section 6-11-2-G (Off-Street Parking Facilities) Related to Hotel Parking Requirements (350 Knightsbridge Parkway - Knight Bridge Pky, LLC)

8.12 Approval of an Ordinance Granting a Special Use Permit to Construct a 113-room Hotel in the Office/Industrial (O/Ib) Zoning Subdistrict; Building Height Variation; Setback Variations; and Wall Sign Variations (350 Knightsbridge Parkway - Knight Bridge Pky, LLC)

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**Petitioner:** Knight Bridge Pky, LLC

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**Originated By/Contact:** Ben Gilbertson, Assistant Village Manager/CED Director

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**Advisory Board Review:** Architectural Review Board and Zoning Board

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**Background**

At the August 12, 2019 Committee of the Whole meeting, the Village Board reviewed the proposed ordinance and plans for a Special Use Permit to construct a 113-room Home2 Suites by Hilton hotel at 350 Knightsbridge Parkway in the Office/Industrial (O/Ib) zoning subdistrict. The Board also considered related requests for building height variation, setback variations, wall sign variations, and a text amendment for hotel parking requirements. It was the consensus of the Board to refer the petition to the regular Village Board meeting for approval, pending additional changes to the landscape plan as required by the Lake County Stormwater Management Commission (SMC). Subsequent to the August 12, 2019 Committee of the Whole meeting, SMC issued their permit, and the petitioner has revised the landscape and engineering plans. The changes to the landscape plans are as follows:

**Removed/Reduced Plantings**

1 – Autumn Blaze Maple (3" caliper)  
1 – Regal Smoothleaf Elm (3" caliper)  
7 – Black Hills Spruce (10' height)  
2 – Dart's Blue Periwinkle

**Additional Plantings**

2 – Swamp White Oak (3" caliper)  
3 – Heritage River Birch (8' height)  
6 – Bailey's Red Twig Dogwood (3' height)

The revised landscape plan still conforms to Title 13 (Landscaping) of the Lincolnshire Village Code.

**Recommendation**

- Approval of the ordinances.

**Reports and Documents Attached**

- Document 1: Draft ordinance granting a Special Use Permit to construct a 113-room Hotel in the Office/Industrial (O/Ib) Zoning Subdistrict; Building Height Variation; Setback Variations; and Wall Sign Variations.
- Document 2: Draft ordinance amending the Lincolnshire Village Code Title 6 (Zoning), Chapter 11 (Off-Street Parking and Loading), Section 6-11-2-G (Off-Street Parking Facilities) Related to Hotel Parking Requirements.
- Document 3: Petitioner's cover letter and revised plan set, prepared by Shilpa Purohit, Project Architect, on behalf of property owners and Petitioner, dated October 8, 2019.
- Document 4: August 12, 2019 Committee of the Whole meeting minutes.

<b>Meeting History</b>	
Committee of the Whole Meeting – Preliminary Evaluation (Special Use Permit, Height/Setback Variances)	September 24, 2018
Committee of the Whole Meeting – Preliminary Evaluation (Text Amendment)	January 28, 2019
Architectural Review Board – Site Design Workshop and Wall Sign Variation Public Hearing	June 18, 2019
Zoning Board – Special Use Permit, Height/Setback Variations, and Text Amendment Public Hearing	June 25, 2019
Architectural Review Board – Site Design Consideration and Discussion and Continued Wall Sign Variation Public Hearing	July 16, 2019
Committee of the Whole – Ordinance First Reading	August 12, 2019
Regular Village Board – Ordinance Approval	October 15, 2019

**VILLAGE OF LINCOLNSHIRE  
LAKE COUNTY, ILLINOIS**

**ORDINANCE NO. \_\_\_\_\_**

**AN ORDINANCE APPROVING A SPECIAL USE PERMIT TO CONSTRUCT A  
113-ROOM HOTEL IN THE OFFICE/INDUSTRIAL (O/Ib) ZONING DISTRICT;  
BUILDING HEIGHT VARIATION; SETBACK VARIATIONS;  
AND WALL SIGN VARIATIONS  
(350 KNIGHTSBRIDGE PARKWAY)**

**WHEREAS**, application has been made by Knight Bridge Pky, LLC (the “Owner”), owner of certain property commonly known as 350 Knightsbridge Parkway, Lincolnshire, Illinois (the “Subject Property) for approval of a Special Use Permit per Section 6-8-5 of the Lincolnshire Village Code to construct a 113-room hotel in the Office/Industrial (O/Ib) zoning subdistrict (“Special Use Permit Application”); and

**WHEREAS**, application has been made by the Owner for approval of variations from Sections 6-8-8, 6-8-9, and 6-11-2-B-4 of the Lincolnshire Village Code to (a) reduce the front yard setback from 56’-6” to 50’; (b) exceed the maximum allowable building height from 45’ to 51’-6”; (c) reduce the side yard landscape/parking setback from 15’ to 12’; and (d) reduce the rear yard landscape/parking setback from 15’ to 10’, respectively (collectively, the “Zoning Variation Application”); and

**WHEREAS**, a public hearing on the Special Use Permit Application and Zoning Variation Application was duly advertised by certified or registered mail, return receipt requested, and publication on May 31, 2019, in the *Daily Herald* and was held by the Zoning Board on June 25, 2019, on which date the Zoning Board voted in favor of recommending approval of the Special Use Application and Variation Application; and

**WHEREAS**, the Zoning Board has heretofore submitted to the Mayor and Board of Trustees of the Village of Lincolnshire, Lake County, Illinois, its findings of fact and recommendations related thereto, including that the Special Use Permit Application and Zoning Variation Application satisfy the standards to qualify for a Special Use Permit and Zoning Variations set forth in Sections 6-14-11 and 6-14-9 of the Lincolnshire Village Code, respectively, and attached hereto as **Group Exhibit C**; and

**WHEREAS**, application has been made by the Owner for approval of variations from Section 12-9-1-B of the Lincolnshire Village Code to permit (a) an increase in the wall sign face height on the east elevation from the maximum permitted 3' to 4'-3¼"; (b) internal illumination through the face of individual letter sets, rather than the code-required backlit/halo illumination of the wall sign on the east elevation; (c) an increase in the wall sign face height on the north elevation from the maximum permitted 3' to 5'-10¼"; (d) the wall sign letter height on the north elevation to be increased from the maximum permitted 2' to 2'-6¾"; and (e) internal illumination through the face of individual letter sets, rather than the code-required backlit/halo illumination of the wall sign on the north elevation (collectively, the "Wall Sign Variation Application"); and

**WHEREAS**, the Wall Sign Variation Application is subject to the requirements of the Office/Industrial Sign District; and

**WHEREAS**, a public hearing on the Wall Sign Variation Application was duly advertised by certified or registered mail, return receipt requested, and publication on May 31, 2019, in the *Daily Herald* and was held by the Architectural Review Board on June 18, 2019 and continued to and finally adjourned on July 16, 2019, on which date the Architectural Review Board voted in favor of recommending approval of the Wall Sign Variation Application; and

**WHEREAS**, the Architectural Review Board has heretofore submitted to the Mayor and Board of Trustees of the Village of Lincolnshire, Lake County, Illinois, its findings of fact and recommendations related thereto, including that the Wall Sign Variation Application satisfies the standards to qualify for a sign variation set forth in Section 12-17-1 of the Village Code, attached hereto as **Exhibit D**; and

**WHEREAS**, the Corporate Authorities of the Village of Lincolnshire, Lake County, Illinois, have duly considered said finding and recommendations of said Zoning Board and Architectural Review Board.

**THEREFORE, BE IT ORDAINED** by the Mayor and Board of Trustees of the Village of Lincolnshire, Lake County, Illinois, in exercise of its home rule authority, as follows:

**SECTION 1:** The findings and recommendations of the Zoning Board and Architectural Review Board of the Village of Lincolnshire, Lake County, Illinois, are herein incorporated by reference as the findings of this Board to the same effect as if fully recited herein at length. All references in the findings and recommendations are made the references of the Mayor and Board of Trustees of the Village of Lincolnshire.

**SECTION 2:** That the Subject Property is legally described as set forth in **Exhibit A**, attached hereto and incorporated as though fully set forth herein.

**SECTION 3:** Special Use Permit. That subject to compliance with the terms and conditions of this Ordinance, the Subject Property is hereby granted a special use permit for the operation of a hotel in the Office/Industrial (O/Ib) zoning subdistrict.

**SECTION 4:** Zoning Variations. Subject to the conditions described in Section 7 below, variations from Sections 6-8-8, 6-8-9, and 6-11-2-B-4 of the Lincolnshire Village Code, respectively, are hereby granted for the purpose of permitting:

- A. Reduction of the front yard setback from 56'-6" to 50'.
- B. Exceeding the maximum allowable building height from 45' to 51'-6".
- C. Reduction of the side yard landscape/parking setback from 15' to 12'.
- D. Reduction of the rear yard landscape/parking setback from 15' to 10'.

**SECTION 5:** Wall Sign Variation. Subject to the conditions described in Section 7 below, a variation from Section 12-9-1-B, Wall Signs, is hereby granted for the purpose of permitting:

- A. Wall Sign – East Elevation
  - 1) Increase the sign face height from the maximum permitted 3' to 4'-3¼".
  - 2) Provide internal illumination through the face of individual letter sets, rather than the code-required backlit/halo illumination for this property in the Office/Industrial Sign District.
- B. Wall Sign – North Elevation
  - 1) Increase the sign face height from the maximum permitted 3' to 5'-10¼".
  - 2) Increase the sign letter height from the maximum permitted 2' to 2'-6¾".
  - 3) Provide internal illumination through the face of individual letter sets, rather than the code-required backlit/halo illumination for this property in the Office/Industrial Sign District.

**SECTION 6:** The following exhibits shall be attached to and made a part of this Ordinance as **Group Exhibit B** and, except as expressly modified by this Ordinance, all

covenants, standards, requirements, designs or specifications in such exhibits shall be binding on the Owner:

- A. Approved site plans, prepared by Advantage Consulting Engineers, comprising one page and last revised on July 29, 2019.
- B. Approved wall sign plans, prepared by Purohit Architects, comprising one page and last revised on July 5, 2019.

**SECTION 7:** The specific terms and conditions of this Ordinance shall prevail against other existing ordinances of the Village to the extent that there might be any conflict. Except for the foregoing limitation, the development of the Subject Property is subject to all terms and conditions of applicable ordinances and regulations of the Village of Lincolnshire.

**SECTION 8:** No order granting the variations herein shall be valid for longer than one year from the date approval was granted by the Corporate Authorities unless an application for building permit is filed with the Village's Building Official within such period or the use is commenced within such period. The Corporate Authorities may grant one extension of time not exceeding one year, upon written application made within the initial one year period, without further notice or hearing. The right to so extend said time shall not include the right to grant additional relief by expanding the scope of any variation.

**SECTION 9:** Any person violating the terms and conditions of this Ordinance shall be subject to a penalty not exceeding Five Hundred Dollars (\$500.00) with each and every day that the violation of the Ordinance is allowed to remain in effect being deemed a complete and separate offense. In addition, the appropriate authorities of the Village may take such other action as they deem proper to enforce the terms and conditions of this Ordinance, including, without limitation, an action in equity to compel compliance with its terms. Any person

violating the terms of this Ordinance shall be subject, in addition to the foregoing penalties, to the payment of court costs and reasonable attorneys' fees. This section shall not apply to the Village of Lincolnshire, its officials, agents or employees.

**SECTION 10:** The premises shall be made available for inspection by any department of the Village at all reasonable times for compliance with this Ordinance and any other laws or regulations.

**SECTION 11:** This Ordinance shall be in full force and effect from and after its passage, approval and publication in pamphlet form as provided by law. Provided, however, that this Ordinance shall not take effect until a true and correct copy of this Ordinance is executed by the Owner and such other parties in interest consenting to and agreeing to be bound by the terms and conditions contained within this Ordinance. Such execution shall take place within sixty (60) days after the passage and approval of this Ordinance or within such extension of time as may be granted by the Corporate Authorities by motion.

**PASSED** this \_\_\_\_th day of \_\_\_\_\_, 2019, by the Corporate Authorities of the Village of Lincolnshire on a roll call vote as follows:

**AYES:**

**NAYS:**

**ABSTAIN:**

**ABSENT:**

**APPROVED** this \_\_\_\_th day of \_\_\_\_\_, 2019.

\_\_\_\_\_  
Elizabeth J. Brandt, Mayor

**ATTEST:**

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Barbara Mastandrea, Village Clerk

Published by me in pamphlet form  
this \_\_\_\_th day of \_\_\_\_\_, 2019.

ACKNOWLEDGED and ACCEPTED

this \_\_\_\_th day of \_\_\_\_\_, 2019.

**KNIGHT BRIDGE PKY, LLC**

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ACKNOWLEDGED and ACCEPTED

this \_\_\_ day of \_\_\_\_\_, 2019.

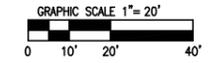
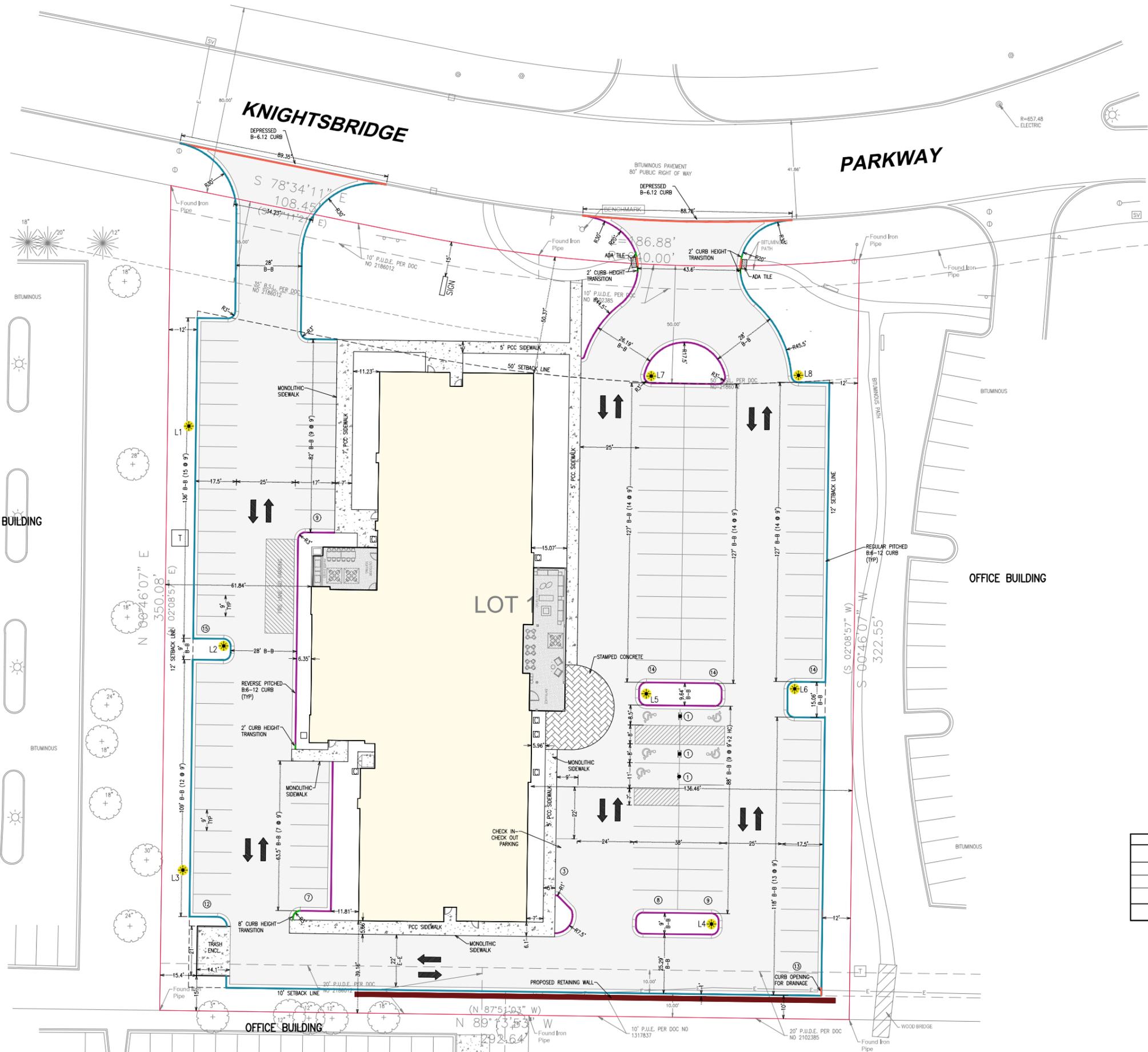
**EXHIBIT A**

**LEGAL DESCRIPTION OF THE SUBJECT PROPERTY**

LOT 1 IN LINCOLNSHIRE CORPORATE CENTER 4TH RESUBDIVISION BEING A SUBDIVISION OF PORTIONS OF LOTS 38 AND 39 IN LINCOLNSHIRE CORPORATE CENTER, A SUBDIVISION OF PORTIONS OF SECTIONS 15, 22 AND 27, TOWNSHIP 43 NORTH, RANGE 11 EAST OF THE THIRD PRINCIPAL MERIDIAN, ACCORDING TO THE PLAT RECORDED NOVEMBER 17, 1982 AS DOCUMENT NUMBER 2186012, IN LAKE COUNTY, ILLINOIS.

P.I.N. 15-22-203-011

**GROUP EXHIBIT B**  
**APPROVED SIGN AND SITE PLANS**  
**[ATTACHED]**



**CURB LEGEND (COLOR CODED):**

<span style="color: orange;">—</span>	DEPRESSED CURB OR CURB OPENING
<span style="color: green;">—</span>	TRANSITION CURB
<span style="color: blue;">—</span>	B-6-12 REGULAR PITCH C&G
<span style="color: purple;">—</span>	B-6-12 REVERSE PITCH C&G

- GEOMETRIC NOTES**
- ALL DIMENSIONS ARE TO BACK OF CURB OR OUTSIDE FACE OF BUILDING.
  - REFER TO LEGEND FOR PITCH OF CURB & GUTTER.
  - ALL RADII ARE 3'-FT UNLESS NOTED OTHERWISE.
  - ALL PAVEMENT MARKINGS SHALL BE 4-INCH WHITE PAINT UNLESS NOTED OTHERWISE, OR AS PROVIDED FOR ON THE DETAILS.
  - THE CROSS SLOPE ON ALL SIDEWALKS SHALL NOT EXCEED 1.5%.
  - FOUNDATION, STAIR AND DOORWAY LOCATIONS SHOWN FOR REFERENCE ONLY. REFER TO PLANS BY ARCHITECT FOR EXACT DIMENSIONS AND LOCATIONS.

- SIGN LEGEND:**
- ① HANDICAP SIGN WITH FINE SIGN

**PARKING SUMMARY**

REGULAR PARKING STALLS	113
H.C. PARKING STALLS	5
TOTAL PARKING STALLS	118

**RUNOFF COEFFICIENT**

ITEM	AREA (AC)	C	A*C
IMPERVIOUS AREA	1.67	0.95	1.59
PERVIOUS AREA	0.54	0.30	0.16
TOTAL	2.21		1.75
C(COMP)			0.794

**REVISIONS**

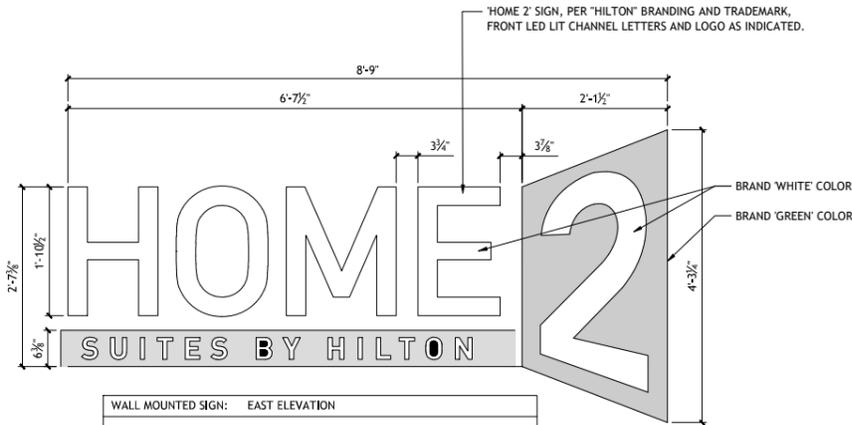
NO.	DATE	REVISION
1.	04/08/19	REVISED PER VILLAGE
2.	05/29/19	REVISED PER VILLAGE
3.	07/01/19	DUMPSTER LOCATION REVISED
4.	07/29/19	REVISED PER A/E

**ADVANTAGE**  
 CONSULTING ENGINEERS  
 80 MAIN STREET, SUITE 17 - LEMONT, ILLINOIS 60439  
 WWW.ADVANTAGEILL.COM  
 847-266-4758

**GEOMETRIC PLAN**  
 HOME 2 HOTEL BY HILTON  
 350 KNIGHTSBRIDGE PARKWAY  
 LINCOLNSHIRE, IL

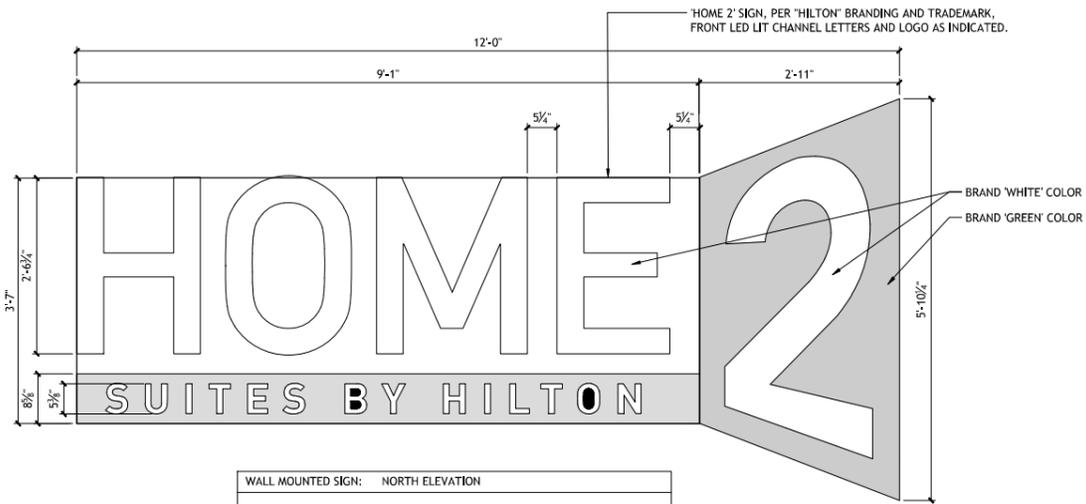
**KNIGHT BRIDGE PARKWAY, LLC**  
 700 BECKER ROAD  
 GLENVIEW, IL 60025

MARCH 1, 2019  
 JOB: 18-040  
 SHEET:  
**L1**  
 5 OF 14



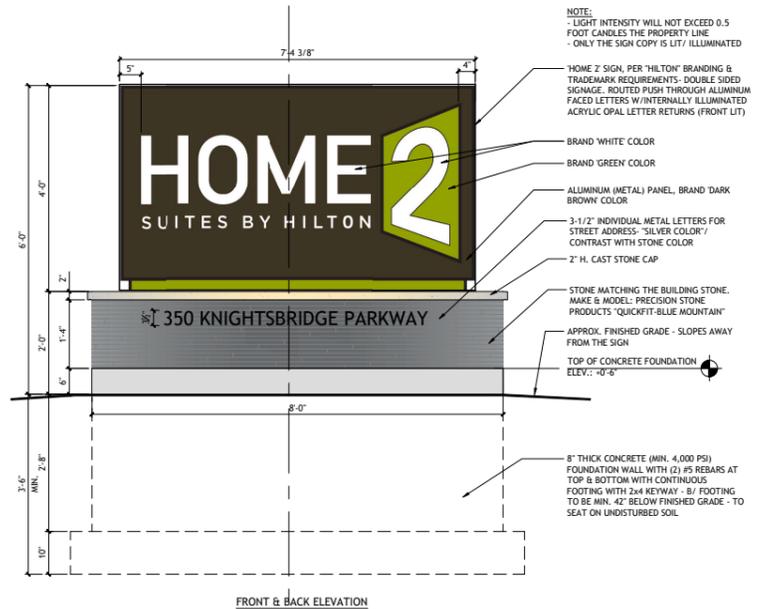
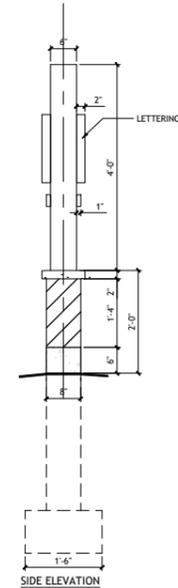
WALL MOUNTED SIGN:	EAST ELEVATION
SIGN TYPE:	FRONT LIT INTERNALLY ILLUMINATED CHANNEL LETTERS WITH L.E.D. LIGHT
BUILDING FACADE AREA:	10,400 SF
SIGN AREA:	6'-8" x 2'-8" = 17.72 SQ. FT. 2'-2" x 4'-4" = 9.38 SQ. FT.
TOTAL SIGN AREA:	27.10 SQ. FT. (0.26 % OF EAST ELEVATION)
MOUNTING HEIGHT (BOTTOM OF SIGN):	40'-6" ± ABOVE GRADE

1C WALL SIGN DETAIL - EAST ELEVATION  
SCALE: 1" = 1'-0"

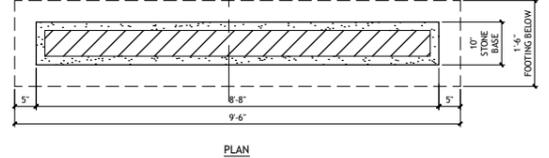


WALL MOUNTED SIGN:	NORTH ELEVATION
SIGN TYPE:	FRONT LIT INTERNALLY ILLUMINATED CHANNEL LETTERS WITH L.E.D. LIGHT
BUILDING FACADE AREA:	2,940 SF
SIGN AREA:	9'-1" x 3'-7" = 33.55 SQ. FT. 2'-11" x 5'-10" = 17.11 SQ. FT.
TOTAL SIGN AREA:	50.66 SQ. FT. (1.72% OF NORTH ELEVATION)
MOUNTING HEIGHT (BOTTOM OF SIGN):	37'-6" ± ABOVE GRADE

1B WALL SIGN DETAIL - NORTH ELEVATION  
SCALE: 1" = 1'-0"



GROUND SIGN:	SEE SITE PLAN FOR LOCATION
SIGN TYPE:	ROUTED PUSH THROUGH LETTERS INTERNALLY ILLUMINATED WITH L.E.D. LIGHT (BACK LITE/ HALO)
SIGN AREA:	BASE: 8'-0" X 2'-0" = 16'-0" S.F. PANEL: 7'-0" X 4'-0" = 28'-0" S.F. OVERALL SIGN AREA = 44'-0" S.F.



1A GROUND SIGN DETAIL  
SCALE: 3/4" = 1'-0"

NOTE FOR THE LIGHT BULBS COLOR TEMPERATURE IN TERMS OF KELVIN "K-VALUE" USED IN EXTERIOR LIGHTS:  
"K" VALUE OF ALL THE LIGHT/BULBS USED AT BOTH WALL SIGNS, GROUND SIGNS, ALL BUILDING MOUNTED EXTERIOR LIGHTS AND THE GLASS REASON SHOULD BE SAME.



DO NOT SCALE THE DRAWINGS. PUNOHT ARCHITECTS, INC. ASSUME NO RESPONSIBILITY FOR USE OF INCORRECT SCALE. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS BEFORE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS. THE CONTRACTOR SHALL MAINTAIN OWNERSHIP OF SUCH AND ALL RIGHTS AND PRIVILEGES. THESE DRAWINGS ARE NOT TO BE REPRODUCED OR COPIED IN WHOLE OR PART. IT IS NOT TO BE USED ON ANY OTHER PROJECT.



**IPA**  
Purohit ARCHITECTS

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Cell. (847) 757-1618  
shilpa@purohitarchitects.com  
www.purohitarchitects.com

*Home2 Hotel by Hilton*  
350 Knightsbridge Parkway  
Lincolnshire, IL 60069

ISSUE INFORMATION	
VERSION 2.2	REVISIONS
02/25/2019	25% Preliminary Plans - Hilton
03/06/2019	DRT submission to Village
04/09/2019	DRT submission to Village
06/07/2019	50% Design Dev - Hilton
06/10/2019	ARB submission to Village
06/18/2019	ARB Meeting
07/05/2019	ARB Re-submission to Village
08/15/2019	Progress/ Draft Set- Client
08/27/2019	Issued for Permit

SHEET INFORMATION	
SIGNAGE DETAILS	
PAI # 19112.00	
<b>A0.04</b>	

**GROUP EXHIBIT C**

**FINDINGS OF FACT FOR  
SPECIAL USE PERMIT AND ZONING VARIATIONS**

**[ATTACHED]**

## **FINDINGS OF FACT FOR SPECIAL USE**

350 Knightsbridge Parkway- Home2 Suites by Hilton (Hotel)

---

- 1. The special use will not be injurious to the use and enjoyment of other property in the immediate vicinity of the subject premises for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood in which it is to be located.***

The corporate center is currently home to two other hotels (Staybridge Suites and Springhill Suites), both zoned O/la with a special use. The demand still exists for additional hotel rooms to serve business and leisure travelers. We believe the special use will not be injurious to the use and enjoyment of other property in immediate vicinity, for the purposes permitted, nor substantially diminish and impair property values within the adjacent neighborhood- rather it would benefit the neighborhood, in which it is proposed.

- 2. The establishment of the special use will not impede the normal and orderly development and improvement of the surrounding property for uses permitted in the district.***

Currently the 350 Knightsbridge site- a baseball field has not been in used for multiple years. This, is a vacant site- with the surrounding properties already develop either with buildings or parking. Developing the site in the way we envision -will allow for the mature trees and the existing curve-linear walkway along the Knightsbridge Parkway, which ultimately leads to the wooden bridge at the south-east corner to remain.

- 3. Adequate utilities, access roads, drainage and/or necessary facilities have been or will be provided.***

No new roads will be needed; connections to the Village's water and sanitary sewer systems will be provided. The drainage will be enhanced and the existing shared storm water facilities for the Corporate Center shall be used. LED Parking lot lights/ building mounted lights shall be per the required ordinance and shall eliminate any lighting impact on the neighboring properties.

- 4. Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.***

The traffic for the proposed hotel will ingress & egress from two proposed curbs cuts off of the Knightsbridge Parkway. Adequate onsite parking has also been provided. The proposed development would be well within the property lines and is designed to minimize traffic congestion in the public street.

- 5. The proposed special use is not contrary to the objectives of the Official Comprehensive Plan of the Village as amended.***

Comprehensive Plan is silent on hotel uses generally and hotel uses within the Office/Industrial district (i.e., does not contradict the plan). The proposed hotel is intended to serve the corporate guest of nearby corporate/ industrial buildings.

- 6. The special use shall, in all other respects, conform to the applicable regulations of the district in which it is located, except as such regulations may, in each instance, be varied pursuant to Section 6-14-9 of this Chapter.***

The special use shall, in all other respects, conform to applicable regulations of the district in which it is located, except as such regulations may, in each instance, be varied pursuant to Section 6-14-9 of the ordinance.

The following special use, variances and text amendments are requested and that we are pursuing them through the appropriate mechanism.

- A special use for a Hotel Use in O/lb district.
- Following Variations to the zoning ordinance for consideration:
  - Building Height- 3 story and 45 Ft
  - Front Yard Setback 50 Ft. + 1' for each foot above 45'
  - Rear yard landscape/ parking setback 15 Ft.
  - Side yard landscape/ parking setback 15' Ft.
- A text amendment to Section 6-11-2 of the Village code, to revise hotel parking requirements for the dinning areas. The proposed calculations is: 1/unit + 0.5 employee + 1/50 SF of lounge or dinning area ***open to the public*** (proposed language in ***bolded italics***).

Please do not hesitate to contact us should you have any questions or concerns regarding this matter. Thank you.

Prepared by:  
Shilpa Purohit, Project Architect  
Purohit Architects, Inc.  
2020 E. Algonquin Road, Suite 302  
Schaumburg, IL 60173

Submitted on behalf of the Owner

KNIGHT BRIDGE PKY LLC  
700 BECKER RD,  
GLENVIEW, IL 60025

## STANDARDS FOR ZONING VARIATIONS

350 Knightsbridge Parkway- Home2 Suites by Hilton (Hotel)

---

- 1. Because of the particular physical surroundings, shape or topographical conditions of the specific property involved, a particular hardship to the owner would result, as distinguished from a mere inconvenience if the strict letter of the regulations were to be carried out:**

The zoning variation requested for height and the number of stories are necessary to accommodate the franchise prototype brand. Due to the nature of the size and the shape of the existing site, variations such as setbacks and landscape are required to accommodate the required parking, fire access and ADA compliant sidewalks. Without the zoning variation, the building would have to be shrunk in depth and length, which is not achievable due to the nature of its use (guest rooms) and the building being a franchise hotel.

- 2. *The property in question cannot yield a reasonable return if permitted to be used only under the conditions allowed by the regulations governing the zoning district in which it is located:***

The property is tight in width and depth to accommodate all the setback requirements and still achieve the required parking count and fire lane. Moreover, for the franchise to have a viable business model a 4-story & minimum 110-115 rooms are essential.

- 3. *The conditions upon which an application for a variation is based are unique to the property for which the variance is sought, and are not applicable, generally, to other property within the same zoning classification:***

This is a unique situation, as the property in question is one of the most desired vacant lot available for this facility, even though it has its own challenges in terms of the width and depth of the lot. The variances are requested, as we cannot possibly reduce or decrease the number of guest rooms. Nor move the proposed building in any direction to achieve all the required setbacks and landscape needs

- 4. *The purpose of the variation is not based primarily upon a desire to increase financial gain:***

The proposed variation, are not based primarily upon a desire to increase financial gain. The variations are to allow a brand's prototype building requirements, to be accommodated on the site in question.

- 5. *The alleged difficulty is caused by this Title and has not been created by any persons presently having an interest in the property:***

The variances requested to allow setback reductions, height increase of the building and landscape reductions are due to code requirements, and are not caused by the current owner. They are based on site constraints and the franchise requirement for branding.

- 6. *The granting of the variations will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located:***

The requested variance to allow the needed height & stories, along with the setback & landscape reductions will not be detrimental to the public welfare or injurious to other property or improvements to the neighborhood. The proposed building after the variances shall still have all the required parking, drainage, site amenities and will help preserve property values of the neighboring homeowner and not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood. Furthermore, the hotel shall be an additional asset to the corporate center

**7. *The granting of the variation will not alter the essential character of the neighborhood or locality:***

The variances requested will not alter the essential character of the neighborhood. The surrounding buildings are mostly taller and are anywhere from 2-7 stories high. The proposed hotel is very much coordinated with the character of the neighborhood, in terms of its design, nature of use and massing.

**8. *The proposed variation will not impair an adequate supply of light and air to adjacent property or substantially increase the congestion of public streets, or increase the danger of fire, or impair natural drainage or create drainage problems on adjacent properties, or endanger the public safety, or substantially diminish or impair property values within the neighborhood:***

The setback, height or landscape variation will not impair an adequate supply of light and air to adjacent property or substantially increase congestion of public streets or increase danger of fire, impair natural drainage or create drainage problems. Currently the site in question is surrounded on three sides by large parking lots and one side to the public street- so reduction in light or air is not in question to the neighboring buildings. All requirements such as fire lane, fire hydrant as needed by fire departments are also provided. The requirements for the drainage is meet.

**9. *The proposed variation is consistent with the Official Comprehensive Policies Plan of the Village and other development codes of the Village.***

Comprehensive Plan is silent on hotel uses generally and hotel uses within the Office/Industrial district (i.e., does not contradict the plan). The proposed hotel is intended to serve the corporate guest of nearby corporate/ industrial buildings.

Please do not hesitate to contact us should you have any questions or concerns regarding this matter. Thank you.

Prepared by:  
Shilpa Purohit, Project Architect  
Purohit Architects, Inc.  
2020 E. Algonquin Road, Suite 302  
Schaumburg, IL 60173

Submitted on behalf of the Owner

KNIGHT BRIDGE PKY LLC  
700 BECKER RD,  
GLENVIEW, IL 60025

**EXHIBIT D**

**FINDINGS OF FACT FOR  
WALL SIGN VARIATIONS**

**[ATTACHED]**

**RESPONSES TO STANDARDS OF ARCHITECTURAL REVIEW  
FOR PERMANENT WALL SIGN VARIATIONS**

350 Knightsbridge Parkway  
(Home2 Suites by Hilton)

The Petitioners and the property owners “Vaibhav Sevale and Kamlesh Patel of Knights Bridge Parkway, LLC with the help of their Architect “Purohit Architects, Inc.”, provides the following responses to the standards of review in accordance with the section 12-17-1(D) of that Lincolnshire Village Code regarding requested variations for two proposed permanent wall signs with letters and log at the Subject Property and in the Office/ Industrial Sign District to allow the following collective variations, all as illustrated and depicted by the plans and specifications submitted herewith:

Wall Sign- East Elevation

1. Increase the sign face height from the maximum permitted 3' to 4'-3 1/4" in the office/ industrial Sign District (Section 12-9-1-B), table 3 of the Lincolnshire Village Code.
2. Provide internal illumination through the face of the individual letter sets, rather than the code required back/halo illumination for this property in the Office/ Industrial Sign District (Section 12-9-1-B-9)

Wall Sign- North Elevation

1. Increase the sign face height from the maximum permitted 3' to 5'-10 1/4" in the office/ industrial Sign District (Section 12-9-1-B), table 3 of the Lincolnshire Village Code)
2. Increase the sign letter height from the maximum permitted 2' to 2'-6 3/4" in the office/ industrial Sign District (Section 12-9-1-B), table 3 of the Lincolnshire Village Code).
3. Provide internal illumination through the face of the individual letter sets, rather than the code required back/halo illumination for this property in the Office/ Industrial Sign District (Section 12-9-1-B-9)

***1. The Applicant's plans are substantially consistent with the design criteria of Title 12 of the Lincolnshire Village Code.***

Applicant's plans for the Sign are substantially consistent with the design criteria for wall signs under Sections 12-9-1(B) of the code. More specifically, the proposed Sign (i) the total area of the proposed East Wall Signage is 0.26% and the North Wall Signage is 1.72%, of the area of the building wall to which they are proposed to be attached. This accounts for significantly less than 5% of the area of the building wall to which it will be attached, (ii) will be safely and securely attached to a building wall that faces the parking lot or the public street (iii) will be safely and securely attached to the building wall, (iv) will be affixed flat against the building wall, (v) will not project more than six inches from the building wall, (vi) will not cover the building's windows, doors or architectural features (viii) will not be located above the roof line (ix) will be constructed of metal, acrylic material(s) (x) will be attached to the building facade at a height of greater than eight feet above the nearest sidewalk and (xi) will be consistent with the proposed ground sign lettering for the proposed building. Additionally, the East Sign's individual letter height permitted in the District.

***2. The proposed exterior design features of the sign are suitable and compatible with the character of neighboring buildings and structures existing or under construction and with the character of the neighborhood and the applicable zoning district, and enhance the environment of the Village.***

The Sign's proposed exterior design features are suitable and compatible with the character of (i) neighboring building sign such as that at the nearby Noah's Event Venue (200 Barclay Boulevard) and Spring Hill Suites by Marriott (300 Marriott Drive), which consists of individually-mounted letters or logo- consistent with the Sign, (ii) the neighborhood in which the Subject Property is located and (iii) the Office/ Industrial zoning district due to the applicable Office/ industrial Sign district regulations established under Section 12-9-1(B) of the Code.

***3. The granting of the variation will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the property is located.***

The granting of the variations will not be detrimental to the public welfare or injurious to other property or improvements in the neighborhood in which the Subject Property is located because the Sign is tastefully designed to be substantially consistent with the design criteria for the wall signs under Section 12-9-1(B) of the code as described in detail above, and to the best ensure the Sign's proper visibility and proportionality to the proposed building to which it will be affixed while maintaining integrity with the applicable sign regulations and Hilton's establishment, international corporate branding and trademark.

***4. The exterior design features of the sign will not cause a substantial depreciation in the property values in the neighborhood.***

The sign's exterior design features will not cause a substantial depreciation in property values in the neighborhood in which the subject property is located because the Sign is tastefully designed to be substantially consistent with the design criteria for the wall sign's proper visibility and proportionality to the proposed building to which it will be affixed while maintaining international corporate branding and trademark.

***5. The alleged difficulty or hardship is caused by Title 12 of the Lincolnshire Village Code and has not been created by any persons presently having an interest in the property.***

The difficulty or hardship for which the variations are requested has not been created by any persons presently having an interest in the Subject property. To the contrary, the Variations are sought, among other things, (i) to main consistency with Hilton's established, international corporate branding and trademark, (ii) to afford sufficient legibility of the Sign above 37' plus feet height (iii) to provide aesthetically appealing scale between the Sign and the building facade to which it will be attached.

***6. The conditions upon which an application for a variation is based are unique to the property for which the variance is sought, and are not applicable, generally, to other property within the same zoning classification.***

The conditions upon which the Variations are based are unique to the Subject property and not generally applicable to property within the same O/Ic Office industrial zoning classification sub-district, as the existing site is close to a square shaped lot and quite far from the major road (Half day Road and Milwaukee Avenue). The proposed building is long and narrow and has less street frontage to the nearest improved street – Kingtsbridge Parkway.

**VILLAGE OF LINCOLNSHIRE  
LAKE COUNTY, ILLINOIS**

**ORDINANCE NO. \_\_\_\_\_**

**AN ORDINANCE AMENDING THE LINCOLNSHIRE VILLAGE CODE, TITLE 6  
(ZONING), CHAPTER 11 (OFF-STREET PARKING AND LOADING),  
SECTION 6-11-2-G (OFF-STREET PARKING FACILITIES) RELATED TO  
HOTEL PARKING REQUIREMENTS  
(350 KNIGHTSBRIDGE PARKWAY)**

**WHEREAS**, application has been made by Knight Bridge Pky, LLC (the “Owner”), owner of certain property commonly known as 350 Knightsbridge Parkway, Lincolnshire, Illinois (the “Subject Property) for approval of a Text Amendment to Section 6-11-2-G of the Lincolnshire Village Code to revise hotel parking requirements for dining areas, such that additional off-street parking must be provided only for hotel lounge or dining areas open to the public (“Text Amendment Application”); and

**WHEREAS**, the owner seeks to develop the subject property with a new 113-room hotel in the Office/Industrial (O/Ib) zoning subdistrict;

**WHEREAS**, a public hearing on the Text Amendment Application was duly advertised by certified or registered mail, return receipt requested, and publication on May 31, 2019, in the *Daily Herald* and was held by the Zoning Board on June 25, 2019, on which date the Zoning Board voted in favor of recommending approval of the Text Amendment Application; and

**WHEREAS**, the Zoning Board has heretofore submitted to the Mayor and Board of Trustees of the Village of Lincolnshire, Lake County, Illinois, its findings of fact and recommendations related thereto, including that the Text Amendment Application satisfy the standards to qualify for a Text Amendment set forth in Section 6-14-10 of the Lincolnshire Village Code, and attached hereto as **Exhibit A**; and

**WHEREAS**, the Corporate Authorities of the Village of Lincolnshire, Lake County, Illinois, have duly considered said finding and recommendations of said Zoning Board.

**THEREFORE, BE IT ORDAINED** by the Mayor and Board of Trustees of the Village of Lincolnshire, Lake County, Illinois, in exercise of its home rule authority, as follows:

**SECTION 1:** The findings and recommendations of the Zoning Board of the Village of Lincolnshire, Lake County, Illinois, are herein incorporated by reference as the findings of this Board to the same effect as if fully recited herein at length. All references in the findings and recommendations are made the references of the Mayor and Board of Trustees of the Village of Lincolnshire.

**SECTION 2:** Text Amendment; Off-Street Parking; Hotels. Section 6-11-2-G of the Village Code is hereby amended to revise the minimum number of required off-street parking spaces for hotels as follows: “1/unit + 0.5/employee + 1/50 SF of lounge or dining area open to the public.”

**SECTION 3:** The specific terms and conditions of this Ordinance shall prevail against other existing ordinances of the Village to the extent that there might be any conflict. Except for the foregoing limitation, the development of the Subject Property is subject to all terms and conditions of applicable ordinances and regulations of the Village of Lincolnshire.

**SECTION 4:** Any person violating the terms and conditions of this Ordinance shall be subject to a penalty not exceeding Five Hundred Dollars (\$500.00) with each and every day that the violation of the Ordinance is allowed to remain in effect being deemed a complete and separate offense. In addition, the appropriate authorities of the Village may take such other action as they deem proper to enforce the terms and conditions of this Ordinance, including, without limitation, an action in equity to compel compliance with its terms. Any person violating the terms of this Ordinance shall be subject, in addition to the foregoing penalties, to the payment of court costs and reasonable attorneys' fees. This section shall not apply to the Village of Lincolnshire, its officials, agents or employees.

Document 2

**SECTION 5:** This Ordinance shall be in full force and effect from and after its passage, approval and publication in pamphlet form as provided by law.

**PASSED** this \_\_\_\_th day of \_\_\_\_\_, 2019, by the Corporate Authorities of the Village of Lincolnshire on a roll call vote as follows:

**AYES:**

**NAYS:**

**ABSTAIN:**

**ABSENT:**

**APPROVED** this \_\_\_\_ \_th day of \_\_\_\_\_,  
2019.

\_\_\_\_\_  
Elizabeth J. Brandt, Mayor

**ATTEST:**

\_\_\_\_\_  
Barbara Mastandrea, Village Clerk

Published by me in pamphlet form  
this \_\_\_\_th day of \_\_\_\_\_, 2019.

**EXHIBIT A**  
**FINDINGS OF FACT FOR A**  
**TEXT AMENDMENT**

**[ATTACHED]**

## **FINDINGS OF FACT** TEXT AMENDMENT

### Text Amendments to Sections 6-11-2 of the Lincolnshire Zoning Code

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1. *The request for an amendment shall serve the purpose of promoting the public health, safety, and general welfare.*

The request for an amendment will serve the purpose of promoting the public health, safety and general welfare by better aligning the Village's zoning regulations with the current market conditions for office and industrial property. As a result, the properties across all applicable zoning districts will more easily be developed and/or occupied, leading to additional investments, new development and increased property values. It will further benefit the local corporate and residential communities. In addition CBRE Study conducted in 2017, which talks about the estimated average occupancy rate of the hotel- further amplifies the need for the text amendment.

2. *The request for an amendment shall conserve the value of property throughout the community.*

The request for an amendment will conserve and improve the value of property throughout the community. By better aligning the Village's zoning regulations with the current market conditions for office and industrial property, areas located within the O/lb zoning districts will more easily be developed and/or occupied. It is the expectation, that this leads to additional investment and new development, all of which contribute to the conservation and growth of property values.

3. *The request for an amendment shall lessen or avoid congestion in the public streets and highways.*

The request for an amendment shall not result in any aggravation of the congestion in public streets or highways. To the extent any use suggested in the application will result in traffic patterns or trips which are viewed as creating a conflict with the traffic related to the existing uses allowed in the O/lb districts, such uses shall be reviewed as special use so conditions can be enforced which mitigate or avoid such a conflict.

Prepared by:  
Shilpa Purohit, Project Architect  
Purohit Architects, Inc.  
2020 E. Algonquin Road, Suite 302  
Schaumburg, IL 60173

Submitted on behalf of the Owner

KNIGHT BRIDGE PKY LLC  
700 BECKER RD,  
GLENVIEW, IL 60025

**EXHIBIT B**

**AMENDMENTS TO SECTION 6-11-2-G OF THE  
LINCOLNSHIRE VILLAGE CODE**

**[ATTACHED]**

## **TITLE 6: Zoning**

### **CHAPTER 11: Off-Street Parking and Loading**

#### **Sections:**

- 6-11-1: General Requirements**
- 6-11-2: Off-Street Parking Facilities**
- 6-11-3: Off-Street Loading Facilities**

#### **6-11-1: General Requirements**

- A. General Applicability: Off-street parking and loading facilities for all existing and new structures and uses of land within the Village of Lincolnshire shall be in accordance with the provisions of this Chapter.
- B. Increase in Intensity: Whenever the intensity of use of any structure, or premises is increased through the addition of dwelling units, gross floor area, seating capacity, or other units of measurement specified herein for required parking or loading facilities, parking and loading facilities shall be required for such increases in intensity.
- C. Change in Use: Whenever a use existing on the effective date of this Chapter is changed to a new use, parking or loading facilities shall be provided as required herein for such new use.
- D. Responsibility: The duty to provide and maintain off-street parking spaces and/or loading facilities shall be the joint and several responsibility of the operator and/or owner of the use and/or owner of the land for which off-street parking spaces and/or loading facilities are required to be provided and maintained hereunder.
- E. Design Plan: Parking and loading facilities shall be illustrated on a site plan to be submitted with all applications for Building Permits or Certificates of Occupancy in accordance with the provisions of this Chapter.
- F. Snow Removal: Accommodations shall be made for the storage and/or removal of snow from all parking and loading facilities. Areas for snow storage shall be designated reasonably close to drains or catch basins. Snow storage within landscaped areas should be avoided to prevent damage to plant material.

#### **6-11-2: Off-Street Parking Facilities:**

- A. General Requirements
  - 1. Use: Required off-street parking facilities shall be solely for the parking of vehicles used for the transportation of occupants, patrons, employees or materials of the uses to which they are accessory. Each required parking space shall be kept available at all times for parking of such vehicles. No required parking space shall be rented, leased or used for any purpose other than that for which said space is required.
  - 2. Access: Off-street parking facilities shall be designed and located to provide appropriate means of vehicular access to adjacent streets or alley ways in a manner

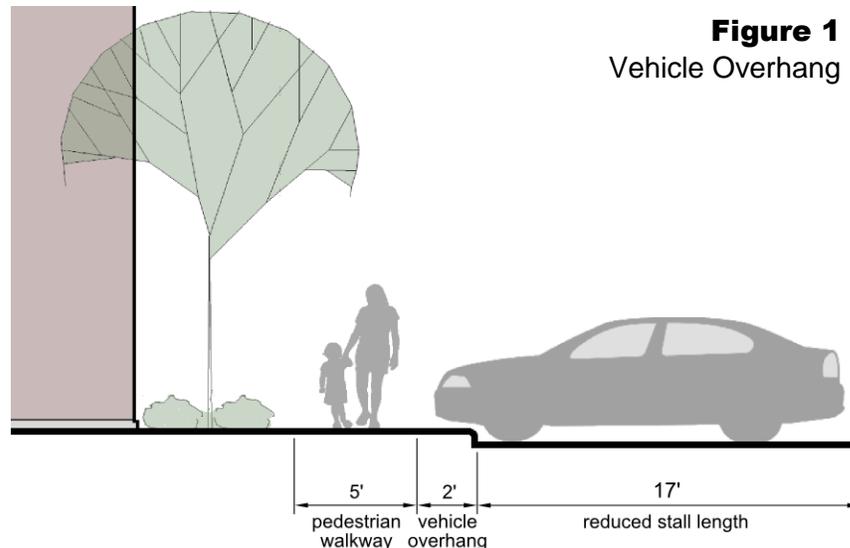
which will least interfere with traffic movements. Parking spaces shall open directly upon an aisle or driveway of such width and designed to provide safe and efficient means of vehicular access to such parking space at all times.

3. Computation: When the number of parking spaces required herein results in a fractional space, any fraction shall require one (1) additional parking space. Parking spaces required on a square footage basis shall be based on the gross square footage of the structure/leasable space. Parking spaces required on an employee basis shall be based on the maximum number of employees on duty or residing on the premises at any one time.
4. Shared Parking Facilities: Parking spaces required for separate structures and uses may be provided collectively on the same lot, provided use of such spaces shall not occur at the same time based on the operations of the uses they are serving. The minimum number of required parking spaces shall be established by the primary use or the highest parking generating use, whichever is more.
5. Land Banking: The Zoning Administrator may authorize a reduction in the total number of off-street parking spaces required herein, subject to the following:
  - a. No more than 50% of the required parking spaces shall be landbanked.
  - b. Prior to authorization of landbanked spaces, the lot owner or tenant must demonstrate that required parking spaces are excessive as applied to the use of the zoning lot, including but not limited to employee counts, lack of public customers, or similar scenarios.
  - c. Every request for landbanking of required parking spaces shall be accompanied by a detailed parking plan identifying the area(s) reserved for future parking and the landscape treatment of such open space.
  - d. The property owner shall file with the Zoning Administrator his/her unconditional agreement in form and substance satisfactory to the Village Attorney that the area(s) reserved for future parking shall be maintained as landscaped open space until and unless required to be used for off-street parking in compliance with this Chapter. Such agreement shall be recorded with the Lake County Recorder's Office.
  - e. The Zoning Administrator, in his/her sole discretion, shall have the authority to require the property owner or successor, at any time, to increase the number of parking spaces required by this Chapter.

**B. Location:**

1. All parking facilities shall be located in the same zoning lot as the structure or use to which they serve. Parking facilities of ten (10) or more parking spaces may be located on a separate lot provided said parking spaces are located within the development in which such parking spaces are serving.
2. Parking facilities solely for employees, may be located on a separate lot provided no such parking spaces shall be located in excess of six hundred feet (600') measured along a paved pedestrian circulation route to the nearest building entrance.

3. Residential zoning: Parking facilities containing three or more spaces shall not be located in a Front, Side, or Rear Setback, as defined in Chapter 2 of this Title, except when a garage structure is located within the Rear Setback. Surfaced driveways may be used as parking spaces in addition to the requirements herein.
  4. All Other Zoning Districts: Required parking spaces shall not be located in a Front or Corner Side Yard, as defined in Chapter 2 of this Title, and shall be located a minimum of twenty five (25) feet from the property line of any adjoining residential zoning district, except as permitted in Section 6-8-11(B) of this Title. Required parking spaces may be located in an interior side yard or rear yard in all non-residential zoning districts, provided in the O/I districts a fully landscaped and maintained strip of at least fifteen feet (15') in the O/Ia and O/Ib subdistricts or eight feet (8') in the O/Ic and O/Id subdistricts is installed and maintained continuously along the perimeter of the applicable rear and interior side yards (excluding driveway or sidewalk entrances, or railroad track frontage).
- C. Size: Every parking space shall conform to the parking dimensions identified on the Off-street Parking Chart found at the end of this Chapter, exclusive of access drive aisles, ramps, etc., and have a minimum vertical clearance of seven (7) feet. For parking spaces adjacent to a curb, the parking space length shall be shortened by two (2) feet to provide sufficient vehicle overhang (see Figure 1). For parking spaces where vehicle overhang is adjacent to a pedestrian walkway, the walkway width shall be a minimum of seven (7) feet to provide unobstructed pedestrian access (see Figure 1).



**Figure 1**  
Vehicle Overhang

D. Design and Maintenance:

1. Surfacing:

- a. Single-Family Residential: Off-street parking facilities accessory to single-family residential (attached or detached) shall be paved or otherwise surfaced with an all-weather dustless material. The portion of the driveway connecting from the curb line to the property line shall be paved with concrete, asphaltic materials or permanent materials, in accordance with Village Codes.

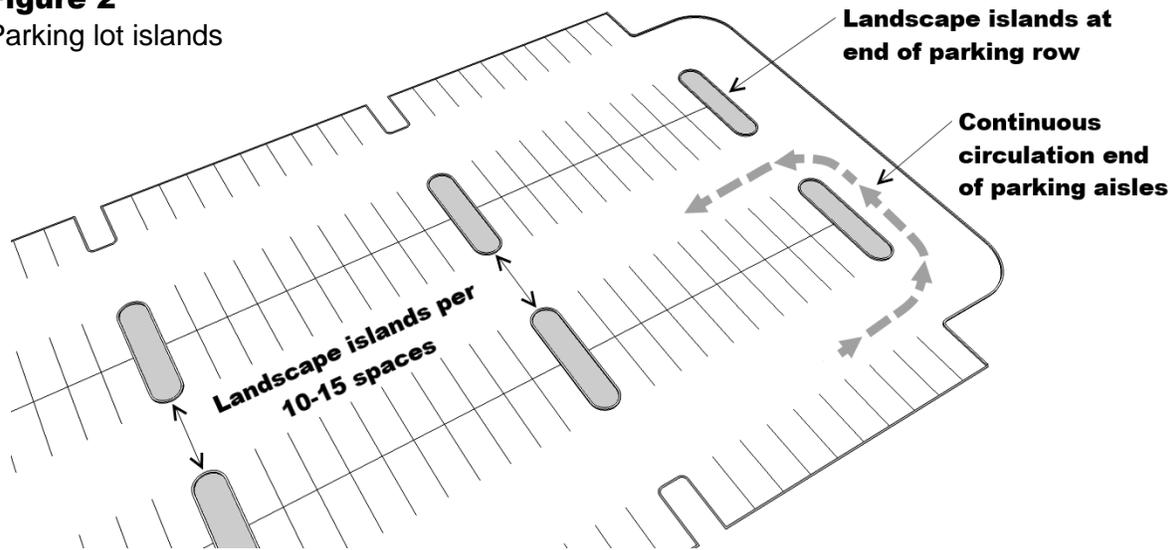
- b. All Other Uses: The minimum required off-street parking facilities, spaces and access drives shall be improved with a compacted macadam base, or equal, not less than six inches (6") thick, surfaced with asphaltic concrete or comparable all-weather, dustless material. Any portion of a parking facility containing parking spaces in excess of 10% of the minimum number required herein shall implement innovative stormwater management features (commonly identified as Best Management Practice techniques, BMP), including but not limited to alternate paving surface materials, use of light colored concrete, recycled asphalt permeable pavement materials, bioretention areas, swales, or similar techniques approved by the Village of Lincolnshire; unless it can be demonstrated no further increases in impervious surface coverage will be produced.
2. Drainage: All parking facilities shall be designed to prevent the drainage of stormwater onto adjoining property and to effectively manage stormwater and snowmelt on-site in accordance with Village Codes and the Lake County Watershed Development Ordinance (WDO), including the use of stormwater BMP techniques.
3. Screening and Landscaping: Parking facilities shall be landscaped in accordance with Section 13-2-4 of Title 13.
4. Illumination: Illumination of off-street parking facilities shall be in accordance with Section 6-3-15 of this Title. All lighting should create an identity for parking facilities and be appropriately designed for the location, context, and scale of the areas being illuminated.
5. Curbing: All parking facilities, drives, access roadways, and landscape islands must be bordered by a six (6) inch high concrete barrier curb. Such curbing shall not be required if essential to the design and implementation of stormwater BMP techniques, as approved by the Village and Lake County Stormwater Management Commission (SMC).

E. Parking Lot Standards:

1. Parking facilities containing twenty (20) spaces or more shall have one (1) landscape island for every ten (10) parking spaces (see Figure 2). Landscape islands shall be a minimum width of nine (9) feet and a minimum length of nineteen (19) feet. Landscaping shall be in accordance with Section 13-2-4 of Title 13.
2. Landscape islands shall be located at the end of every parking row and shall be landscaped in accordance with Section 13-2-4 of Title 13 (see Figure 2).
3. Parking facilities containing two (2) or more parking aisles shall provide continuous vehicular circulation at each end of the parking aisles and shall be landscaped in accordance with Section 13-2-4 of Title 13 (see Figure 2).
4. A minimum eight (8) foot landscaped area shall be required between all building façades and parking facilities, including parking spaces and circulation drives, and shall be landscaped in accordance with Section 13-2-4 of Title 13.
5. Parking facilities containing forty (40) parking spaces or more shall have one (1) landscape island for every fifteen (15) parking spaces (see Figure 2). Landscape islands shall be a minimum width of nine (9) feet and a minimum length of nineteen

(19) feet. Landscaping shall be in accordance with Chapter 2, Landscaping, of Title 13.

**Figure 2**  
Parking lot islands



F. Accessible (ADA) Parking Spaces: Off-street parking spaces required herein shall comply with the 2010 ADA Standards for Accessible Design and Illinois Accessibility Code, except for single-family dwellings, which shall be in accordance with the following requirements:

1. Required Accessible Spaces: ADA accessible parking spaces shall be included in the total number of required parking spaces as required in following table:

<b>ACCESSIBLE PARKING SPACES</b>	
Total Number of Parking Spaces Provided in Parking Facility	Minimum Number of Required Accessible Parking Spaces
1 to 25	1
26 to 50	2
51 to 75	3
76 to 100	4
101 to 150	5
151 to 200	6
201 to 300	7
301 to 400	8
401 to 500	9
501 to 1,000	2% of total
1001 and over	20, plus 1 for each 100, or fraction thereof, over 1,000

2. Van Parking Spaces: For every six (6) or fraction of six (6) accessible parking spaces required by (B)(1) above, at least one (1) accessible space shall be a van parking space.

- G. Specific Requirements: Off-street parking spaces shall be provided in accordance with the minimum requirements listed below. The format in identifying the minimum number of required spaces is as follows:

{Number of spaces} 10/1,000 {Per square footage, units, seats, etc.}

Unspecified Use: When the use of a structure or lot is known, but not identified in the following parking table, the minimum number of parking spaces required shall be determined based on a reasonably comparable and/or similar use identified.

SEE OFF-STREET PARKING TABLE ON NEXT PAGE

Use	Minimum Number of Required Spaces
<b>Residential</b>	
Single-family detached dwelling	2/dwelling
Single-family attached dwelling, townhome	2.5/dwelling
Single-family attached dwelling, duplex	2.5/dwelling
Continuing care retirement campus (CCRC)	1/independent living unit + 1/employee + 4% of the total required parking for visitor parking
Multi-family dwelling/condominium	1.5/efficiency studio and 1 bedroom units 2.5/2 or more bedroom units
<b>Recreational</b>	
Bowling alley	4/lane + 12/1,000 sq. ft. of lounge or dining area
Golf course	80/9 holes
Park and playground	None for first acre. 5/1 to 5 acres + 5 for each acre in excess of 5 acres + 1/5 persons of design capacity of any structure or facility
Forest preserve/nature preserve	By Village Board
Personal fitness/instruction studio	1/4 persons based on maximum occupancy +1/employee
Private or public recreation facility and community buildings	1/3 persons based on maximum occupancy +1/employee + 1/100 sq. ft. of water surface area for any swimming pool facilities
<b>Assembly Uses</b>	
Art galleries, libraries and museums	1/500 SF
Exhibition and convention facilities	1/100 SF
Meeting and events center	1/4 persons at max occupancy
Private clubs, fraternal lodges	1/3 persons at maximum occupancy
Religious institutions	1/4 seats
Theater	1/3 seats

OFF-STREET PARKING TABLE CONTINUED ON NEXT PAGE

Use	Minimum Number of Required Spaces
<b>Institutional</b>	
Child day care center	1/500 SF
College/university or vocational, private educational institution, business or trade school	1/each employee + 1/3 students
Elementary, junior high school	1/each employee
High school	1 each employee + 1/4 students aged 16 years or older
Hospital	1/500 SF + 0.5/ employee
Municipal and government buildings	1/250 SF
Nursing/rest homes	1/1,000 SF
Urgent medical care center/clinic	1/200 SF + 1/employee, including doctors
<b>Industrial</b>	
Cargo and freight terminals	
Cartage and express facilities	
Laboratories or research and development facilities	
Light manufacturing, fabricating, processing, assembly, repairing, storing, servicing or testing of materials, goods or products	1/250 SF of Office Space + 1/1,000 SF of Manufacturing Space + 1/2,000 SF of Warehouse Space
Research laboratories	
Warehouse and storage, distribution facilities	

OFF-STREET PARKING TABLE CONTINUED ON NEXT PAGE

Use	Minimum Number of Required Spaces
<b>Commercial</b>	
Automotive repair facility, service facility	0.5/employee + 2/service bay
Banks and financial Institutions	1/250 SF + 2 stacking spaces/ATM + 3 stacking spaces/drive-up service window
Car rental facilities	1/400 SF of gross leasable area + sufficient parking for rental cars
Catering establishment	
Office, business or professional	
Printing, publishing, blueprinting and photocopying establishments	1/250 SF
Radio and television stations	
Day spa	1/150 SF of gross leasable area
Dispensary organization	1/175 SF of office space + 1/2,000 SF of warehouse/storage space
Hotels	1/unit + 0.5/employee + 1/50 SF of lounge or dining area <b>open to the public</b>
Convenience store	
Drinking establishment	
Food store, including candy/confectionery stores, dairy products and bakeries	
Funeral home	
General retail and service use	
Pharmacy/drug store	1/200 SF
Liquor sales, package goods	
Musical instrument sales and repair shop	
Motor vehicle sales	
Pet shop	
Shopping center	
Performing and visual arts studios	1/employee + 1/every 3 students
Pet daycare, grooming and training	1/500 SF
Physician's office	1/employee + 2/examination room
Restaurants (fast food with drive-thru)	10/1,000 SF + 4 stacking spaces/drive-up service window + 2 stacking spaces for each additional ordering station
Restaurants (fast food)	13/1,000 SF
Restaurants (table service, convenience dining)	12/1,000 SF
Salon (hair, nails, makeup), barber shop	1/employee + 2/chair

Tutoring centers

1/employee + 1/every 3 students

Vehicle fueling station

1/fueling pump + 1/employee + 1/500 SF of convenience store area

END OF OFF-STREET PARKING TABLE

Off-Street Parking Chart

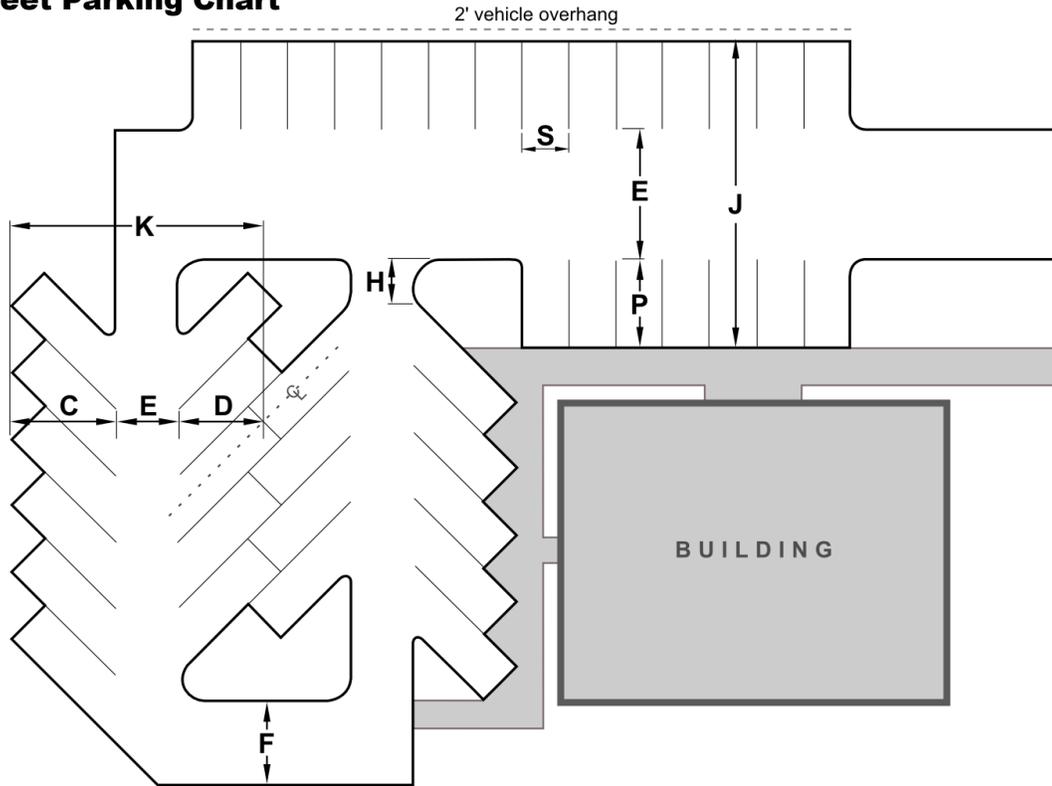


TABLE OF DIMENSIONS (IN FEET)

	S	P	C*	D	E	F	H	J	K*
0°	8.0	22.0	8.0	8.0	12.0			28.0	8.0
	8.0	24.0	8.0		11.0			27.0	8.0
	8.0	26.0	8.0	8.0	10.0			26.0	8.0
30°	8.5	19.0	16.9	13.2	10.0		6.0	43.8	40.1
	9.0	19.0	17.3	13.4	9.0		6.0	43.6	39.7
45°	8.5	19.0	19.4	16.4	10.8	15.5	9.5	49.6	46.6
	9.0	19.0	19.8	16.6	10.0	16.0	9.0	49.6	46.4
	9.5	19.0	20.1	16.7	9.5	16.5	8.5	49.7	46.3
	10.0	19.0	20.4	16.9	9.0	17.0	8.0	49.8	46.3
60°	8.5	19.0	20.8	18.7	18.0	15.0	12.5	59.6	57.5
	9.0	19.0	21.0	18.8	17.0	15.0	12.0	59.0	56.8
	9.5	19.0	21.3	18.9	15.5	15.0	11.5	58.1	55.7
	10.0	19.0	21.5	19.0	14.0	15.0	11.0	57.0	54.5
90°	8.5	19.0	19.0	19.0	27.0	20.0		65.0	65.0
	9.0	19.0	19.0	19.0	25.0	20.0		63.0	63.0
	9.5	19.0	19.0	19.0	24.0	20.0		63.0	62.0
	10.0	19.0	19.0	19.0	23.0	20.0		61.0	61.0

**Notes:**

$$J = C + E + C$$

$$K = C + E + D$$

\*Except as shorten for 2 ft. vehicle overhang per Section 6-11-2(A)(3).

### **6-11-3: Off-Street Loading Facilities**

#### **A. General Requirements**

1. **Location:** All required loading berths (docks) shall be located on the same zoning lot as the structure or use to be served. No loading berth shall be located within twenty five (25) feet of the nearest point of intersection of any two (2) public or private streets; nor shall it be located in a required front or side yard.
2. **Design**
  - a. **Maneuvering:** All loading berths shall be designed so that all maneuvering and standing of vehicles shall be performed on the zoning lot, except in parking lots with a capacity of less than fifty (50) cars in the O/lc, O/ld and M Districts.
  - b. **Screening:** All loading berths shall be fully screened from view of any public or private street and any adjacent property zoned for residential use. Screening materials shall consist of landscaping, walls, berms or any other permanent material which will provide continuous screening throughout the entire year.
  - c. **Access:** All loading berths shall be accessed by appropriate means of vehicular access to a street, alley, or circulation drives which least interferes with traffic movements.
3. **Surfacing:** All open loading berths shall be improved with a compacted macadam base not less than seven inches (7") thick, or equal, surfaced with not less than two inches (2") of asphaltic concrete or comparable all-weather, dustless material. The use of alternate paving surface materials, including but not limited to the use of light colored concrete, recycled asphalt, and permeable pavements such as porous pavement and alternate pavers is encouraged.
4. **Repair and Service:** Storage of any kind shall be prohibited, unless such loading berth is located entirely within an enclosed structure. No vehicle repair work or service of any kind shall be permitted within any loading berth.
5. **Space Allocated:** Space allocated to a required loading berth shall not be used to satisfy off-street parking space requirements.

- B. Specific Requirements:** Off-street loading facilities shall be provided in accordance with the following minimum requirements:

SEE OFF-STREET LOADING TABLE ON NEXT PAGE

Use	Gross Floor Area (Square Feet)	Number of Loading Facilities	Loading Berth Size
Office, business or professional	Less than 10,000	1 loading/unloading area	N/A
	10,001 – 100,000	1 loading berth	12' x 55'
	100,001 – 500,000	2 loading berths + 1 loading berth per each additional 500,000 SF or fraction in excess of 500,000 SF	12' x 55'
Industrial and manufacturing	Less than 7,000	1 loading/unloading area	N/A
	7,000 – 40,000	1 loading berth	12' x 55'
	40,001 – 100,000	2 loading berths + 1 loading berth per each additional 100,000 SF or fraction thereof	12' x 55'
Warehouse	5,000 – 40,000	1 loading berth	12' x 55'
	40,000 – 100,000	2 loading berths +1 loading berth per each additional 100,000 SF or fraction thereof	12' x 65'
	Less than 5,000	1 loading/unloading area	N/A
Commercial	7,000 – 20,000	1 loading berth	12' x 30'
	20,001 – 35,000	2 loading berths	12' x 30'
	35,001 – 60,000	2 loading berths	12' x 55'
	60,001 – 100,000	3 loading berths	12' x 55'
	100,001 +	3 loading berths + 1 loading berth per each 200,000 SF or fraction thereof	12' x 55'

**PUROHIT ARCHITECTS, INC****Architects & Planners**

2020 E. Algonquin Rd., Schaumburg, IL 60173

Tel: 847.202.8037 Cell: 847.757.1618

Email: info@purohitarchitects.com

[www.purohitarchitects.com](http://www.purohitarchitects.com)**COVER LETTER**

DATE: OCTOBER 08, 2019

<p><b>TO:</b> <b>Mayor Elizabeth Brandt and Board of Trustees</b></p> <p><u>Attn.: Mr. Ben Gilbertson,</u> Assistant Village Manager/ Community &amp; Economic Development Director One Olde Half Day Road, Lincolnshire, IL 60069</p> <p>Ph.: 847-913-2312 E-mail: bgilbertson@lincolnshire.gov</p>	<p><b>FOR:</b> <b>Home2 Suites by Hilton</b> 350 Knightsbridge Pkwy, Lincolnshire, IL</p> <p><b><u>PAI Project # 19112.00</u></b></p>
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**Re.: Mayor Brandt and Board of Trustees (October 15, 2019)**

Please accept this letter and supporting drawings and documents on behalf of the owner/ petitioner requesting a Special Use and Zoning Variances in O/lb district for the development of a 113 room "Home2 Suites by Hilton" with respect to the Subject property.

This letter repeats our initial application letter to Zoning Board and has additional information pertaining to the comments from our last meeting on August 12, 2019 Committee of the Whole meeting. The conditions for getting the approval from the board was pendent upon the issuance of an SMC permit and corresponding revisions to the appropriate plans- which have all been met. The design revisions have been listed towards the end of the this letter.

1. A special use is required per the ordinance for a Hotel Use in O/lb district.  
(Section 6-8-5 of the Lincolnshire Village Code)
2. Ownership would like to bring a contemporary Home2 Hotel to the Village to serve and benefit the local corporate and residential communities. Below reliefs are requested to incorporate the prototype room count, business viability concerns and the site constraints.

The following variations to the zoning code are requested for your consideration:

1. Building Height- 3 story – 45 Ft.: The prototype for a Home2Hotel is a 4-story building with 107 rooms. Our proposal is for a (4) story building with 113 rooms. A (3)-story hotel on this site would only accommodate approximately 80 rooms and would not be viable business model. A variance to the (3) story maximum height is requested to allow a (4) story building. The adjacent properties to the northwest, north, northeast, east and southeast all exceed the (3) story limit. See Site Key Plan with adjacent building info. (Section 6-8-9 of the Village Code)
2. Building Height- 45 Ft. The proposed building height to the top of the "White Beacon" (A branding and trademark feature of the franchise hotel that has a soft glow from external light source) is 51'-6". An approximately 14% additional to the allowable height is requested to accommodate the "Beacon light". Also, note the area of raised "Beacon" is about 3% only of the entire building footprint. Additionally, notwithstanding the beacon, the height of the building parapet is only 43'-6" and the height at the mechanical screen(s) shall be no more than 47'-10" above the finish grade. The variance in height is requested to allow the franchise's main feature, which in turn enhances the overall appearance while not increasing the building mass. (Section 6-8-9 of the Village Code)

3. Front Yard Setback 50 Ft. + 1' for each foot above 45'- The required street setback is 50' + 6'-6"= 56'-6". The variation from section 6-8-8 of the village code, to reduce the front yard setback from 56'-6" to 50'-0" is requested. Again, the variation is needed to accommodate the "Beacon" height- that is relatively small area compared to the entire building footprint. (Section 6-8-8 of the Village Code)
4. Rear yard landscape/ parking setback 15 Ft. A 5 ft. rear yard setback variance (i.e., a 10' setback) is requested to accommodate on the site circulation drive aisle and the required sidewalk. A second part of this request, is the elimination of the 8 Ft. wide foundation planting area along the south wall. Due to the nature of the building footprint and the exit stair(s) being at the both the north and the south ends of the building- an accessible path/ sidewalk is required. In addition, the drive aisle is needed for the fire department. (Section 6-11-2-B-4 of the Village Code)
5. Side yard landscape/ parking setback 15' Ft. - A 3 ft. variance (i.e., a 12' setback) is requested to the 15 Ft. side yard Landscape/ Parking setback to accommodate the landscape area, sidewalk & drive aisles. The brand requires exterior patios to enhance the outdoor connection- both the patios fall within along the sides of the building, and due to the nature of site width, the full extent of the side yard setback is not achievable. (Section 6-11-2-B-4 of the Village Code)

Along with the above variances, a request is made for- A text amendment to Section 6-11-2 of the Village code, to revise hotel parking requirements for the dining areas. The proposed calculations is 1/unit + 0.5/ employee + 1/50 SF of lounge or dining area ***open to the public*** (proposed language in ***bolded italics***).

**Design revisions based upon the SMC Permit are listed as follows:**

Site Plan:

SMC permit obtained and per the SMC request- swale south of wall has been revised to bioswale)

Landscape Plan:

Updated to incorporate the address the SMC requested changes. The changes were as follows and affected only the specifications sheet (native seed mix changes).

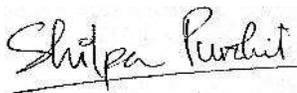
- a. Switch Grass has been removed
- b. Virginia Wild Rye has been substituted for Canada Rye
- c. Plugs have been added.

Architectural Plans:

Latest Plans that were submitted for building permit have been included. The design as was originally approved by the ARB, Zoning Board and the COW have been kept.

We respectfully ask for your support in letting us achieve this project. The ownership believes that this project will truly bring more value to the community. We also appreciate the support of everyone that has helped us in this process. We now look forward to the Village Board approval. Thank you.

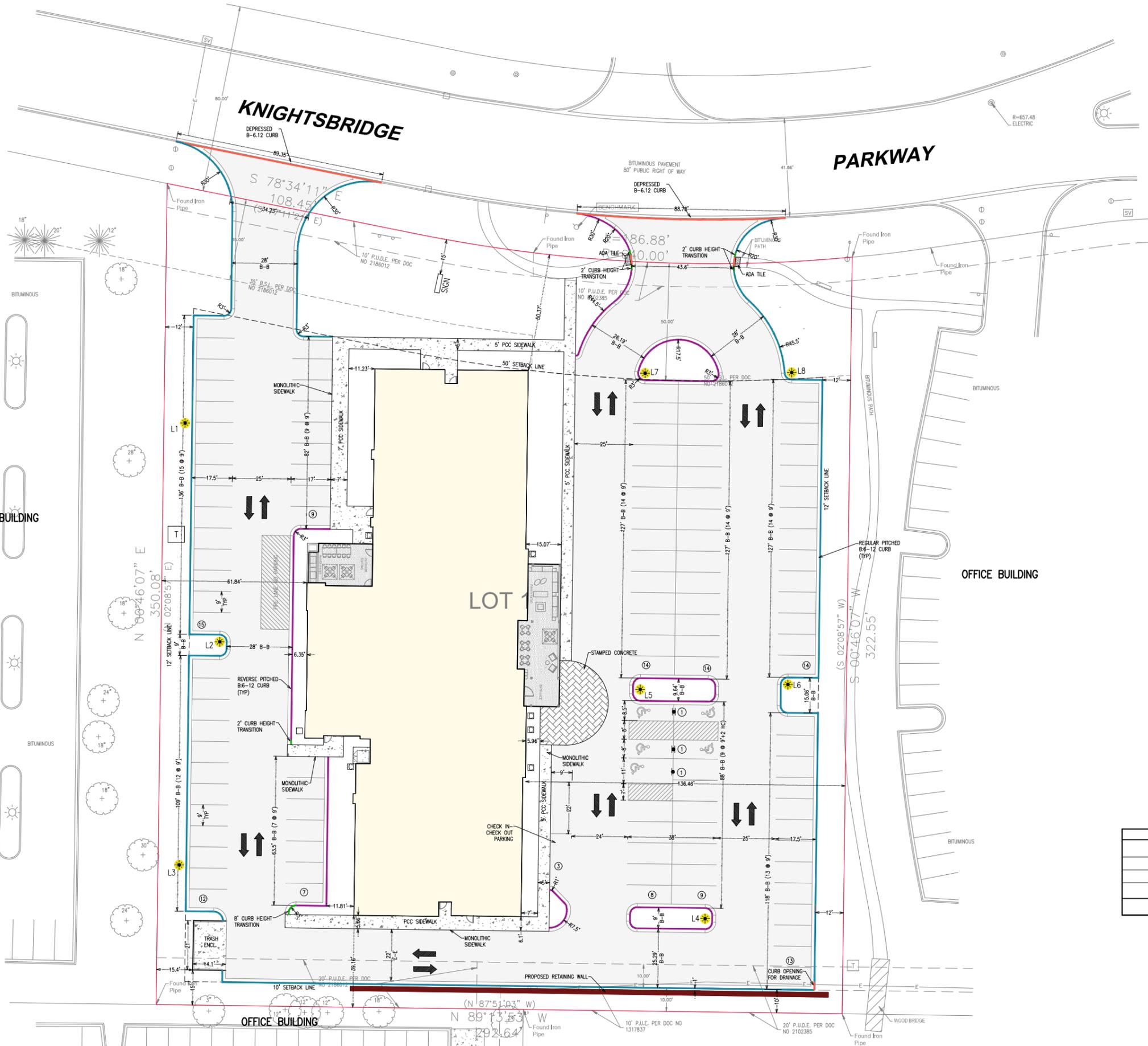
Sincerely,



Shilpa Purohit, *Project Architect*  
Purohit Architects, Inc.

Submitted on behalf of the Owner

KNIGHT BRIDGE PKY LLC  
700 BECKER RD, GLENVIEW, IL 60025



**CURB LEGEND (COLOR CODED):**

<span style="color: orange;">—</span>	DEPRESSED CURB OR CURB OPENING
<span style="color: green;">—</span>	TRANSITION CURB
<span style="color: blue;">—</span>	B-6-12 REGULAR PITCH C&G
<span style="color: purple;">—</span>	B-6-12 REVERSE PITCH C&G

- GEOMETRIC NOTES**
- ALL DIMENSIONS ARE TO BACK OF CURB OR OUTSIDE FACE OF BUILDING.
  - REFER TO LEGEND FOR PITCH OF CURB & GUTTER
  - ALL RADI ARE 3'-FT UNLESS NOTED OTHERWISE.
  - ALL PAVEMENT MARKINGS SHALL BE 4-INCH WHITE PAINT UNLESS NOTED OTHERWISE, OR AS PROVIDED FOR ON THE DETAILS.
  - THE CROSS SLOPE ON ALL SIDEWALKS SHALL NOT EXCEED 1.5%.
  - FOUNDATION, STAIR AND DOORWAY LOCATIONS SHOWN FOR REFERENCE ONLY. REFER TO PLANS BY ARCHITECT FOR EXACT DIMENSIONS AND LOCATIONS.

- SIGN LEGEND:**
- ① HANDICAP SIGN WITH FINE SIGN

**PARKING SUMMARY**

REGULAR PARKING STALLS	113
H.C. PARKING STALLS	5
TOTAL PARKING STALLS	118

**RUNOFF COEFFICIENT**

ITEM	AREA (AC)	C	A°C
IMPERVIOUS AREA	1.67	0.95	1.59
PERVIOUS AREA	0.54	0.30	0.16
TOTAL	2.21		1.75
C(COMP)			0.794

**REVISIONS**

NO.	DATE	REVISION
1.	04/08/19	RAISED PER VILLAGE
2.	05/29/19	RAISED PER VILLAGE
3.	07/01/19	DUMPSTER LOCATION REVISED
4.	07/29/19	REVISED PER ABE

**ADVANTAGE**  
CONSULTING ENGINEERS  
80 MAIN STREET, SUITE 17 - LEMONT, ILLINOIS 60439  
847-266-4758  
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**GEOMETRIC PLAN**  
HOME 2 HOTEL BY HILTON  
350 KNIGHTSBRIDGE PARKWAY  
LINCOLNSHIRE, IL

KNIGHT BRIDGE PARKWAY, LLC  
700 BECKER ROAD  
GLENVIEW, IL 60025

MARCH 1, 2019  
JOB: 18-040  
SHEET:  
**L1**  
5 OF 14



AUTUMN BLAZE MAPLE



SUGAR MAPLE



EXCLAMATION!  
LONDON PLANETREE



REDMOND  
AMERICAN LINDEN



REGAL SMOOTHLEAF ELM



WHITE FIR



FAIRVIEW JUNIPER



PRAIRIFIRE CRABAPPLE



AUTUMN BRILLIANCE SERVICEBERRY



IVORY SILK JAPANESE  
TREE LILAC



BLACK HILLS SPRUCE



COLORADO SPRUCE



MISSION ARBORVITAE



HOLMSTRUP ARBORVITAE



BAILEY'S REDTWIG  
DOGWOOD



YELLOW TWIG  
DOGWOOD



ENDLESS SUMMER  
HYDRANGEA



LITTLE HENRY VIRGINIA  
SWEETSPIRE



GRO-LOW SUMAC



JN CRANBERRY  
SELECT VIBURNUM



DWARF KOREAN LILAC



PEKING COTONEASTER

# PROPOSED PLANT PALETTE

HOME2 SUITES BY HILTON  
LINCOLNSHIRE, ILLINOIS

7/29/2019

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**ADVANTAGE**  
CONSULTING ENGINEERS

80 MAIN STREET - SUITE 17 - LEMONT, ILLINOIS 60439  
847-260-4758 www.aceng.us



GARY R. WEBER  
ASSOCIATES, INC.

LAND PLANNING  
ECOLOGICAL CONSULTING  
LANDSCAPE ARCHITECTURE  
402 WEST LIBERTY DRIVE  
WHEATON, ILLINOIS 60187  
PHONE: 630-668-7197



PJM RHODODENDRON



DENSE YEW



FEATHER REED GRASS



PRAIRIE DROPSEED



DWARF FOUNTAIN GRASS



KALLAY'S COMPACT  
PFITZER JUNIPER



DWARF MOUNTAIN PINE



GREEN SARGENT JUNIPER



BROOKSIDE GERANIUM



SUMMER BEAUTY ONION



HAPPY RETURNS DAYLILY



PATRIOT HOSTA



GOLDSTURM BLACK-EYED  
SUSAN



WALKER'S LOW CATMINT

# PROPOSED PLANT PALETTE

HOME2 SUITES BY HILTON  
LINCOLNSHIRE, ILLINOIS

7/29/2019

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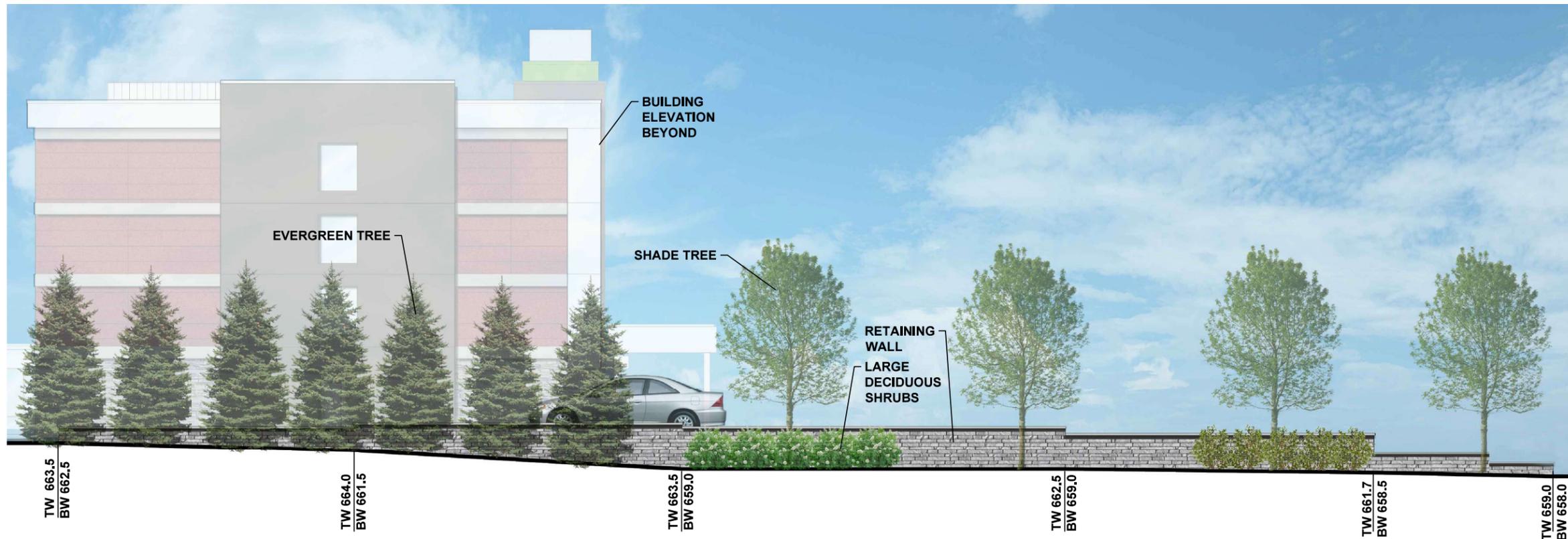
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847-260-4758 www.aeceng.us

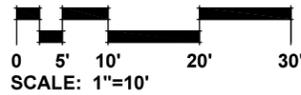


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ASSOCIATES, INC.

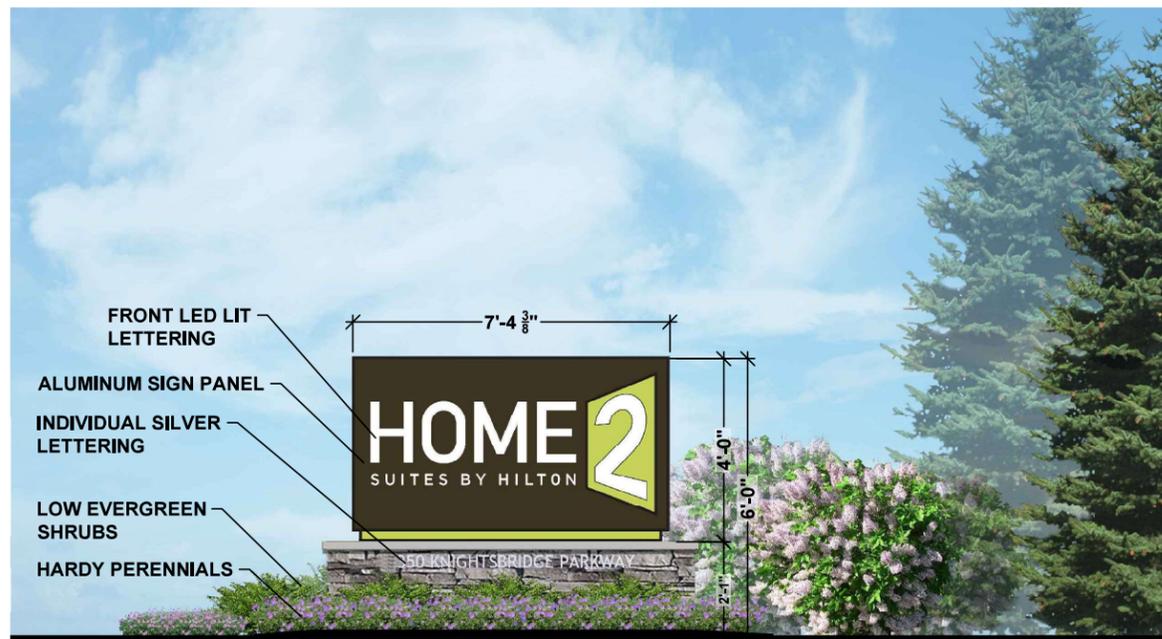
LAND PLANNING  
ECOLOGICAL CONSULTING  
LANDSCAPE ARCHITECTURE  
402 WEST LIBERTY DRIVE  
WHEATON, ILLINOIS 60187  
PHONE: 630-668-7197



**RETAINING WALL ELEVATION: FACING NORTH**



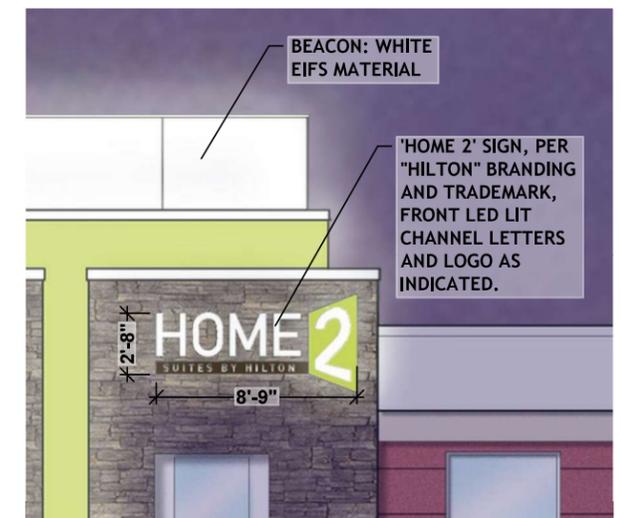
**WALL SIGN: DAY**  
SCALE: 1/8"=1'-0"



**GROUND SIGN: DAY**  
SCALE: 1/4"=1'-0"



**GROUND SIGN: NIGHT**  
SCALE: 1/4"=1'-0"



**WALL SIGN: NIGHT**  
SCALE: 1/8"=1'-0"



**SOUTH ELEVATION**  
SCALE: 1/8"=1'-0"



**NORTH ELEVATION**  
SCALE: 1/8"=1'-0"



**WEST ELEVATION**  
SCALE: NTS





**EAST ELEVATION**  
SCALE: 1/4"=1'-0"

EAST PATIO



**EAST PATIO**



**WEST PATIO**

# BUILDING ELEVATIONS & PATIO DETAILS

HOME2 SUITES BY HILTON  
LINCOLNSHIRE, ILLINOIS

7/29/2019

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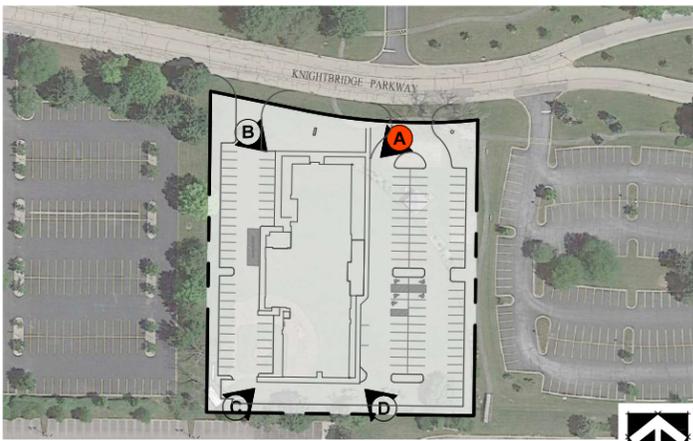
**ADVANTAGE**  
CONSULTING ENGINEERS

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LANDSCAPE ARCHITECTURE  
402 WEST LIBERTY DRIVE  
WHEATON, ILLINOIS 60187  
PHONE: 630-668-7197



LOCATOR KEY

SCALE: 1"=200'



**PERSPECTIVE VIEW A**  
 HOME2 SUITES BY HILTON  
 LINCOLNSHIRE, ILLINOIS

7/29/2019

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**ADVANTAGE**  
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 402 WEST LIBERTY DRIVE  
 WHEATON, ILLINOIS 60187  
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**PERSPECTIVE VIEW B**  
 HOME2 SUITES BY HILTON  
 LINCOLNSHIRE, ILLINOIS

7/29/2019

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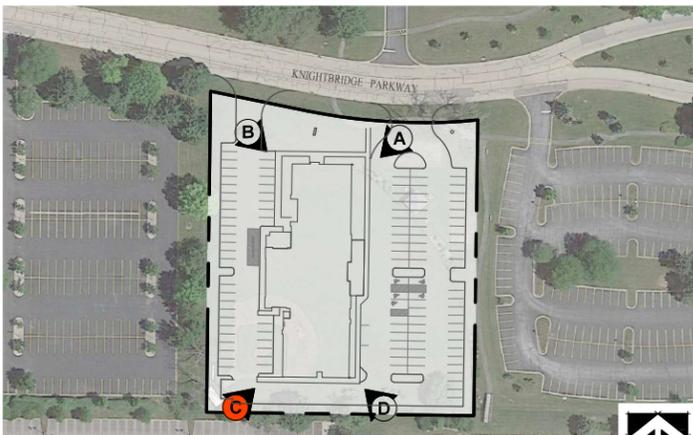
**ADVANTAGE**  
 CONSULTING ENGINEERS

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 LANDSCAPE ARCHITECTURE  
 402 WEST LIBERTY DRIVE  
 WHEATON, ILLINOIS 60187  
 PHONE: 630-668-7197



**LOCATOR KEY**  
SCALE: 1"=200'



**PERSPECTIVE VIEW C**  
HOME2 SUITES BY HILTON  
LINCOLNSHIRE, ILLINOIS

7/29/2019

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**ADVANTAGE**  
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**PERSPECTIVE VIEW D**  
 HOME2 SUITES BY HILTON  
 LINCOLNSHIRE, ILLINOIS

7/29/2019

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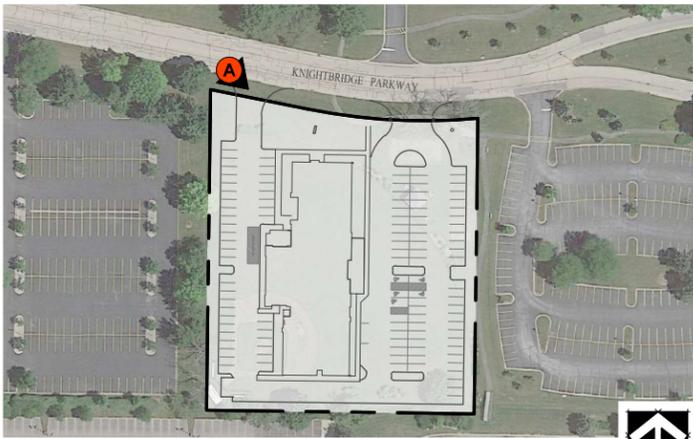
**ADVANTAGE**  
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**GARY R. WEBER**  
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LAND PLANNING  
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 LANDSCAPE ARCHITECTURE  
 402 WEST LIBERTY DRIVE  
 WHEATON, ILLINOIS 60187  
 PHONE: 630-668-7197



**LOCATOR KEY**  
SCALE: 1"=200'



**ENTRANCE LANDSCAPE VISTA**  
HOME2 SUITES BY HILTON  
LINCOLNSHIRE, ILLINOIS

7/29/2019

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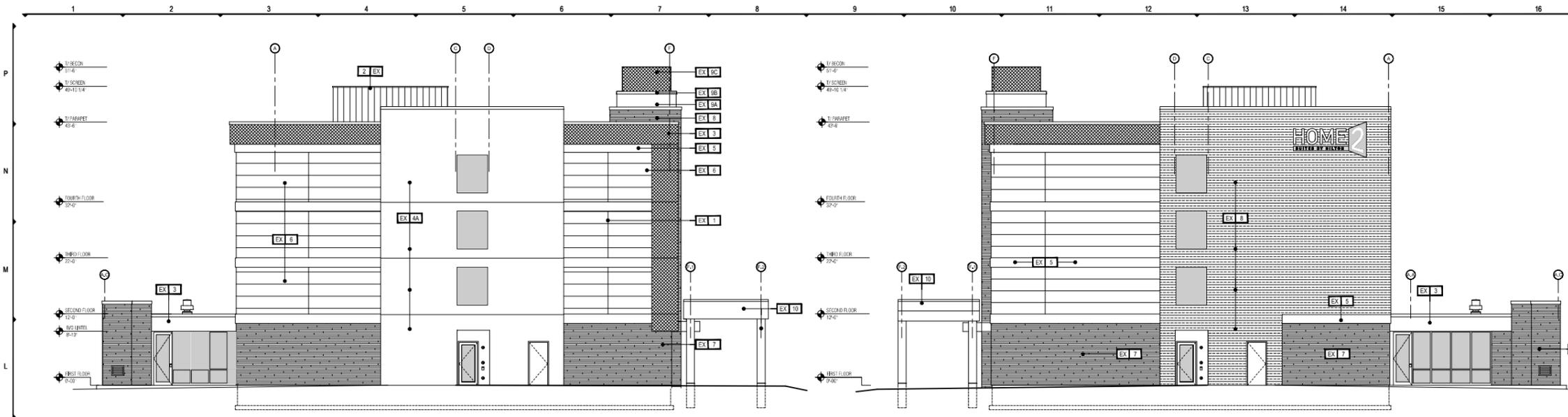
**ADVANTAGE**  
CONSULTING ENGINEERS

80 MAIN STREET - SUITE 17 - LEMONT, ILLINOIS 60439  
847-260-4758 www.aceng.us



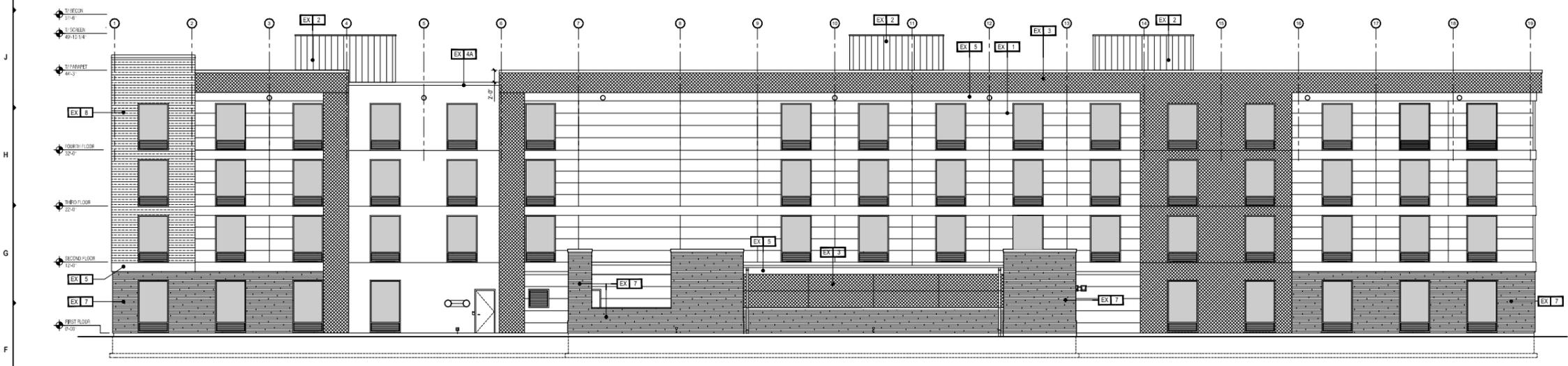
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PHONE: 630-668-7197

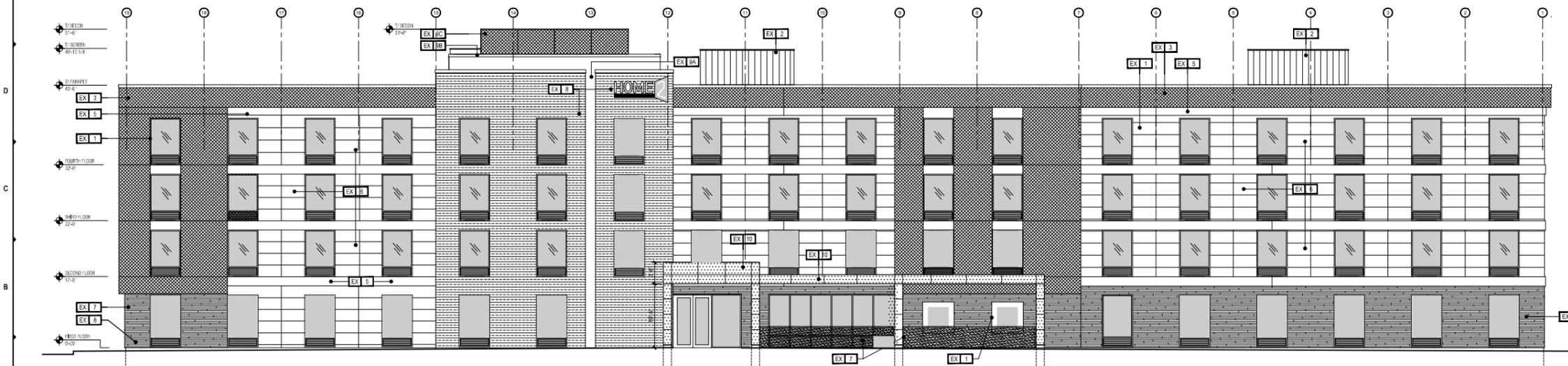


3 EXTERIOR ELEVATION- SOUTH  
A5.02 SCALE: 1/8" = 1'-0"

4 EXTERIOR ELEVATION- NORTH  
A5.02 SCALE: 1/8" = 1'-0"



2 EXTERIOR ELEVATION- WEST  
A5.02 SCALE: 1/8" = 1'-0"



1 EXTERIOR ELEVATION- EAST (MAIN ENTRY)  
A5.02 SCALE: 1/8" = 1'-0"

**ARCHITECTURAL ELEMENTS:**

**ENVELOPE: exterior skin**

**EX 1** ACCENT BAND: articulation  
Vertical 3D band proud of the CORE. Sufficient depth (2" min) to create distinct shadow line. No visible joints.  
MATERIAL: RECON: EFS  
MATERIAL: AT OTHER ELEVATIONS: EFS

**EX 2** ROOF SCREEN: Surrounding the rooftop units  
12" min. above the height of the equipment screened  
MATERIAL: Aluminum (White Color)

**EX 3** WRAP: wrapper  
Infield element set proud (1/2" min) from the CORE  
MATERIAL: EFS (White Color- Sand Finish- "Coyote"- 1611" by Benjamin Moore" or similar)

**EX 4** LINK: connection  
Here to break up large segments of the WRAP  
MATERIAL: EFS (Dark Brown Color- Sand Finish- "North Creek Brown" by Benjamin Moore" or similar)

**EX 5** KEEP: element of the BEACON (see below)

**EX 6** ACCENT BAND: articulation  
Vertical 3D band proud of the CORE. Sufficient depth (2" min) to create distinct shadow line. No visible joints.  
MATERIAL: EFS (Light Beige Color- Sand Finish- "Tucson Wood" by Benjamin Moore" or similar)

**EX 7** CORE: body  
Backdrop for layering of all other materials.  
MATERIAL: EFS (Terracotta Red- Sand Finish- "Tucson Red" by Benjamin Moore" or similar)

**EX 8** SUPPORT: base  
Material extends into the Lobby Area  
MATERIAL: STONE (Edwards Stone- European Ledge "Zac")  
MATERIAL: STONE (Dark Brown Color Stone)

**EX 9** BEACON WALL: accent wall carrying the "Sign Logic"  
MATERIAL: STONE (Dark Brown Color Stone)

**EX 10** CANOPY: overhead roof system  
Welcome zone at pedestrian entrance. Covered in front of doors. Infield in entry/plunge area. Hidden gutter system. Corrosion resistant. Gas-tight. Insulated. Decorative, non-slip surface (wooden deck board), matching the main finish under the CANOPY.  
MATERIAL: "TRESPASS" wall panel wrap cover at the steel tube columns and beams. Color: Olive Metallic  
MATERIAL: NATURAL WOOD AT TRELLIS (Medium Brown Color Wood)

**BEACON: iconic tower**

**EX 11** KEEP: foreground  
Placed on primary building entry elevation in conjunction with the port entrance and with clear visibility from the heritage road. Extends up beyond the WRAP. Background for primary building sign.  
EFS (Dark Brown Color- Sand Finish- "North Creek Brown" by Benjamin Moore" or similar)

**EX 12** REVEAL: vertical element extending through the KEEP  
(Green Color- Sand Finish- "Electric Silver" by Benjamin Moore" or similar)

**EX 13** BAND: horizontal element capping the reveal  
(Metal Coping)

**EX 14** EFS DOWN: masonry element resting on the BAND.  
Intended to be visible from the site beyond. Light brown on it from top of the roof, for a slight glow. (White color)

**PROTOTYPICAL MATERIALS:**

**SUPPORT**  
Material: Building material: authentic and substantial material with clean crisp lines such as tile, cast stone, stone, decorative masonry units (smu) or brick.  
Color: Light to Medium value, natural inherent in the material.  
Texture: Smooth-like, ground finish, both honed or smooth.  
Contrast: High textural contrast to WRAP and ACCENT BAND. Medium color contrast to all other elements. High material contrast to all other elements.

**CORE**  
Material: Building material with strong directionality and high relief to create shade and shadow such as textured EFS, stone, brick, wood slat, cement fiber board or composite metal.  
Color: Medium value, 40-60% value, earth toned, painted or natural depending on material.  
Texture: Medium to coarse texture.  
Contrast: High textural contrast to WRAP and ACCENT BAND. Medium to High contrast to WRAP and ACCENT BAND. Low to medium material contrast to WRAP and ACCENT BAND.

**WRAP**  
Material: Building material with a minimal amount of joints and connections and a smooth finish such as EFS, stucco or metal panels.  
Color: Light to medium value, painted.  
Texture: Smooth or Fine finish.  
Contrast: Low textural contrast to SUPPORT. Medium to High textural contrast to CORE. Low to High contrast to SUPPORT and ACCENT BAND. Low to High material contrast to CORE.

**LINK & KEEP**  
Material: Building material with a strong horizontal direction and high relief to create shade and shadow. Smooth finish material: EFS and stone. Strong horizontal material: brick, wood, cement fiber board or metal.  
Color: Medium to Dark value, painted or natural depending on material.  
Texture: Smooth to Coarse.  
Contrast: Low to High textural contrast to WRAP and ACCENT BAND. High color contrast to WRAP. Low to High material contrast to WRAP.

**ACCENT BAND**  
Material: Building material with a minimum amount of joints and connections and smooth finish ACCENT BAND and the BEACON elevation must always be metal. ACCENT BAND on other elevations must be metallic finish: EFS or Stucco.  
Color: Light to Dark value. Color must match or complement window and door frames throughout the design.  
Texture: Smooth or Fine finish.  
Contrast: Low textural contrast to WRAP. Medium to High color contrast to WRAP and CORE. Low material contrast to WRAP. Low to High material contrast to CORE.

**CANOPY**  
Material: Must be durable material such as metal. The overhead of soffits or mells must be gloss, natural wood. Smooth joints with no exposed fasteners.  
Color: High visual contrast to the other building elements. Off white or light grey preferred. Dark or metallic grey acceptable.  
Texture: Smooth, painted finish.

**ADDITIONAL EXTERIOR ELEMENTS:**

**ROOFTOP EQUIPMENT**  
Rooftop Equipment must be screened and must not cast any shadow from below. The screening materials must match the paint color of the WRAP.

**ANCILLARY BUILDINGS**  
Ancillary Buildings must be minimal structures created to screen the garden storage and waste area. They must be finished and painted to match the CORE material of the building.

**WINDOWS**  
Windows must be standard aluminum storefront, thermally broken, with clear glass glazing with a factory painted finish. Louvers for fire and HVAC units must be integrated with windows and provided by window manufacturer.

**LIGHTING**  
Lighting must be provided to highlight the KEEP, entry and exterior gathering areas, patio, and outdoor lounge. Light levels must be low to medium contrast to avoid harsh shadows and not intrude into adjacent parcels. Floodlighting the entire building with light is not permitted. Refer to the Home2 Lighting Standards for correct foot candle requirements.

**PAVING**  
Paving is required to highlight the entry and gathering areas. Color must enhance earth tones and contrast drive and walk. Textures must be distinctive, yet smooth enough for comfortable use by guests.

**SIGNAGE**  
1) primary building sign on the most prominent elevation, and 1) prominent sign marking the entry to the property. Building sign must show the Home2 Suites by Hilton brand logo in its entirety and be clearly visible to the street at night. For material and finish details, please refer to the Home2 Global Sign Manual.

**BUILDING SIGNAGE:**

ALL SIGNAGE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. SIGNAGE CONTRACTOR TO SUBMIT SIGNAGE SHOP DRAWINGS TO THE VILLAGE FOR SIGNAGE PERMIT.

MINIMUM 3/4" PLYWOOD BACKBOARD REQUIRED AT SIGN LOCATIONS. AREA SHOULD COVER ENTIRE LENGTH AND HEIGHT OF FACIA OR SPACE AVAILABLE FOR SIGN.

ELECTRICAL AND FINAL CONNECTION BY CONTRACTOR. ELECTRICAL REQUIREMENTS MAY BE OBTAINED FROM SIGN COMPANY. TYPICAL 120V REQUIREMENT.

RACEWAYS WIREWAYS ARE NOT ALLOWED.

PERMANENT ACCESS DOORS TO INTERIOR OF ALL PARAPETS WHERE SIGNS ARE LOCATED TO BE PROVIDED BY CONTRACTOR. CONTRACTOR TO FURNISH AND CONNECT PRIMARY ELECTRICAL SERVICE INSIDE PARAPET WALL.

GUESTROOMS OR PUBLIC SPACES WITH SIGNAGE ON EXTERIOR WALLS MUST HAVE ELECTRICAL PENETRATIONS AND GRILL INSTALLED PRIOR TO CLOSING UP THE WALL. PENETRATION LAYOUT MAY BE OBTAINED FROM SIGN COMPANY.



DO NOT SCALE THE DRAWINGS. PUROHIT ARCHITECTS, INC. ASSUMES NO RESPONSIBILITY FOR USE OF INCOMPLETE SCALE. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS. PRIOR TO PROCEEDING WITH CONSTRUCTION, IN THE EVENT THAT THE CONTRACTOR DISCOVERS ANY BREACH, OMISSION OR CONFLICT OF ANY KIND IN THE DRAWINGS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER OR THE ARCHITECT AND SEEK CORRECTIONS OR INTERESTS FOR THESE PRIOR TO STARTING THE AFFECTED WORK.

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**IPA**  
**PUROHIT ARCHITECTS**  
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Schaumburg, IL 60173  
Tel. (847) 220-8037  
Cell. (847) 757-1618  
www.purohitarchitects.com  
shippa@purohitarchitects.com

*Home2 Hotel by Hilton*  
350 Knightsbridge Parkway  
Lincolnshire, IL 60069

**ISSUE INFORMATION**

VERSION 2.2  
REVISIONS

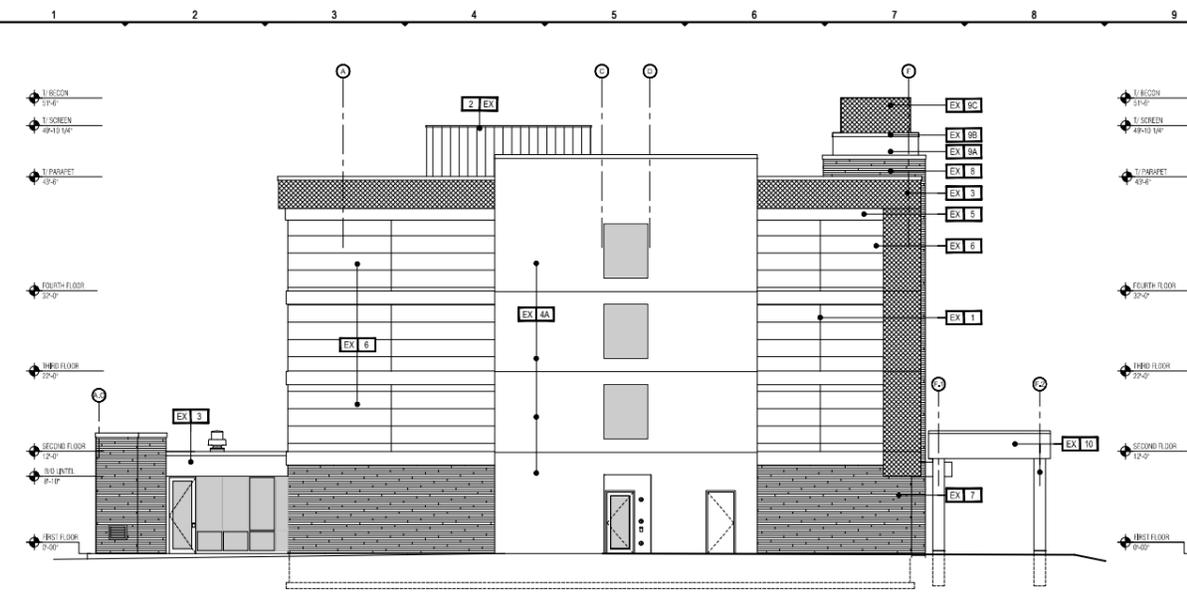
02/25/2019	25% Preliminary Plans- Hilton
03/06/2019	DRT submission to Village
04/09/2019	DRT submission to Village
06/07/2019	50% Design Dev - Hilton
06/12/2019	ARB submission to Village
06/18/2019	ARB Meeting
07/05/2019	ARB Re-submission to Village
08/15/2019	Progress Draft Set- Client
08/27/2019	Issued for Permit

**SHEET INFORMATION**

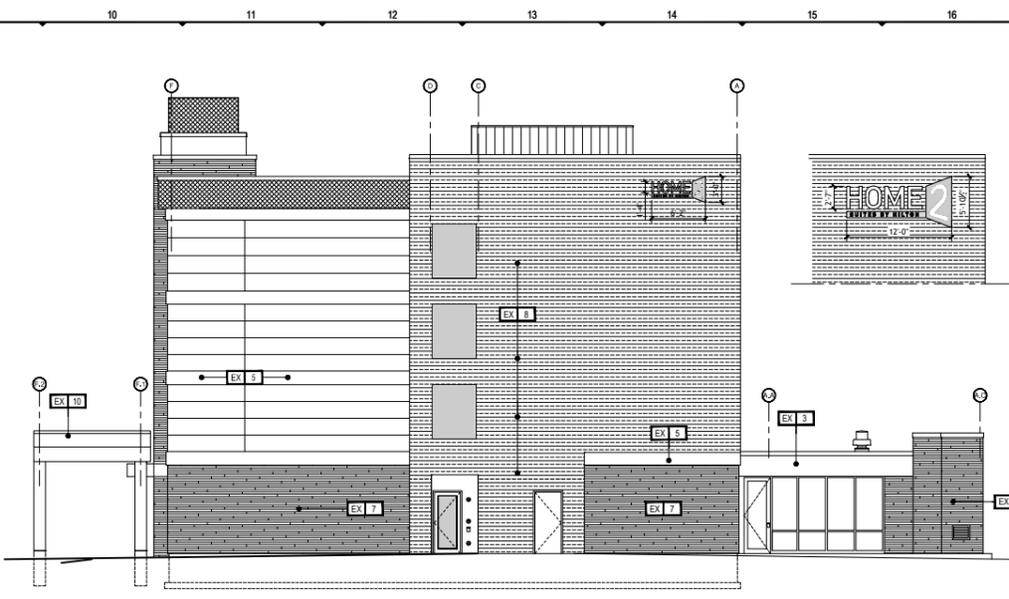
EXTERIOR ELEVATIONS-  
SIGNATURE  
ARCHITECTURAL  
ELEMENTS

PAI # 19112.00

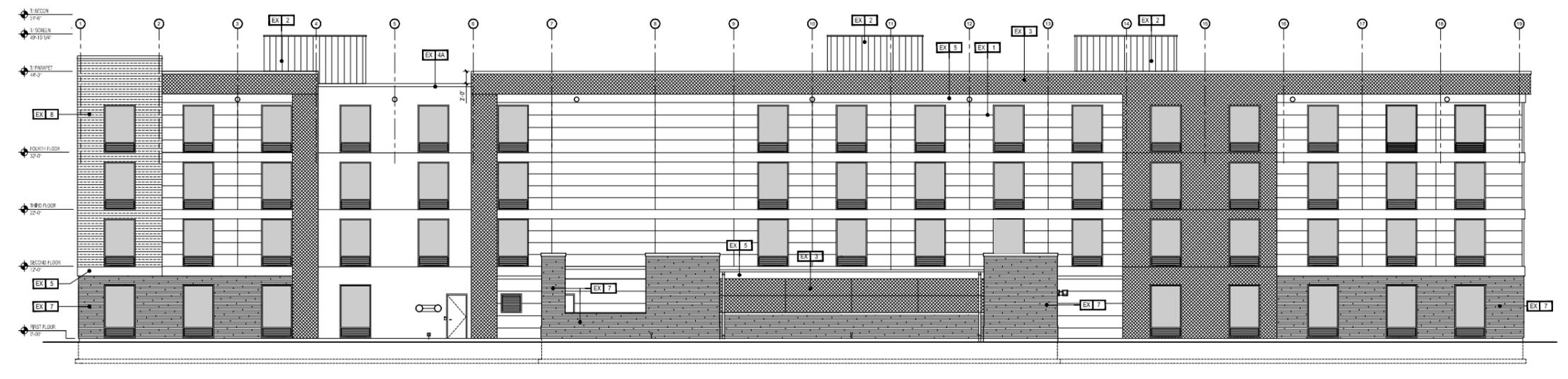
**A5.02**



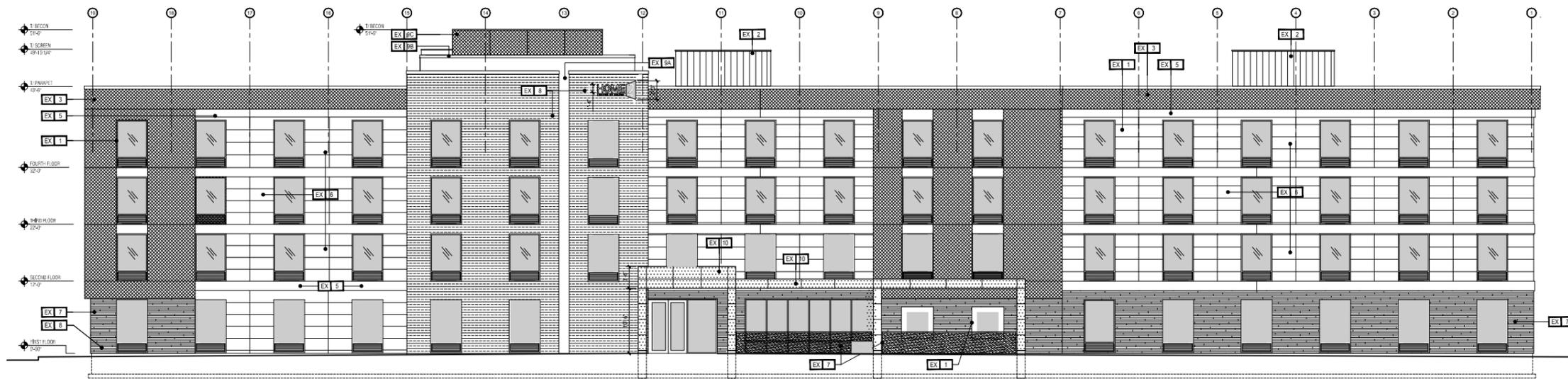
3 EXTERIOR ELEVATION- SOUTH  
A5.02 SCALE: 1/8" = 1'-0"



4 EXTERIOR ELEVATION- NORTH  
A5.02 SCALE: 1/8" = 1'-0"



2 EXTERIOR ELEVATION- WEST  
A5.02 SCALE: 1/8" = 1'-0"



1 EXTERIOR ELEVATION- EAST (MAIN ENTRY)  
A5.02 SCALE: 1/8" = 1'-0"

**ARCHITECTURAL ELEMENTS:**

**ENVELOPE: exterior skin**

**EX 1** ACCENT BAND: articulation  
Vertical 3D base panel of the CORE. Sufficient depth (2" min) to create distinct shadow line. No visible joints.  
MATERIAL: RECON EFS

**EX 2** ROOF SCREEN: Surrounding the rooftop units  
2' min. above the height of the equipment screened.  
MATERIAL: Aluminum (White Color)

**EX 3** WRAP: wrapper  
Vertical element set proud (1/2" min) from the CORE.  
MATERIAL: EFS (White Color- Sand Finish- "Coyote-1611" by Benjamin Moore" or similar)

**EX 4** LINK: connection  
Here to break up large segments of the WRAP.  
MATERIAL: EFS (Dark Brown Color- Sand Finish- "North Creek Brown" by Benjamin Moore" or similar)

**EX 5** ACCENT BAND: articulation  
Horizontal 3D base panel of the CORE. Sufficient depth (2" min) to create distinct shadow line. No visible joints.  
MATERIAL: EFS (Light Sage Color- Sand Finish- "Tucson Wood" by Benjamin Moore" or similar)

**EX 6** CORE: body  
Backdrop for layering of all other materials.  
MATERIAL: EFS (Tennessee Blue- Sand Finish- "Tucson Reef" by Benjamin Moore" or similar)

**EX 7** SUPPORT: base  
Material extends into the Lobby Area.  
MATERIAL: STONE (Edwards Stone- European Ledge- 2x4")

**EX 8** REACON WALL: accent wall carrying the "Sign Logo"  
MATERIAL: STONE (Dark Brown Color Stone)

**EX 9** CANOPY: covered roof system  
Welcome zone at pedestrian entrance. Covered in front of doors. Installed in existing garage area. Hidden gutter system, recessed panel. Sunshower features. Decorative, no-4x6 surface (wooden bead board), matching the main finish under the CANOPY.  
MATERIAL: "TRESPASS" wall panel wrap cover at the steel tube columns and beams. Color: Silver Metallic  
MATERIAL: NATURAL WOOD AT TRELLIS (Medium Brown Color Wood)

**BEACON: iconic tower**

**EX 10** KEEP: horizontal  
Placed on primary building entry elevation in conjunction with the port entrance and with clear visibility from the heritage road. Extends up beyond the WRAP. Background by primary building sign.  
EFS (Dark Brown Color- Sand Finish- "North Creek Brown" by Benjamin Moore" or similar)

**EX 11** REVEAL: vertical element extending through the KEEP  
(Green Color- Sand Finish- "Electric Silver" by Benjamin Moore" or similar)

**EX 12** BAND: horizontal element capping the reveal  
(Metal Coping)

**EX 13** EFS DOWN: masonry element resting on the BAND.  
Intended to be visible from the site beyond. Light brown on it from top of the roof, for a slight glow. (White color)

**PROTOTYPICAL MATERIALS:**

**SUPPORT**  
Material: Building material authentic and substantial material with clean sharp lines such as tile, cast stone, stone decorative masonry units (cmu) or brick.  
Color: Light to Medium value, natural inherent in the material.  
Texture: Smooth-to fine finish. Subtle horizontal material, brick, wood, cement fiber board or metal.  
Contrast: High textural contrast to WRAP and ACCENT BAND. Medium color contrast to all other elements. High material contrast to all other elements.

**CORE**  
Material: Building material with a strong directional and high relief to create shade and shadow such as textured EFS, stone, brick, wood siding, cement fiber board or composite metal.  
Color: Medium value, 40-60% value, earth toned, painted or natural depending on material.  
Texture: Medium to coarse texture.  
Contrast: High textural contrast to WRAP and ACCENT BAND. Medium to High textural contrast to WRAP and ACCENT BAND. Low to medium material contrast to WRAP and ACCENT BAND.

**WRAP**  
Material: Building material with a minimal amount of joints and connections and a smooth finish such as EFS, stucco or metal panels.  
Color: Light to medium value, painted.  
Texture: Smooth to fine finish.  
Contrast: Low textural contrast to SUPPORT. Medium to high textural contrast to CORE. Low to high contrast to SUPPORT and ACCENT BAND. Low to high material contrast to CORE.

**LINK & KEEP**  
Material: Building material with a strong horizontal direction and high relief to create shade and shadow. Smooth finish material EFS and stone. Strong horizontal material, brick, wood, cement fiber board or metal.  
Color: Medium to Dark value, painted or natural depending on material.  
Texture: Smooth to Coarse.  
Contrast: Low to High textural contrast to WRAP and ACCENT BAND. High color contrast to WRAP. Low to High material contrast to WRAP.

**ACCENT BAND**  
Material: Building material with a minimum amount of joints and connections and smooth finish ACCENT BAND and the BEACON elevation must always be metal. ACCENT BAND on other elevations must be metallic finish, EFS or Stucco.  
Color: Light to Dark value. Color must match or complement window and door frames throughout the design.  
Texture: Smooth to Fine finish.  
Contrast: Low textural contrast to WRAP. Medium to High color contrast to WRAP and CORE. Low material contrast to WRAP. Low to High material contrast to CORE.

**CANOPY**  
Material: Must be durable material such as metal. The overhead of soffits or walls must be smooth, natural wood. Smooth joints with no exposed fasteners.  
Color: High visual contrast to the other building elements. Off white or light gray preferred. Dark or metallic gray acceptable.  
Texture: Smooth, painted finish.

**ADDITIONAL EXTERIOR ELEMENTS:**

**ROOFTOP EQUIPMENT**  
Rooftop Equipment must be screened and must not cast any shadows from below. The screening materials must match the paint color of the WRAP.

**ANCILLARY BUILDINGS**  
Ancillary Buildings must be minimal structures created to screen the garden storage and waste sheds. They must be finished and painted to match the CORE material of the building.

**WINDOWS**  
Windows must be standard aluminum storefront, thermally broken, with clear glass glazing with a factory painted finish. Louvers for Box wall HVAC units must be integrated with windows and provided by window manufacturer.

**LIGHTING**  
Lighting must be provided to highlight the KEEP, entry and exterior gathering areas, patio, and outdoor lounge. Light levels must be low to medium contrast to avoid harsh shadows and not intrude into adjacent parcels. Floodlighting the entire building with light is not permitted. Refer to the Home2 Lighting Standards for correct foot candle requirements.

**PAVING**  
Paving is required to highlight the entry and gathering areas. Color must reference earth tones and contrast drives and walks. Textures must be distinctive, yet smooth enough for comfortable use by guests.

**SIGNAGE**  
1) primary building sign on the most prominent elevation, and 1) monument sign marking the entry to the property. Building sign must show the Home2 Suites by Hilton brand logo in its entry and be clearly illuminated for visibility at night. For material and finish details, please refer to the Home2 Global Sign Manual.

**BUILDING SIGNAGE:**

ALL SIGNAGE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. SIGNAGE CONTRACTOR TO SUBMIT SIGNAGE SHOP DRAWINGS TO THE VILLAGE FOR SIGNAGE PERMIT.

MINIMUM 3/4" PLYWOOD BACKSHEED REQUIRED AT SIGN LOCATIONS. AREA SHOULD COVER ENTIRE LENGTH AND HEIGHT OF FACIA OR SPACE AVAILABLE FOR SIGN.

ELECTRICAL AND FINAL CONNECTION BY CONTRACTOR. ELECTRICAL REQUIREMENTS MAY BE OBTAINED FROM SIGN COMPANY. TYPICAL 120V REQUIREMENT.

RACEWAYS WIREWAYS ARE NOT ALLOWED.

PERMANENT ACCESS DOORS TO INTERIOR OF ALL PARAPETS WHERE SIGNS ARE LOCATED TO BE PROVIDED BY CONTRACTOR. CONTRACTOR TO FINISH AND CONNECT PRIMARY ELECTRICAL SERVICE INSIDE PARAPET WALL.

GUESTROOMS OR PUBLIC SPACES WITH SIGNAGE ON EXTERIOR WALLS MUST HAVE ELECTRICAL PENETRATIONS AND GRILL INSTALLED PRIOR TO CLOSING UP THE WALL. PENETRATION LAYOUT MAY BE OBTAINED FROM SIGN COMPANY.

**HOME 2 SUITES BY HILTON**

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**IPA PUROHIT ARCHITECTS**  
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*Home2 Hotel by Hilton*  
350 Knightsbridge Parkway  
Lincolnshire, IL 60069

**ISSUE INFORMATION**

VERSION 2.2 REVISIONS

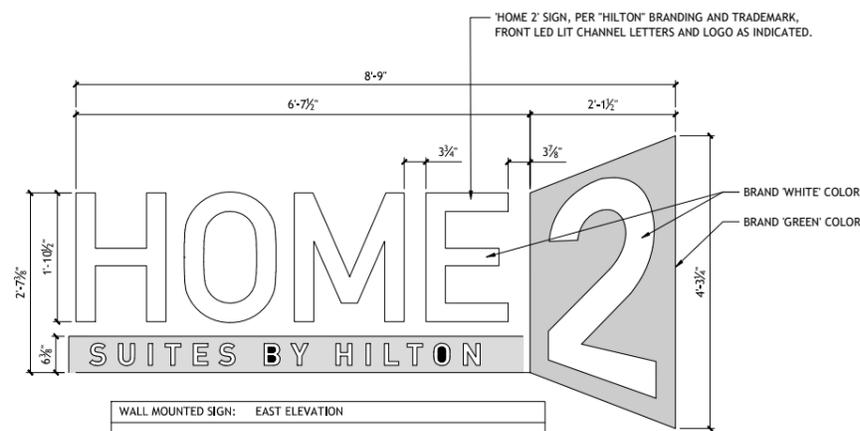
02/25/2019	25% Preliminary Plans - Hilton
03/06/2019	DRT submission to Village
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08/15/2019	Progress Draft Set- Client
08/27/2019	Issued for Permit

**SHEET INFORMATION**

EXTERIOR ELEVATIONS- SIGNATURE ARCHITECTURAL ELEMENTS

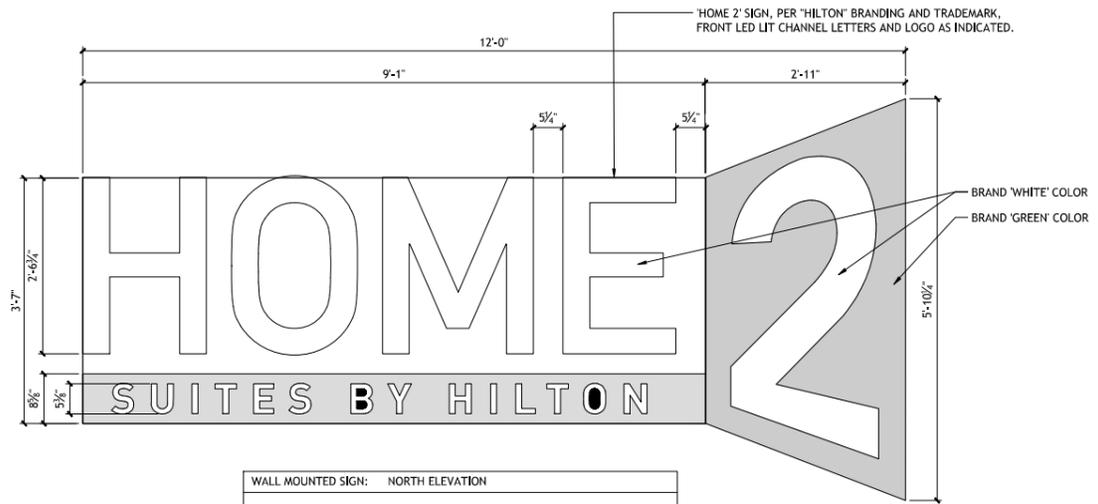
PAI # 19112.00

**A5.02**



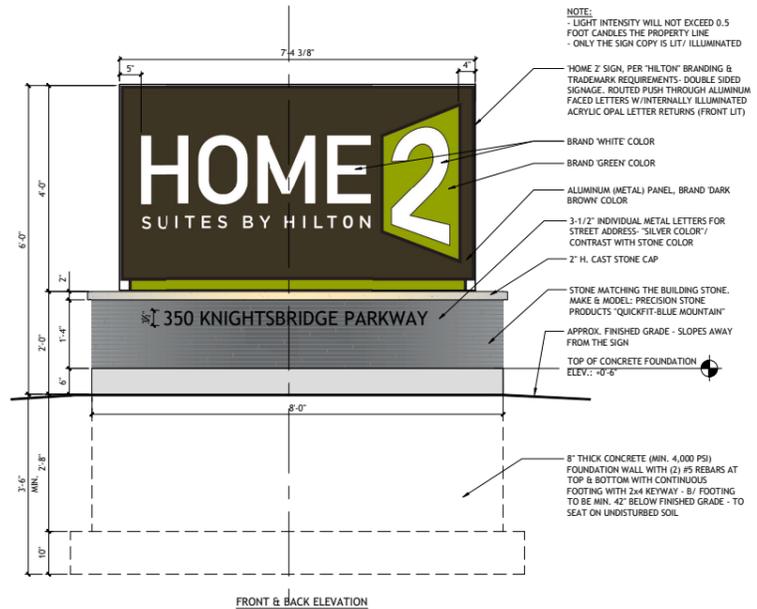
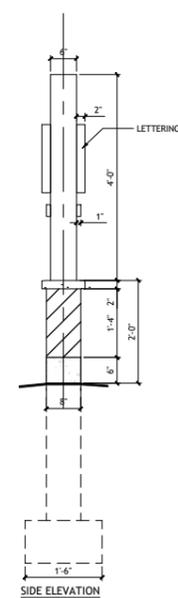
WALL MOUNTED SIGN:	EAST ELEVATION
SIGN TYPE:	FRONT LIT INTERNALLY ILLUMINATED CHANNEL LETTERS WITH L.E.D. LIGHT
BUILDING FACADE AREA:	10,400 SF
SIGN AREA:	6'-8" x 2'-8" = 17.72 SQ. FT. 2'-2" x 4'-4" = 9.38 SQ. FT.
TOTAL SIGN AREA:	27.10 SQ. FT. (0.26 % OF EAST ELEVATION)
MOUNTING HEIGHT (BOTTOM OF SIGN):	40'-6" ± ABOVE GRADE

1C WALL SIGN DETAIL - EAST ELEVATION  
SCALE: 1" = 1'-0"

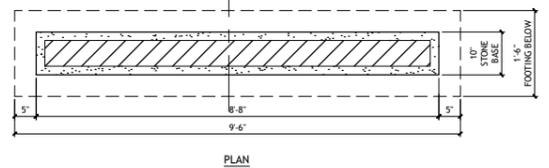


WALL MOUNTED SIGN:	NORTH ELEVATION
SIGN TYPE:	FRONT LIT INTERNALLY ILLUMINATED CHANNEL LETTERS WITH L.E.D. LIGHT.
BUILDING FACADE AREA:	2,940 SF
SIGN AREA:	9'-1" x 3'-7" = 33.55 SQ. FT. 2'-11" x 5'-10" = 17.11 SQ. FT.
TOTAL SIGN AREA:	50.66 SQ. FT. (1.72% OF NORTH ELEVATION)
MOUNTING HEIGHT (BOTTOM OF SIGN):	37'-6" ± ABOVE GRADE

1B WALL SIGN DETAIL - NORTH ELEVATION  
SCALE: 1" = 1'-0"



GROUND SIGN:	SEE SITE PLAN FOR LOCATION
SIGN TYPE:	ROUTED PUSH THROUGH LETTERS INTERNALLY ILLUMINATED WITH L.E.D. LIGHT (BACK LITE/ HALO)
SIGN AREA:	BASE: 8'-0" X 2'-0" = 16'-0" S.F. PANEL: 7'-0" X 4'-0" = 28'-0" S.F. OVERALL SIGN AREA = 44'-0" S.F.



1A GROUND SIGN DETAIL  
SCALE: 3/4" = 1'-0"

NOTE FOR THE LIGHT BULBS COLOR TEMPERATURE IN TERMS OF KELVIN "K-VALUE" USED IN EXTERIOR LIGHTS:  
"K" VALUE OF ALL THE LIGHT/BULBS USED AT BOTH WALL SIGNS, GROUND SIGNS, ALL BUILDING MOUNTED EXTERIOR LIGHTS AND THE GLASS REASON SHOULD BE SAME.



DO NOT SCALE THE DRAWINGS. PUNOHT ARCHITECTS, INC. ASSUME NO RESPONSIBILITY FOR USE OF INCORRECT SCALE. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND THAT THE CONTRACTOR DISCOVERS ANY ERROR, OMISSION OR CONFLICT AS TO THE INTENT OF THE CONTRACT DOCUMENTS WITH REGARD TO THE PROPER EXECUTION AND CORRECTION OF THE WORK. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER OR THE ARCHITECT AND SEEK CORRECTION OR INTERPRETATION THEREOF PRIOR TO STARTING THE AFFECTED WORK.

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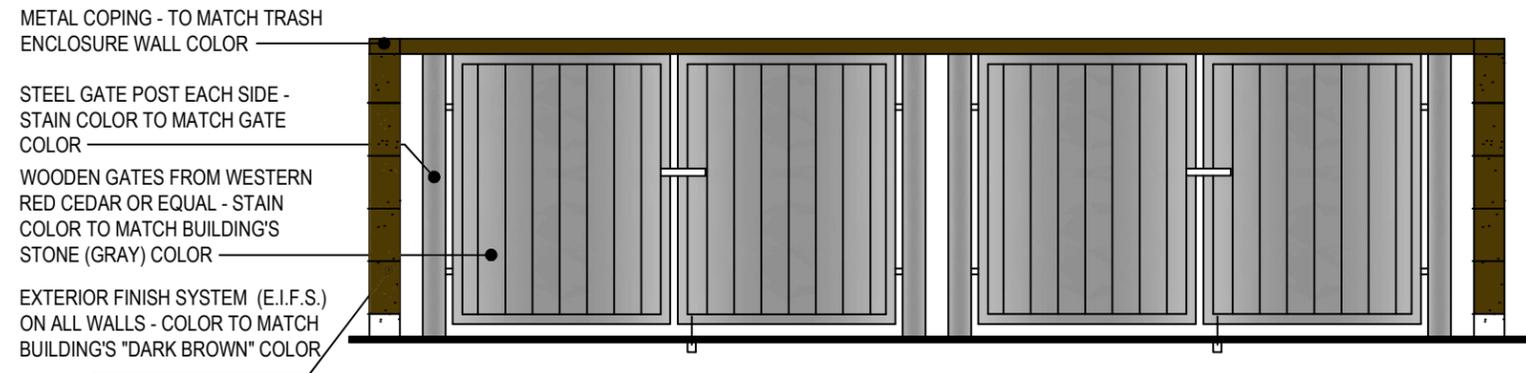


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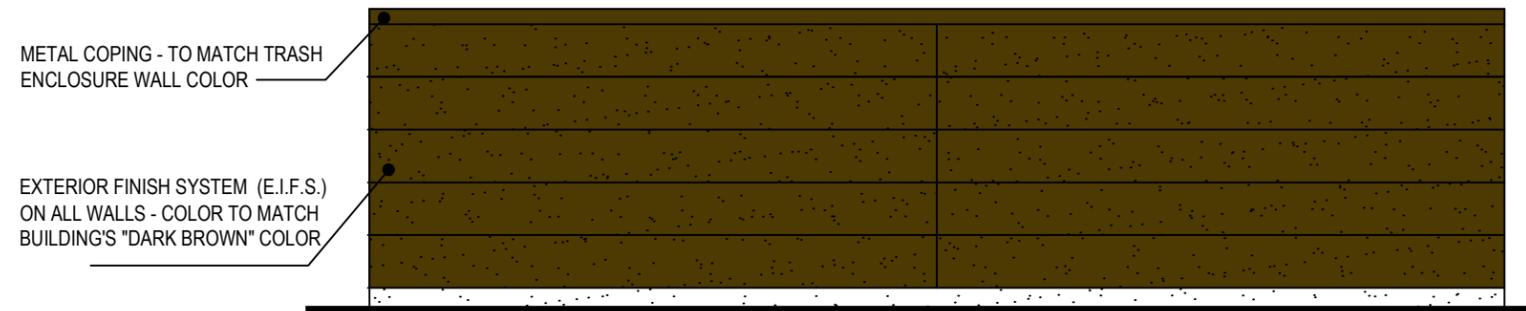
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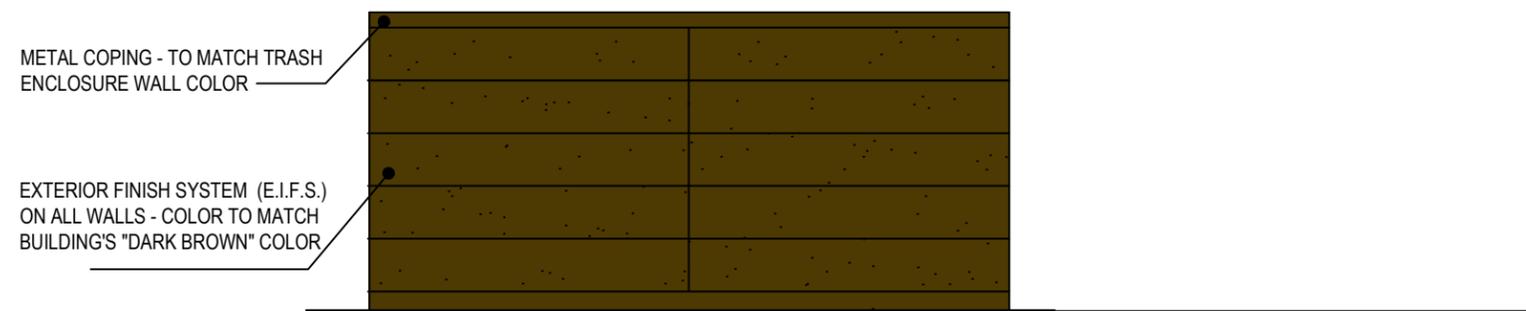
SHEET INFORMATION	
SIGNAGE DETAILS	
PAI # 19112.00	
A0.04	



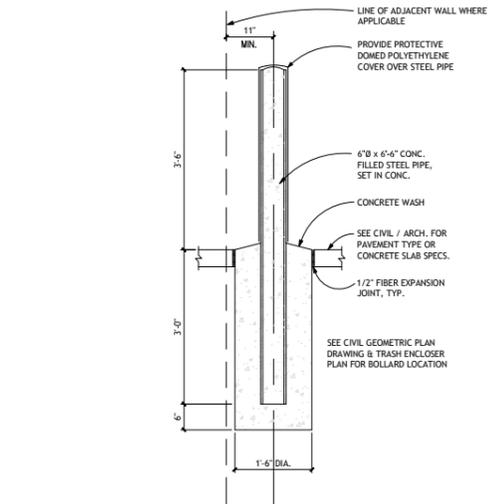
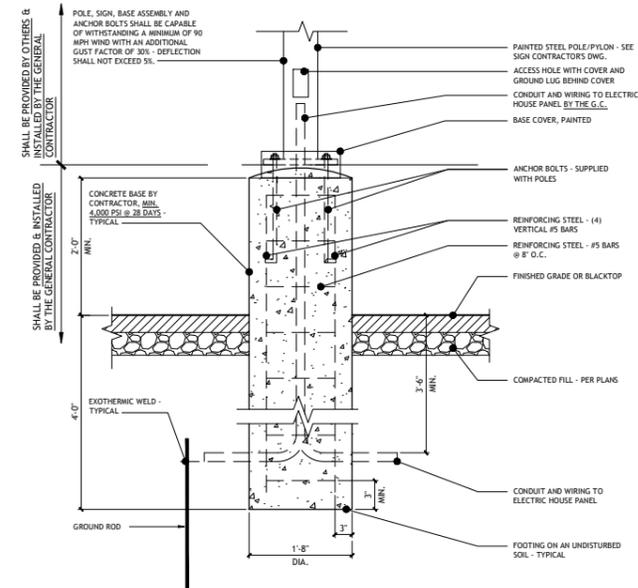
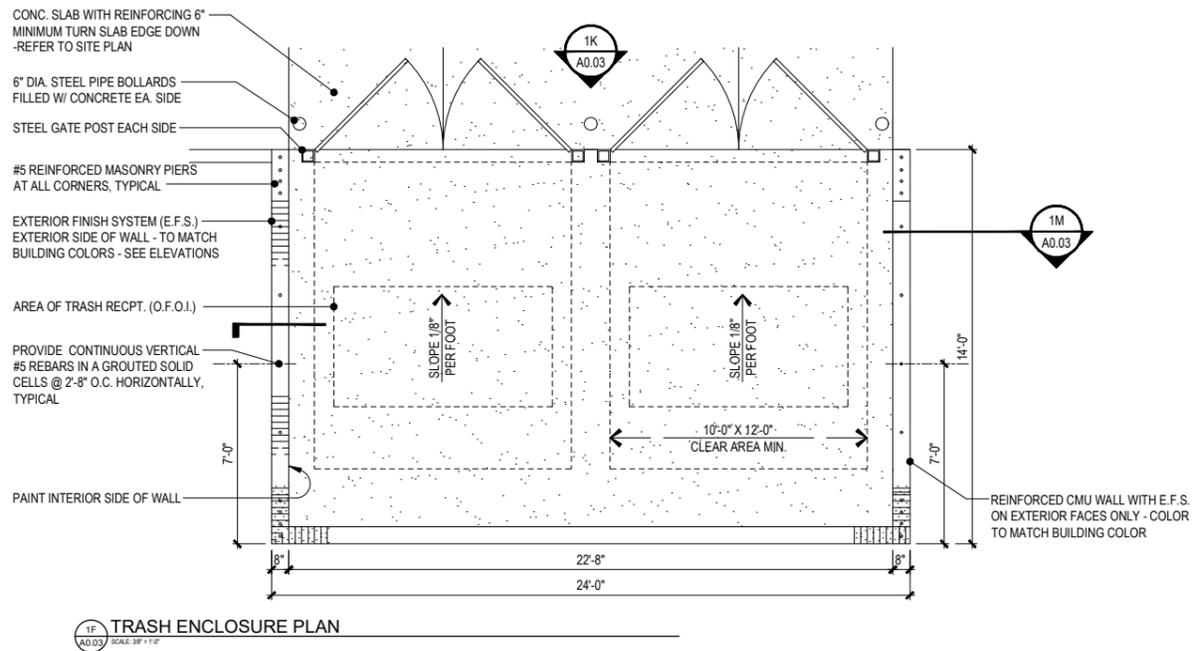
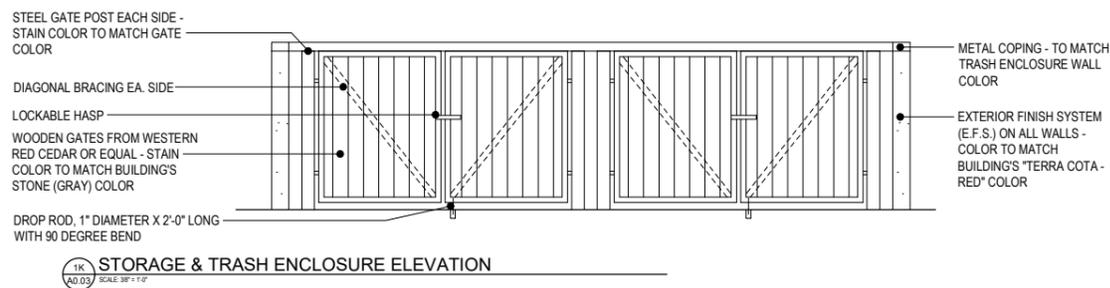
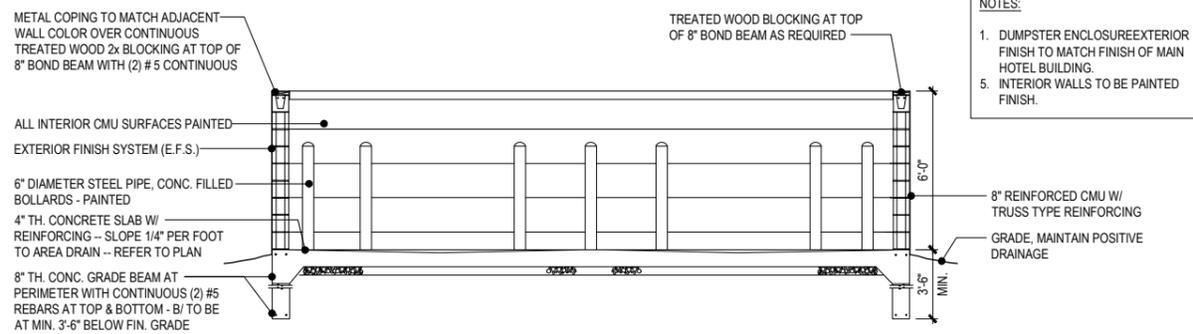
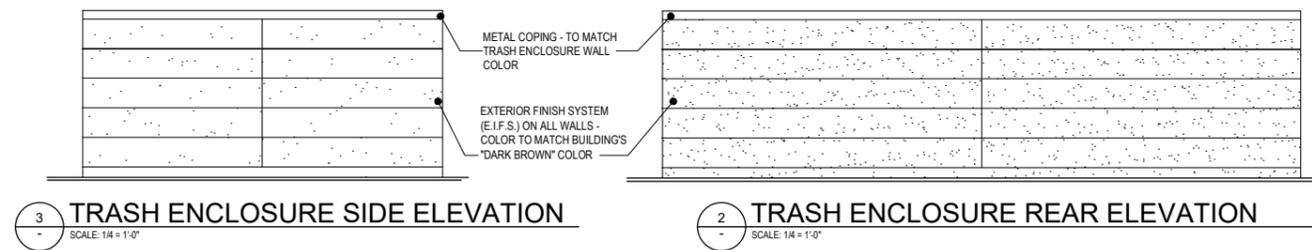
1 TRASH ENCLOSURE FRONT ELEVATION  
SCALE: 1/4" = 1'-0"



2 TRASH ENCLOSURE REAR ELEVATION  
SCALE: 1/4" = 1'-0"



3 TRASH ENCLOSURE SIDE ELEVATION - TYPICAL  
SCALE: 1/4" = 1'-0"



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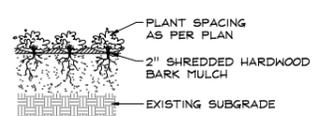
**SITE DETAILS**

PAI # 19112.00  
**A0.03**

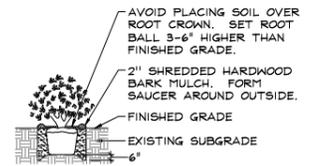
**GENERAL NOTES**

- Contractor shall verify underground utility lines and is responsible for any damage.
- Contractor shall verify all existing conditions in the field prior to construction and shall notify landscape architect of any variance.
- Material quantities shown are for contractors convenience only. The Contractor must verify all material and supply sufficient materials to complete the job per plan.
- The landscape architect reserves the right to inspect trees and shrubs either at place of growth or at site before planting, for compliance with requirements of variety, size and quality.
- Work shall conform to American Standard for Nursery Stock, State of Illinois Horticultural Standards, and Local Municipal requirements.
- Contractor shall secure and pay for all permits, fees, and inspections necessary for the proper execution of this work and comply with all codes applicable to this work.
- See General Conditions and Specifications for landscape work for additional requirements.

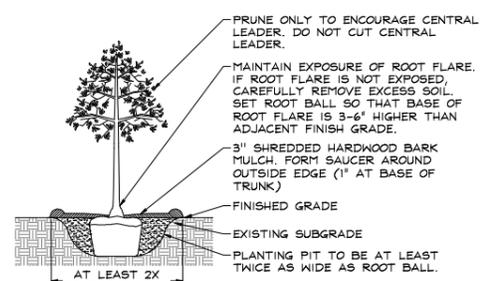
**PLANTING DETAILS**



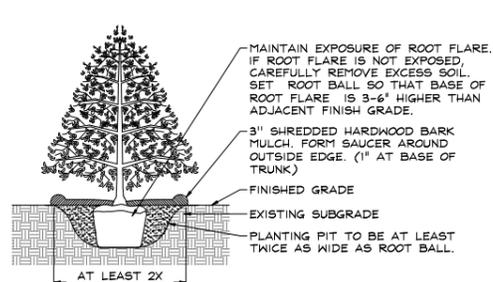
**PERENNIALS AND GROUNDCOVERS**  
NOT TO SCALE



**DECIDUOUS AND EVERGREEN SHRUBS**  
NOT TO SCALE



**DECIDUOUS TREES**  
NOT TO SCALE



**EVERGREEN TREES**  
NOT TO SCALE

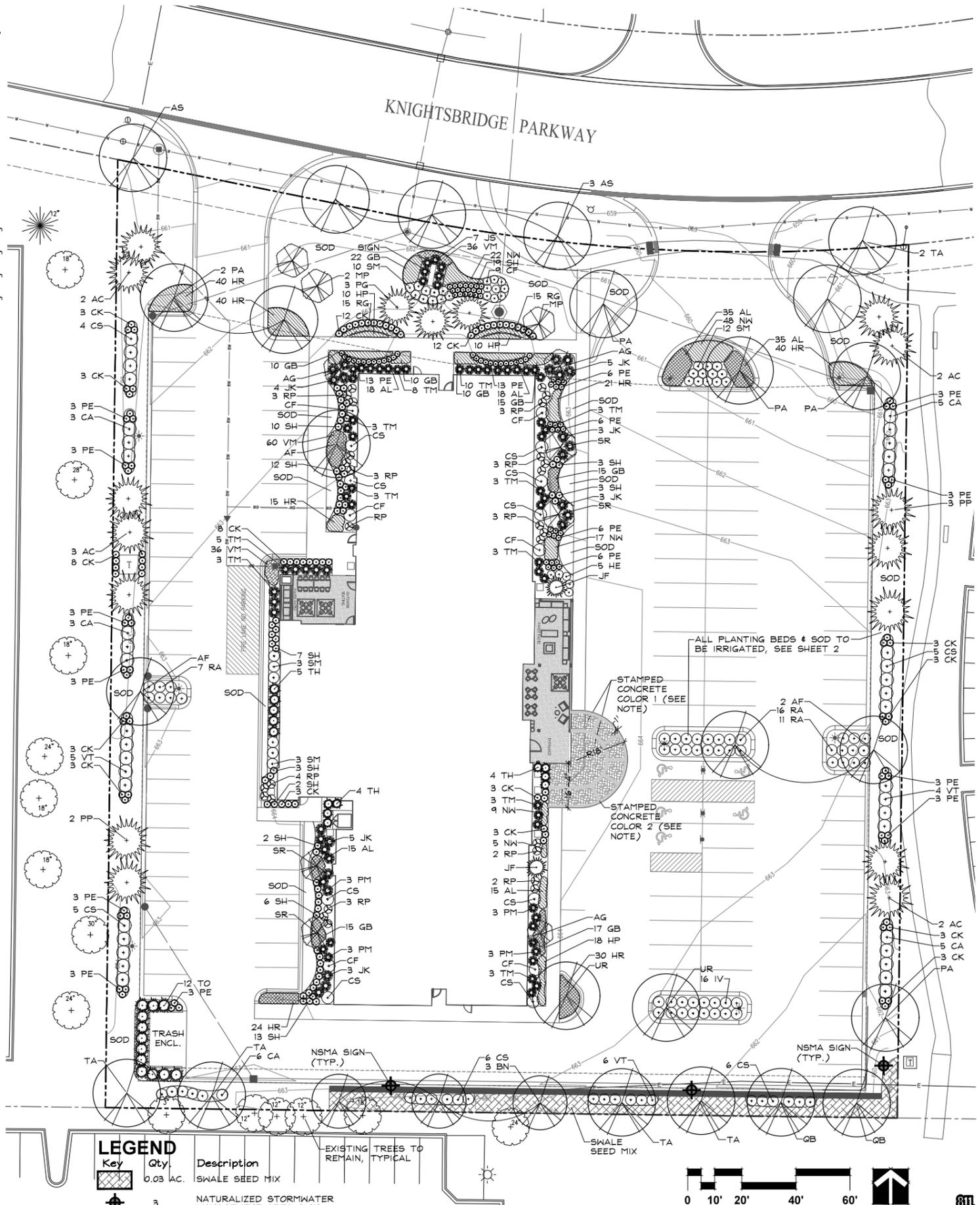


**STAMPED CONCRETE NOTES:**

- COLORS & STAMP FROM BUTTERFIELD COLOR, INC AURORA, IL 1-800-282-3388  
 COLOR 1: BUTTERFIELD UNI-MIX U34 BRICK RED  
 RUSSET RELEASE  
 PATTERN: 12"X12" SLATE  
 COLOR 2: BUTTERFIELD UNI-MIX U20 SMOKE  
 HADLEY CREEK SHALE TEXTURE

**PLANT LIST**

Key	Qty	Botanical/Common Name	Size	Remarks
<b>SHADE TREES</b>				
AF	4	Acer x freemanii 'Jeffers' Red' AUTUMN BLAZE MAPLE	3' Cal.	
AS	4	Acer saccharum SUGAR MAPLE	4' Cal.	
PA	6	Platanus x acerifolia 'Morton Circle' EXCLAMATION! LONDON PLANETREE	4' Cal.	
GB	2	Quercus bicolor SWAMP WHITE OAK	3' Cal.	
TA	6	Tilia americana 'Redmond' REDMOND AMERICAN LINDEN	3' Cal.	
UR	2	Ulmus carpinifolia 'Regal' REGAL SMOOTHLEAF ELM	3' Cal.	
<b>ORNAMENTAL TREES</b>				
AG	3	Amelanchier grandiflora 'Autumn Brilliance' 6' HT. AUTUMN BRILLIANCE SERVICEBERRY	6' HT.	Multi-Stem
BN	3	Betula nigra 'Cully' HERITAGE RIVER BIRCH	8' HT.	Multi-Stem
MP	3	Morus x 'Prairifire' PRAIRIFIRE CRABAPPLE	8' HT.	Multi-Stem
SR	4	Syringa reticulata 'Ivory Silk' IVORY SILK JAPANESE TREE LILAC	6' HT.	Multi-Stem
<b>EVERGREEN TREES</b>				
AC	9	Abies concolor WHITE FIR	10' HT.	
JF	2	Juniperus chinensis 'Fairview' FAIRVIEW JUNIPER	8' HT.	
PG	3	Picea glauca 'Densata' BLACK HILLS SPRUCE	10' HT.	
PP	5	Picea pungens COLORADO SPRUCE	10' HT.	
TH	13	Thuja occidentalis 'Holmstrup' HOLMSTRUP ARBORVITAE	6' HT.	
TO	12	Thuja occidentalis 'Techny' MISSION ARBORVITAE	10' HT.	
<b>DECIDUOUS SHRUBS</b>				
CA	22	Cotoneaster acutifolia PEKING COTONEASTER	36" Tall	5' O.C.
CS	35	Cornus sericea 'Bailey' BAILEY'S RED TWIG DOGWOOD	36" Tall	5' O.C.
CF	15	Cornus sericea 'Flavirima' YELLOW TWIG DOGWOOD	36" Tall	5' O.C.
HE	5	Hydrangea macrophylla 'Balmer' ENDLESS SUMMER HYDRANGEA	24" Tall	3' O.C.
IV	16	Itea virginica 'Sprich' LITTLE HENRY VIRGINIA SWEETSPIRE	24" Tall	3' O.C.
RA	34	Rhus aromatica 'Gro-low' GRO-LOW SUMAC	24" Wide	3' O.C.
SM	28	Syringa meyeri 'Paladin' DWARF KOREAN LILAC	24" Tall	4' O.C.
VT	15	Viburnum trilobum 'Redwing' JN SELECT CRANBERRYBUSH VIBURNUM	36" Tall	5' O.C.
<b>EVERGREEN SHRUBS</b>				
JK	23	Juniperus x pfitzeriana 'Kallay's Compact' KALLAYS COMPACT PFITZER JUNIPER	24" Wide	4' O.C.
JS	7	Juniperus chinensis var. sargentii 'Viridis' GREEN SARGENT JUNIPER	24" Wide	5' O.C.
PM	12	Pinus mugo 'Valley Cushion' DWARF MOUNTAIN PINE	24" Wide	4' O.C.
RP	27	Rhododendron 'P.J.M.' P.J.M RHODODENDRON	24" Tall	4' O.C.
TM	47	Taxus x media 'Densiflora' DENSE YEW	24" Wide	4' O.C.
<b>ORNAMENTAL GRASSES</b>				
CK	73	Calamagrostis x acutiflora 'Karl Foerster' FEATHER REED GRASS	#1	30' O.C.
PE	83	Pennisetum alopecuroides 'Hameln' DWARF FOUNTAIN GRASS	#1	24' O.C.
SH	80	Sporobolus heterolepis PRAIRIE DROPSSEED	#1	24' O.C.
<b>PERENNIALS</b>				
AL	136	Allium lustranum 'Summer Beauty' SUMMER BEAUTY ONION	#1	18" O.C.
GB	114	Geranium x 'Brookside' BROOKSIDE GERANIUM	#1	18" O.C.
HR	210	Hemerocallis 'Happy Returns' HAPPY RETURNS DAYLILY	#1	18" O.C.
HP	38	Hosta x 'Patriot' PATRIOT HOSTA	#1	24" O.C.
NW	101	Nepeta racemosa 'Walker's Low' WALKER'S LOW CATMINT	#1	18" O.C.
RG	30	Rudbeckia fulgida 'Goldsturm' GOLDSTURM BLACK-EYED SUSAN	#1	18" O.C.
<b>GROUNDCOVERS</b>				
VM	132	Vinca minor 'Dart's Blue' DART'S BLUE PERIWINKLE	#SP4	12" O.C.
<b>MISC. MATERIALS</b>				
65		SHREDDED HARDWOOD MULCH	C.Y.	
1,927		SOD	S.Y.	
0.03		SWALE SEED MIX	AC.	
3		NSMA SIGN	EACH	



**LEGEND**

Key	Qty.	Description
[Symbol]	0.03 AC.	SWALE SEED MIX
[Symbol]	3	NATURALIZED STORMWATER MANAGEMENT AREA SIGN

**GRWA**  
**GARY R. WEBER ASSOCIATES, INC.**  
 LAND PLANNING  
 ECOLOGICAL CONSULTING  
 LANDSCAPE ARCHITECTURE  
 212 SOUTH MAIN STREET  
 WHEATON, ILLINOIS 60187  
 PHONE: 630-668-7197

CIVIL ENGINEER  
**ADVANTAGE CONSULTING ENGINEERS**  
 80 MAIN STREET, SUITE 17  
 LEMONT, ILLINOIS 60439

**HOME2 SUITES BY HILTON**  
 350 KNIGHTSBRIDGE PARKWAY  
 LINCOLNSHIRE, ILLINOIS  
**LANDSCAPE PLAN**

8 SMC-SWALE MK 8.30.2019  
 7 8.08.2019  
 6 7.29.2019  
 5 7.01.2019  
 4 5.31.2019  
 3 4.08.2019  
 2 3.06.2019  
 1 1.22.2019

**REVISIONS**

DATE 1.18.2019  
 PROJECT NO. AC1942  
 DRAWN GFB  
 CHECKED JCT  
 SHEET NO.

LANDSCAPE WORK PART 1 - GENERAL

1.1 DESCRIPTION OF WORK

The work shall consist of furnishing, transporting and installing all seeds, plants and other materials required for:

- The establishment of trees, shrubs, perennial, annual and lawn areas as shown on Landscape Plan;
- The provision of post-planting management as specified herein;
- Any remedial operations necessary in conformance with the plans as specified in this document;
- Permits which may be required.

1.2 QUALITY ASSURANCE

A. Work shall conform to State of Illinois Horticultural Standards and local municipal requirements.

B. Quality Control Procedures:

- Ship landscape materials with certificates of inspection as required by governmental authorities. Comply with governing regulations applicable to landscape materials.
- Do not make substitutions. If specified landscape material is not obtainable, submit to Landscape Architect proof of non-availability and proposal for use of equivalent material.
- Analysis and Standards: Package standard products with manufacturer's certified analysis.

1.3 SUBMITTALS

A. Planting Schedule

Submit three (3) copies of the proposed planting schedule showing dates for each type of planting

B. Maintenance Instruction - Landscape Work

Submit two (2) copies of typewritten instructions recommending procedures to be established by the Owner for the maintenance of landscape work for one full year. Submit prior to expiration of required maintenance periods.

Instructions shall include: watering, fertilizing, spraying, mulching and pruning for plant material and trimming groundcover. Instructions for watering, fertilizing and mowing grass areas shall be provided ten (10) days prior to request for inspection for final acceptance. Landscape Architect shall receive copies of all instructions when issued.

C. Submit two (2) copies of soil test of existing topsoil with recommendations for soil additive requirement to Landscape Architect for review and written approval.

D. Submit two (2) samples of shredded hardwood bark mulch, erosion control blankets, and all other products and materials as specified on plans to Landscape Architect for review and written approval.

E. Nursery packing lists indicating the species and quantities of material installed must be provided to the Owner and/or City upon request.

1.4 JOB CONDITIONS

A. Examine and evaluate grades, soils and water levels. Observe the conditions under which work is to be performed and notify Landscape Architect of unsatisfactory conditions. Do not proceed with the work until unsatisfactory conditions have been corrected in an acceptable manner.

B. Utilities: Review underground utility location maps and plans; notify local utility location service; demonstrate an awareness of utility locations; and certify acceptance of liability for the protection of utilities during course of work. Contractor shall be responsible for any damage to utilities or property.

C. Excavation: When conditions detrimental to plant growth are encountered such as rubble fill, adverse drainage conditions or obstructions, notify Landscape Architect before planting.

1.5 GUARANTEES

A. Guarantee seeded and sodded areas through the specified maintenance period and until final acceptance.

B. Guarantee trees, shrubs, groundcover and perennials for a period of one year after date of acceptance against defects including death and unsatisfactory growth, except for defects resulting from neglect by Owner, abuse or damage by others or unusual phenomena or incidents which are beyond Landscape Installer's control.

C. Native Planting Area Performance Criteria

1st Full Growing Season: 90% of cover crop shall be established. There shall be no bare areas greater than two (2) square feet in seeded areas. At least 25% of vegetation coverage shall be native, non-invasive species. At least 50% of the emergent species, if planted as plugs shall be alive and apparent.

2nd Full Growing Season: All areas with the exception of emergent zones shall exhibit full vegetative cover. At least 50% of the vegetation coverage shall be native, non-invasive species.

3rd Full Growing Season: At least 75% of vegetation coverage shall be native, non-invasive species. Non-native species shall constitute no more than 25% relative aerial coverage of the planted area. Non-native/invasive species for this project shall include but are not limited to the following: *Ambrosia artemisiifolia* & *trifida* (Common & Giant Ragweed), *Cirsium arvense* (Canada Thistle), *Dipsacus laciniatus* (Cut-leaved Teasel), *Dipsacus sylvestris* (Common Teasel), *Lithrum salicaria* (Purple Loosestrife), *Melilotus* sp. (Sweet Clover), *Phalaris arundinacea* (Reed Canary Grass), *Phragmites australis* (Giant Reed), *Polygonum cuspidatum* (*Fallopia japonica*) (Japanese Knotweed), *Rhynchos cathartica* & *frangula* (Common & Glossy Buckthorn), *Typha* sp. (Broadleaf, Narrowleaf, and Hybrid Cattail).

At least 90% of all woody vegetation planted within the boundaries of naturalized basins shall be alive and in healthy condition at the end of each growing season.

LANDSCAPE WORK PART 2 - PLANT MATERIALS

2.1 LAWN SOD

Provide strongly rooted sod, not less than two (2) years old and free of weeds and undesirable native grasses. Provide only sod capable of growth and development when planted (viable, not dormant) and in strips not more than 18" wide x 4' long. Provide sod composed of a 5-way blend of Kentucky Bluegrass such as: Midnight, Allure, Viva, Washington, Liberty.

2.2 NATIVE PLANTING MIXTURES

Provide fresh, clean, new crop of the species and proportions as specified. Native seed and live plant material shall be obtained from a reputable supplier (approved by Landscape Architect) that has collected from sources east of the Mississippi River within the same EPA Level III Ecoregion as the project site (Central Corn Belt Plains). Any material sourced from outside this ecoregion must be approved by the Landscape Architect prior to installation.

It is the sole responsibility of the Native Landscape Contractor to provide approved seed that meets industry-standard PLS requirements.

A. Swale Seed Mix

Botanical Name	Common Name	lbs./AC	Plugs/AC
<b>Grasses and Sedges</b>			
<i>Bouteloua curtipendula</i>	Side Oats Gramma	4,000	
<i>Carex annectens</i>	Yellow-fruited Sedge	0,060	
<i>Carex bicknellii</i>	Bicknell's Sedge	0,125	
<i>Carex brevior</i>	Shorter Sedge	0,250	
<i>Carex molesta</i>	Field Oval Sedge	0,156	
<i>Elymus virginicus</i>	Virginia Wild Rye	2,000	
<i>Elymus trachycaulus</i>	Slender Wheatgrass	2,000	
<i>Schizachyrium scoparium</i>	Little Bluestem	6,000	
<i>Sporobolus heterolepis</i>	Prairie Dropseed	0,250	988
<b>Total Grasses and Sedges:</b>		<b>14,841</b>	<b>988</b>

Wildflowers/Broadleaves

<i>Asclepias incarnata</i>	Swamp Milkweed	0,500	
<i>Bidens cernua</i>	Nodding Bur Marigold	0,190	
<i>Boltonia asteroides</i>	False Aster	0,031	
<i>Chamaecrista fasciculata</i>	Partridge Pea	1,000	
<i>Euthamia graminifolia</i>	Grassleaved Goldenrod	0,025	
<i>Eupatorium perfoliatum</i>	Common Boneset	0,015	
<i>Helenium autumnale</i>	Sneezeweed	0,063	
<i>Iris virginica shrevei</i>	Blue Flag	1,500	
<i>Loebelia siphilitica</i>	Great Blue Lobelia	0,031	
<i>Mimulus ringens</i>	Monkey Flower	0,003	
<i>Symphoricarichum novae-angliae</i>	New England Aster	0,250	
<i>Pycnanthemum virginianum</i>	Common Mountain Mint	0,063	
<i>Rudbeckia fulgida var. sullivantii</i>	Showy Black-Eyed Susan	0,250	
<i>Zizia aurea</i>	Golden Alexanders	0,050	
<b>Total Wildflowers/Broadleaves:</b>		<b>3,971</b>	
<b>Total Swale Seed Mixture:</b>		<b>18,812</b>	<b>988</b>

2.3 GROUNDCOVERS, PERENNIALS AND ANNUALS

Provide plants established and well-rooted in removable containers or integral peat pots and with not less than the minimum number and length of runners required by ANSI Z60.1 for the pot size shown or listed.

2.4 TREES AND SHRUBS

A. Name and Variety: Provide nursery grown plant material true to name and variety.

B. Quality: Provide trees, shrubs and other plants complying with the recommendations and requirements of ANSI Z60.1 "Standard for Nursery Stock" and as further specified.

C. Deciduous Trees: Provide trees of height and caliper listed or shown and with branching configuration recommended by ANSI Z60.1 for type and species required. Provide single stem trees except where special forms are shown or listed. Provide balled and burlapped (B&B) deciduous trees.

D. Deciduous Shrubs: Provide shrubs of the height shown or listed and with not less than the minimum number of canes required by ANSI Z60.1 for the type and height of shrub required. Provide balled and burlapped (B&B) deciduous shrubs.

E. Coniferous Evergreen: Provide evergreens of the sizes shown or listed. Dimensions indicate minimum spread for spreading and semi-spreading type evergreens and height for other types. Provide quality evergreens with well-balanced form complying with requirements for other size relationships to the primary dimension shown. Provide balled and burlapped (B&B) evergreen trees and containerized shrubs.

F. Inspection: All plants shall be subject to inspection and review at the place of growth or upon delivery and conformity to specification requirements as to quality, right of inspection and rejection upon delivery at the site or during the progress of the work for size and condition of balls or roots, diseases, insects and latent defects or injuries. Rejected plants shall be removed immediately from the site.

2.5 PLANTING SOIL MIXTURE

Provide planting soil mixture consisting of clean uncompacted topsoil (stockpiled at site) for all planting pits, perennial, annual and groundcover areas. Topsoil shall be conditioned based on any recommendations resulting from the soil test in 1.3.C.

2.6 AMENDED SOIL MIXTURE

Provide amended soil mixture consisting of 20% sand, 30% compost & 50% topsoil. Compost shall consist of 35% - 65% organic material and less than 1% manufactured inert material. Amended soil mixture shall pass through a 1/2" screen. Mix materials thoroughly.

2.7 MULCH

Provide mulch consisting of shredded hardwood. Provide sample to Landscape Architect for approval prior to ordering materials.

2.8 EROSION CONTROL

Erosion Control Blanket: North American Green S150, or equivalent approved equal.

LANDSCAPE WORK PART 3 - EXECUTION

3.1 PLANTING SCHEDULE

At least thirty (30) days prior to the beginning of work in each area, submit a planting schedule for approval by the Landscape Architect.

3.2 PLANTINGS

A. Sodding New Lawns

- Remove existing grass, vegetation and turf. Dispose of such material legally off-site, do not turn over into soil being prepared for lawns.
- Till to a depth of not less than 6"; apply soil amendments as needed; remove high areas and fill in depressions; till soil to a homogenous mixture of fine texture, remove lumps, clods, stones over 1" diameter, roots and other extraneous matter. Dispose of such material legally off-site.
- Sodded areas shall receive an application of commercial fertilizer at the rate of 10 lbs. per 1,000 sq. ft. and shall have an analysis of 16-8-8.
- Lay sod within 24 hours from time of stripping.
- Lay sod to form a solid mass with tightly fitted joints. Butt ends and sides of sod strips; do not overlap. Stagger strips to offset joints in adjacent courses. Work from boards to avoid damage to subgrade or sod. Tamp or roll lightly to ensure contact with subgrade. Work sifted soil into minor cracks between pieces of sod; remove excess to avoid smothering of adjacent grass.
- Water sod thoroughly with a fine spray immediately after planting.

B. Groundcover and Perennial Beds

Groundcover, perennials, and annuals shall be planted in continuous beds of planting soil mixture a minimum of 8" deep. Install per spacing indicated on plan.

C. Trees and Shrubs

- Set balled and burlapped (B&B) stock plumb and in center of pit or trench with top of ball at an elevation that will keep the root flare exposed upon backfill and mulching. Remove burlap from top and sides of balls; retain on bottoms. When set, place additional topsoil backfill around base and sides of ball and work each layer to settle backfill and eliminate voids and air pockets. When excavation is approximately 2/3 full, water thoroughly before placing remainder of backfill. Repeat watering until no more is absorbed. Water again after placing final layer of backfill.
- Dish top of backfill to allow for mulching. Provide additional backfill berm around edge of excavations to form shallow saucer to collect water.
- Mulch pits, trenches and planted areas. Provide not less than 2" thickness of mulch and work into top of backfill and finish level with adjacent finish grades. Maintain exposed root flare at all times.
- Prune only injured or dead branches from flowering trees, if any. Protect central leader of tree during shipping and pruning operations. Prune shrubs to retain natural character in accordance with standard horticultural practices.
- Remove and replace excessively pruned or ill-formed stock resulting from improper pruning.
- The Contractor shall be wholly responsible for assuring that all trees are planted in a vertical and plumb position and remain so throughout the life of this contract and guarantee period. Trees may or may not be staked and guyed depending upon the individual preference of the Contractor; however, any bracing procedure(s) must be approved by the Owner prior to its installation.

3.3 INITIAL MAINTENANCE

- Begin maintenance immediately after planting, continuing until final acceptance. A minimum of thirty (30) days.
- Maintain planted and seeded areas by watering, rolling/regrading, replanting and implementing erosion control as required to establish vegetation free of eroded or bare areas.
- Native Planting areas are to be mowed only once per spring during the initial three year establishment period.

3.4 MAINTENANCE

A. Maintenance:

First Season

The native seeding areas should be mowed to a height of 6" to control annual nonnative and invasive species early in the growing season. Mowing, including weed whipping, should be conducted prior to weed seed production. Mowing height and timing may need to be adjusted per target species. Small quantities of undesirable plant species, shall be controlled by hand pulling prior to the development and maturity of the plant. Hand removal shall include the removal of all above-ground and below-ground stems, roots and flower masses prior to development of seeds. Herbicide should be applied as necessary by a trained and licensed operator that is competent in the identification of native and nonnative herbaceous plants. Debris and litter shall be removed from the native areas and storm structures shall be inspected and maintained as necessary.

Second Season

Control of undesirable plant species during the second growing season shall consist primarily of precise herbicide application. Mowing and weed whipping shall be conducted as needed during the early growing season and as needed to a height of 6 to 8 inches to prevent annual weeds from producing seed. Debris and litter shall be removed from the native areas and storm structures shall be inspected and maintained as necessary.

Third Season

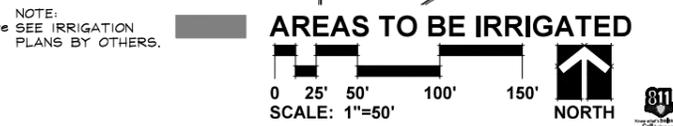
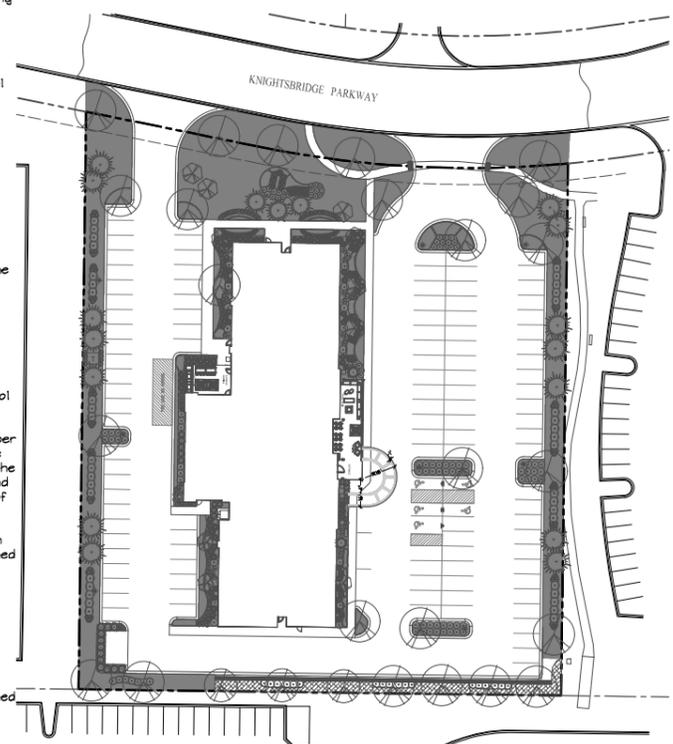
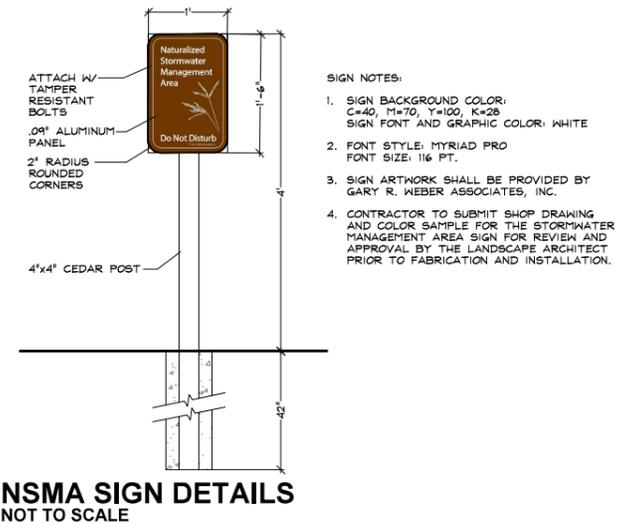
Seasonal mowing and herbicide will continue as above but should be reduced over time. Debris and litter shall be removed from the native areas and storm structures shall be inspected and maintained as necessary.

3.5 CLEAN UP AND PROTECTION

- During landscape work, store materials and equipment where directed. Keep pavements clean and work areas and adjoining areas in an orderly condition.
- Protect landscape work and materials from damage due to landscape operations, operations by other trades and trespassers. Maintain protection during installation and maintenance periods. Treat, repair or replace damaged landscape work as directed by Landscape Architect.

3.6 INSPECTION AND ACCEPTANCE

- The Landscape Architect reserves the right to inspect seeds, plants, trees and shrubs either at place of growth or at site before planting for compliance with requirements for name, variety, size, quantity, quality and mix proportion.
- Supply written affidavit certifying composition of seed mixtures and integrity of plant materials with respect to species, variety and source.
- Notify the Landscape Architect within five (5) days after completing initial and/or supplemental plantings in each area.
- When the landscape work is completed, including maintenance, the Landscape Architect will, upon request, make a final inspection to determine acceptability. After final acceptance, the Owner will be responsible for maintenance.



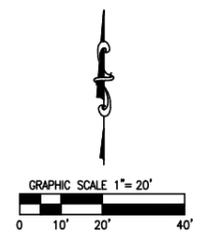
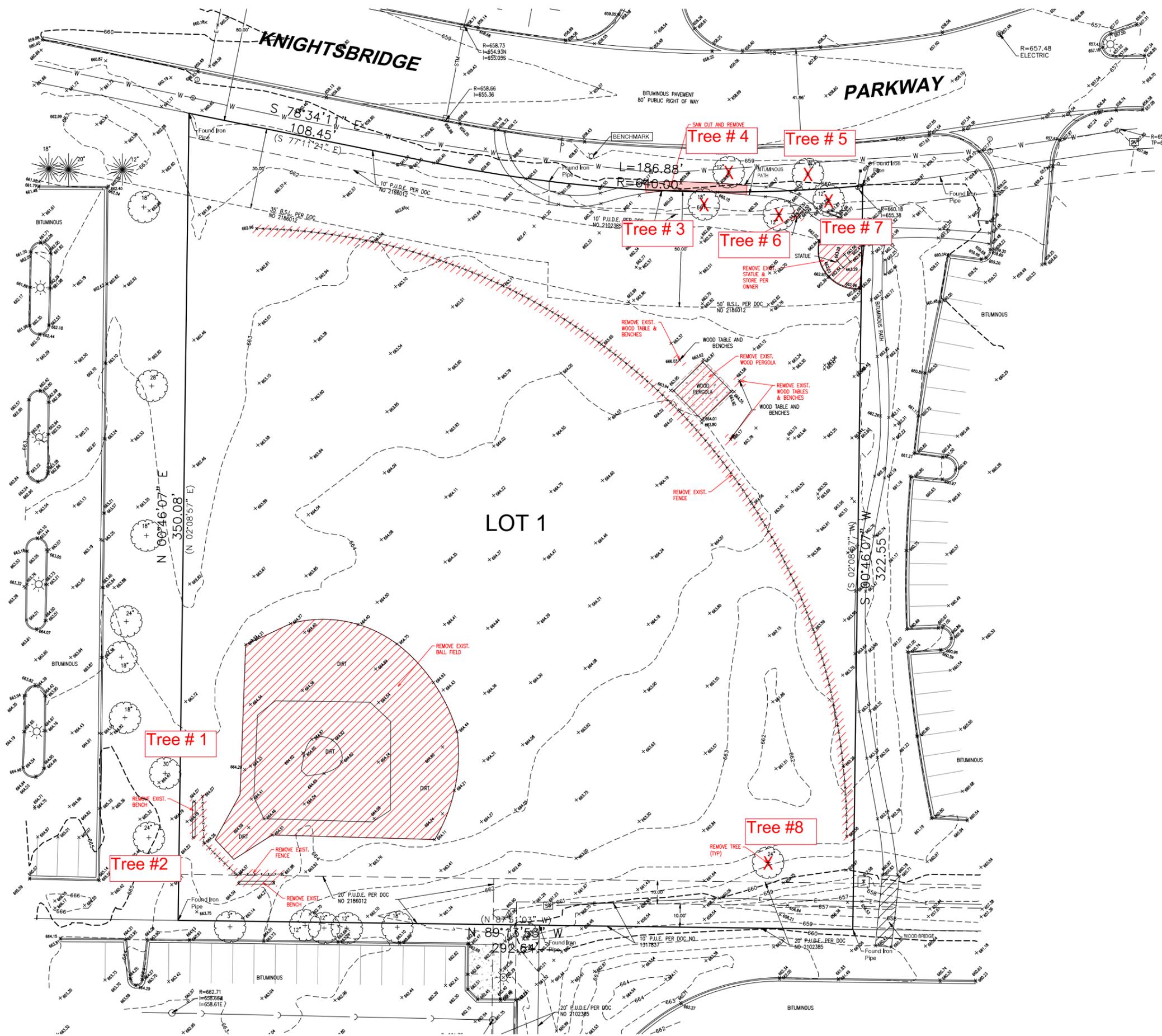
**GRWA**  
**GARY R. WEBER ASSOCIATES, INC.**  
 LAND PLANNING  
 ECOLOGICAL CONSULTING  
 LANDSCAPE ARCHITECTURE  
 212 SOUTH MAIN STREET  
 WHEATON, ILLINOIS 60187  
 PHONE: 630-668-7197

CIVIL ENGINEER  
**ADVANTAGE CONSULTING ENGINEERS**  
 80 MAIN STREET, SUITE 17  
 LEMONT, ILLINOIS 60439

**HOME2 SUITES BY HILTON**  
 350 KNIGHTSBRIDGE PARKWAY  
 LINCOLNSHIRE, ILLINOIS  
**LANDSCAPE SPECIFICATIONS**

NO.	REVISIONS	DATE
8	SMC-SWALE MK	8.30.2019
7		8.08.2019
6		7.29.2019
5		7.01.2019
4		5.31.2019
3		4.08.2019
2		3.06.2019
1		1.22.2019

DATE	1.18.2019
PROJECT NO.	AC1942
DRAWN	GFB
CHECKED	JCT
SHEET NO.	



**DEMOLITION NOTES**

1. CONTRACTOR IS TO FIELD VERIFY EXISTING UTILITY LOCATIONS AND ELEVATIONS PRIOR TO DEMOLITION. SOME UTILITIES MAY NOT BE SHOWN.
2. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO DEMOLITION.
3. COORDINATE A RELEASE FROM THE ELECTRIC, GAS AND TELEPHONE SERVICES PRIOR TO DEMOLITION.
4. NO WATER IS TO BE USED FROM A FIRE HYDRANT FOR DUST CONTROL WITHOUT A WATER METER, A BACKFLOW PREVENTER, AND WATER DEPARTMENT APPROVAL.
5. ALL ADJOINING PUBLIC AND PRIVATE PROPERTY SHALL BE PROTECTED FROM DAMAGE CAUSED BY THE SITE DEMOLITION.
6. ALL WASTE MATERIALS SHALL BE REMOVED IN A MANNER THAT PREVENTS INJURY OR DAMAGE TO PERSONS, ADJOINING PROPERTIES, AND/OR RIGHT-OF-WAYS.
7. ALL WASTE MATERIALS SHALL BE DISPOSED OF OFFSITE IN AN APPROVED FACILITY.
8. THE SITE SHALL BE GRADED TO PREVENT THE ACCUMULATION OF WATER OR DAMAGE TO ANY FOUNDATIONS ON THE PREMISES OF ADJOINING PROPERTY.

**LEGEND**

- PAVEMENT AND SIDEWALK TO BE REMOVED
- X TREE TO BE REMOVED

NO.	DATE	REMARKS
1.	04/08/19	REVISED PER VILLAGE
2.	05/29/19	REVISED PER VILLAGE
3.	07/01/19	DUMPSTER LOCATION REVISED

**ADVANTAGE**  
CONSULTING ENGINEERS  
80 MAIN STREET, SUITE 17 - LENOX, ILLINOIS 60439  
847-266-4738  
www.advantageil.com



**DEMOLITION PLAN**  
**HOME 2 HOTEL BY HILTON**  
**350 KNIGHTSBRIDGE PARKWAY**  
**LINCOLNSHIRE, IL**

**KNIGHT BRIDGE PARKWAY, LLC**  
**700 BECKER ROAD**  
**GLENVIEW, IL 60025**

MARCH 1, 2019  
JOB: 18-040  
SHEET:  
**DM1**  
4 OF 14

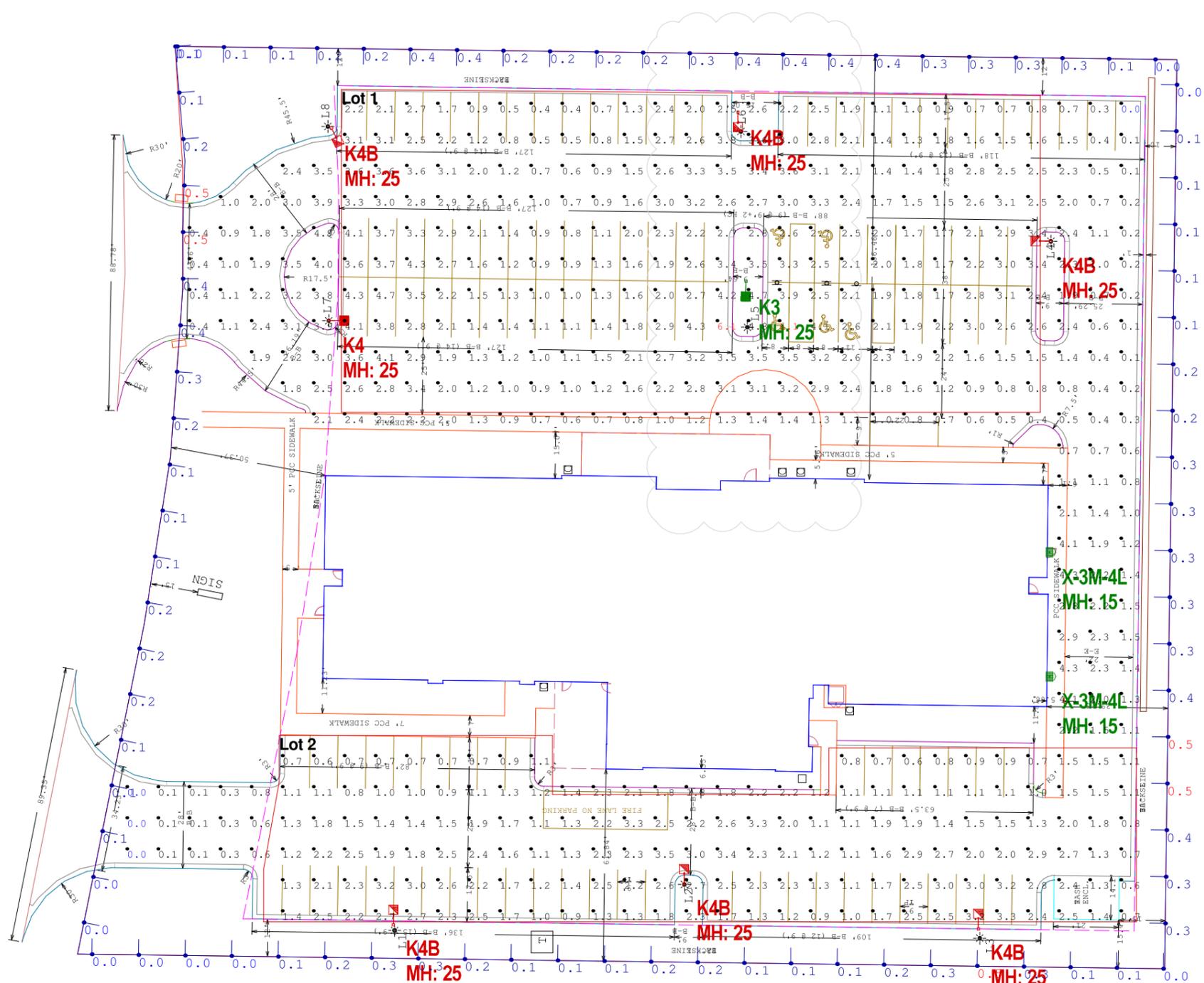
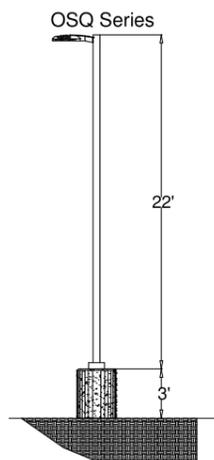
Luminaire Schedule							
Symbol	Qty	Label	Arrangement	LMF	Lum. Lumens	Lum. Watts	Part Number
	1	K3	SINGLE	1.000	17291	130	OSQ-A-NM-3ME-K-57K-_-_- + OSQ-DA_-_-
	6	K4B	SINGLE	1.000	13286	130	OSQ-A-NM-4ME-K-57K-_-_- + OSQ-DA_-_- + OSQ-BLSMF
	1	K4	SINGLE	1.000	17291	130	OSQ-A-NM-4ME-K-57K-_-_- + OSQ-DA_-_-
	2	X-3M-4L	SINGLE	1.000	4270	31	XSPW-B-WM-3ME-4L-57K-_-_-

Calculation Summary (Footcandles calculated using predicted lumen values @ 50K hrs of operation)						
Label	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts_1	Fc	1.89	6.1	0.0	N.A.	N.A.
Property Line at 60 in	Fc	0.21	0.5	0.0	N.A.	N.A.
Lot 1	Fc	2.26	6.1	0.4	5.65	15.25
Lot 2	Fc	1.73	3.5	0.6	2.88	5.83

Pole Schedule  
 (8) PS4S22S1\_ (22' X 4" X .125" STEEL SQUARE POLE)  
 Proposed poles meet 130 MPH sustained winds.

Additional Equipment:  
 (8) OSQ-DA\_ (Direct Arm Mount)  
 (6) OSQ-BLSMF (Backlight Shield)

\*\*\* CUSTOMER TO VERIFY ORDERING INFORMATION AND CATALOGUE NUMBER PRIOR TO PLACING ORDER \*\*\*



illumination results shown on this lighting design are based on project parameters provided to Cree, Inc. used in conjunction with luminaire test procedures conducted under laboratory conditions. Actual project conditions differing from these design parameters may affect field results. The customer is responsible for verifying dimensional accuracy along with compliance with any applicable electrical, lighting or energy code.

Project Name: H2 Hilton Hotel - 350 Knightsbridge Parkway, Lincolnshire, IL 60069

SR-35979

Footcandles calculated at grade

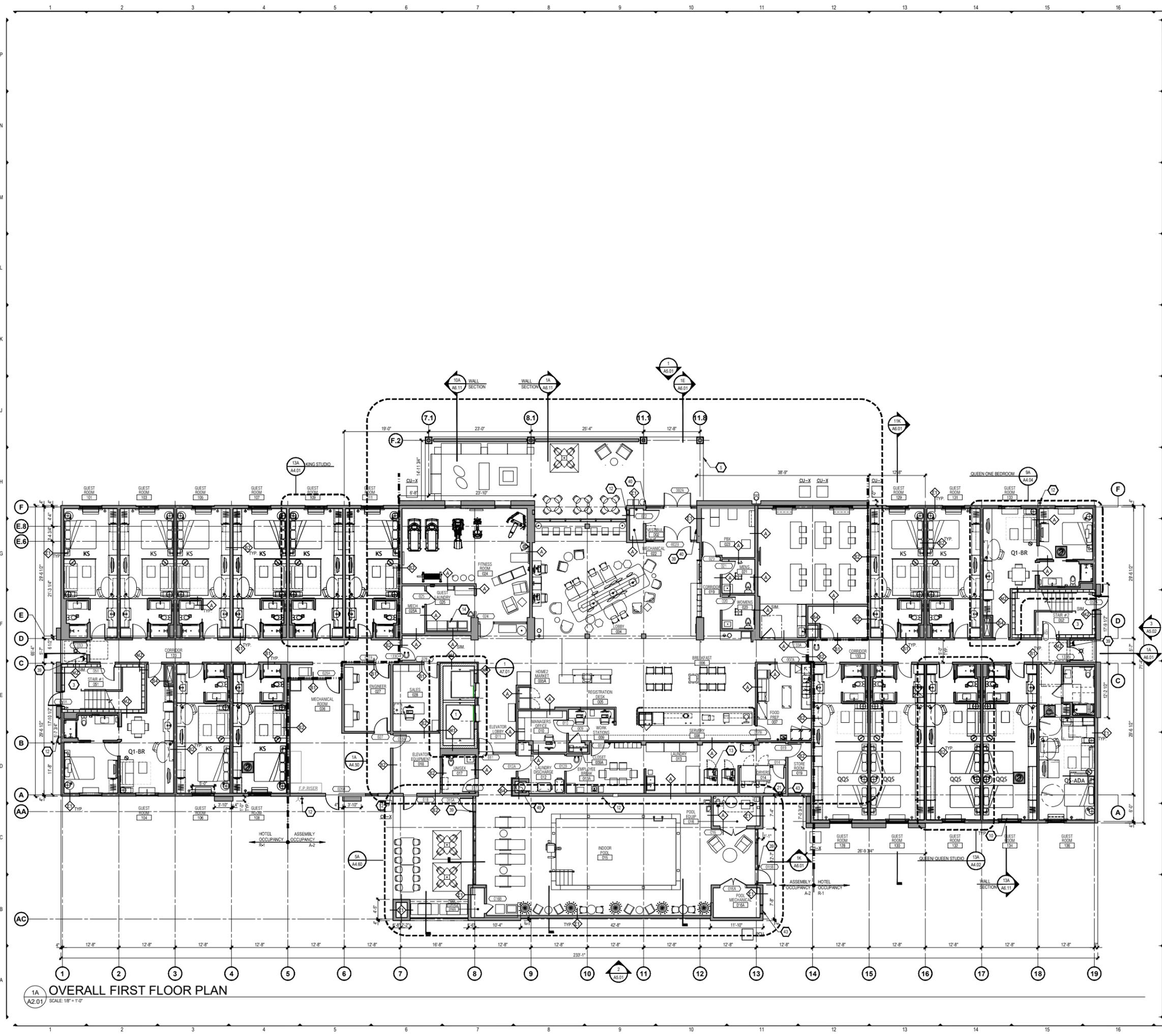
Filename: 190305SP1BAFR3.AGI

Layout By:

Date: 7/26/2019

Scale 1" = 20'





1A OVERALL FIRST FLOOR PLAN  
A2.01 SCALE: 1/8" = 1'-0"

- KEY NOTES:**
- THIS ELEVATOR CAR SHALL PROVIDE EMERGENCY ACCESS TO ALL FLOORS AND BE LARGE ENOUGH TO ACCOMMODATE AN AMBULANCE STRETCHER
  - NOT USED
  - EDRESS STAIR IN CONCRETE MASONRY STAIR ENCLOSURE
  - ALTERNATING TREAD STAIR FROM FOURTH FLOOR STAIR LANDING TO ROOF
  - LINE OF ROOF CANOPY ABOVE
  - NOT USED
  - MECHANICAL, ELECTRICAL AND PLUMBING CHASE - REFER TO MEP
  - CARRY CARPET PATTERN INTO DOOR TO TRANSITION STRIP AS INDICATED - REFER TO SHEET A10.03 FOR TRANSITION DETAIL
  - FLOOR DRAIN
  - PTAC UNIT
  - STAND PIPE MUST NOT ENCRACH INTO AREA OF REFUGE
  - HOSE BIB - FROST FREE WHERE REQUIRED - REFER TO PLUMBING
  - HOTEL LAUNDRY EQUIPMENT - REFER TO ENLARGED PLAN
  - GUEST LAUNDRY EQUIPMENT - REFER TO ENLARGED PLAN
  - PROVIDE CONVENIENCE OUTLETS IN CORRIDORS FOR HOUSEKEEPING EQUIPMENT AT MINIMUM EVERY 50'
  - DAIMED LINE INDICATES PATH OF FULLY CONCEALED ROOF LEADER FROM CANOPY ROOF TO EXTERIOR WALL CAVITY.
  - CANOPY ROOF OVERFLOW SCUPPER
  - ACCESSIBLE ICE MACHINE WITH REQUIRED ACCESSIBLE APPROACH AREA. PROVIDE FLOOR DRAIN CENTERED UNDER ICE MACHINE AND PROVIDE POSITIVE SLOPE TOWARDS DRAIN WITHOUT AFFECTING ACCESSIBLE REQUIREMENTS. INSULATE DRAIN PIPES. REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL AND HADD FOR ADDITIONAL REQUIREMENTS FOR ICE MACHINE AREA
  - ROOF OF POOL BELOW
  - CANOPY TRELLIS BELOW
  - DRYER VENT LOUVER - REFER TO ELEVATIONS
  - 30" x 30" MOP SINK LOCATION
  - MAINTENANCE DESK
  - WIRE SHELVING SYSTEM - REFER TO FF&E
  - FIRE EXTINGUISHER CABINET IN PUBLIC AREAS. INSTALLED SO THAT NO OPERABLE PART IS HIGHER THAN 48" A.F.F.
  - MEMBRANE ROOF, SLOPED W/ TAPERED INSULATION TO DRAIN TOWARDS ROOF DRAIN/GUTTERS
  - TAPERED INSULATION CRICKET
  - ROOF LEADER AND OVERFLOW DRAIN
  - ROOF HATCH (4'-0" x 4'-0") 16 SQ. FT. MIN. AREA & 2'-0" MIN. WIDTH IN ANY DIRECTION. PER CODE. MAKE & MODEL. BLDG. CO. FSD 18 454b. THERMALLY BROKEN ROOF HATCH OR EQ. - ACCESSED VIA AN ALTERNATING TREAD STAIR
  - ROOF PARAPET - ROOFING MEMBRANE TO GO UP AND UNDER THE PARAPET COPING. TYPICAL
  - GRAVEL STOP EDGE
  - EXHAUST FAN
  - MAKE UP AIR UNIT ON ROOF CURB
  - ELEVATOR OVER RUN PENTHOUSE
  - E.L.F.S. BEACON. REFER TO EXTERIOR ELEVATIONS
  - LAUNDRY CHUTE VENT
  - ALUMINUM GUTTER AND DOWNSPOUT
  - MECHANICAL EQUIPMENT SCREEN TO BE AT LEAST 6" TALLER THAN THE TOP OF THE CONTAINED EQUIPMENT - PROVIDE CLEARANCE AND ACCESS AS REQUIRED BY EQUIPMENT MANUFACTURER AND/OR LOCAL CODE PROVISIONS
  - KEYPAD READER ENTRANCE HARDWARE. MOUNTED SO THAT TOP OF READER IS A MAXIMUM OF 48" ABOVE GRADE OR FINISH FLOOR.
  - PUSH BUTTON INTERCOM OR HOUSE PHONE (OPTIONAL VIDEO MONITORING). MOUNT SO TOP OF DEVICE IS MAXIMUM OF 48" ABOVE GRADE. PROVIDE CLEAR FLOOR SPACE AS REQUIRED BY ACCESSIBILITY CODE.
  - SPASIBLOCK
  - TRIP WISCONSIN 4" HIGH ON ALL SLOPES INDICATED. PROVIDE APPROPRIATE VINYL EDGE TREATMENT
  - MECHANICAL LOUVER
  - FLUORESCENT FLOODLIGHT
  - EXPOSED CMU CORNER TO HAVE 1" RADIUS BALLNOSE
  - NOT USED
  - ALTERNATING TREAD STAIR TO UPPER ROOF
  - INDICATES DIRECTION OF CARPET PATTERN. REFER TO MFR FOR DIRECTION
  - LAUNDRY CHUTE LOCATION CONTAINED WITHIN 2 HOUR RATED SHIRT WITH RATED DOOR

- SYMBOL / FIXTURES KEY:**
- ACCESSIBLE ROOM
  - C.F. ROOM - REFER TO ENLARGED GUESTROOM PLANS FOR POWER AND SIGNAL
  - MAGNETIC DOOR HOLD OPENER TIED TO BUILDING ALARM SYSTEM - REFER TO DOOR SCHEDULE, ELEC. & PLUMBING DRAWINGS
- GENERAL NOTES THIS SHEET:**
- REFER TO ENLARGED GUEST ROOM PLANS FOR DOOR TAGS & TYPES
  - REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL FOR ADDITIONAL RECS FOR PASSENGER ELEVATORS, ELEVATOR LOBBIES & CORRIDORS
  - REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL FOR ADDITIONAL RECS FOR STORAGE AREAS
  - REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL FOR ADDITIONAL RECS FOR MECHANICAL, ELECTRICAL, & EQUIPMENT ROOMS
  - FIRE EXTINGUISHERS, SMOKE DETECTORS & OTHER EMERGENCY DEVICES TO BE LOCATED PER LOCAL CODE. FIRE EXTINGUISHER LOCATIONS WITHIN THE PUBLIC SPACE SHALL BE CONTAINED WITH FULLY RECEIPISED CABINETS
  - REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL FOR ADDITIONAL RECS FOR ROOFING MATERIALS
  - REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL FOR ADDITIONAL RECS FOR ROOFING MATERIALS
  - REFER TO STANDARDS FOR FIXTURE & EQUIPMENT RECS
  - REFER TO HADD FOR FURTHER ADDITIONAL RECS FOR PUBLIC SPACES & EQUIPMENT
  - FIRE ALARM SYSTEM SHALL HAVE PERMANENTLY INSTALLED AUDIBLE & VISIBLE ALARMS COMPLYING WITH NFPA 72 (1999 OR 2012 EDITION) & AS RECS BY LOCAL AUTHORITIES. ALARMS MUST BE LOCATED IN PUBLIC & COMMON USE AREAS & GUEST ROOMS DESIGNATED AS "GUEST ROOMS WITH COMMUNICATIONS FEATURES" AT A MINIMUM. WHERE EMPLOYEE AREAS HAVE AUDIBLE ALARMS, THE WIRING SHALL BE DESIGNED SO VISIBLE ALARMS CAN BE INTEGRATED INTO THE SYSTEM UNLESS GREATER STANDARDS ARE RECS BY LOCAL AUTHORITIES
- SCALE: 1/8" = 1'-0"
- 

DO NOT SCALE THE DRAWINGS. PURHIT ARCHITECTS, INC. ASSUMES NO RESPONSIBILITY FOR USE OF INCORRECT SCALE. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS. PRIOR TO PROCEEDING WITH CONSTRUCTION, IN THE EVENT THAT THE CONTRACTOR DISCOVERS ANY ERROR, OMISSION OR CONFLICT BETWEEN THE DRAWINGS, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER OR THE ARCHITECT AND SEEK CORRECTION OR INTERPRETATION THEREOF PRIOR TO STARTING THE AFFECTED WORK.

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Schaumburg, IL 60173  
Tel. (847) 220-8037  
Cell. (847) 757-1618  
shilpa@purhitarchitects.com  
www.purhitarchitects.com

**Home2 Hotel by Hilton**  
350 Knightsbridge Parkway  
Lincolnshire, IL 60069

**ISSUE INFORMATION**

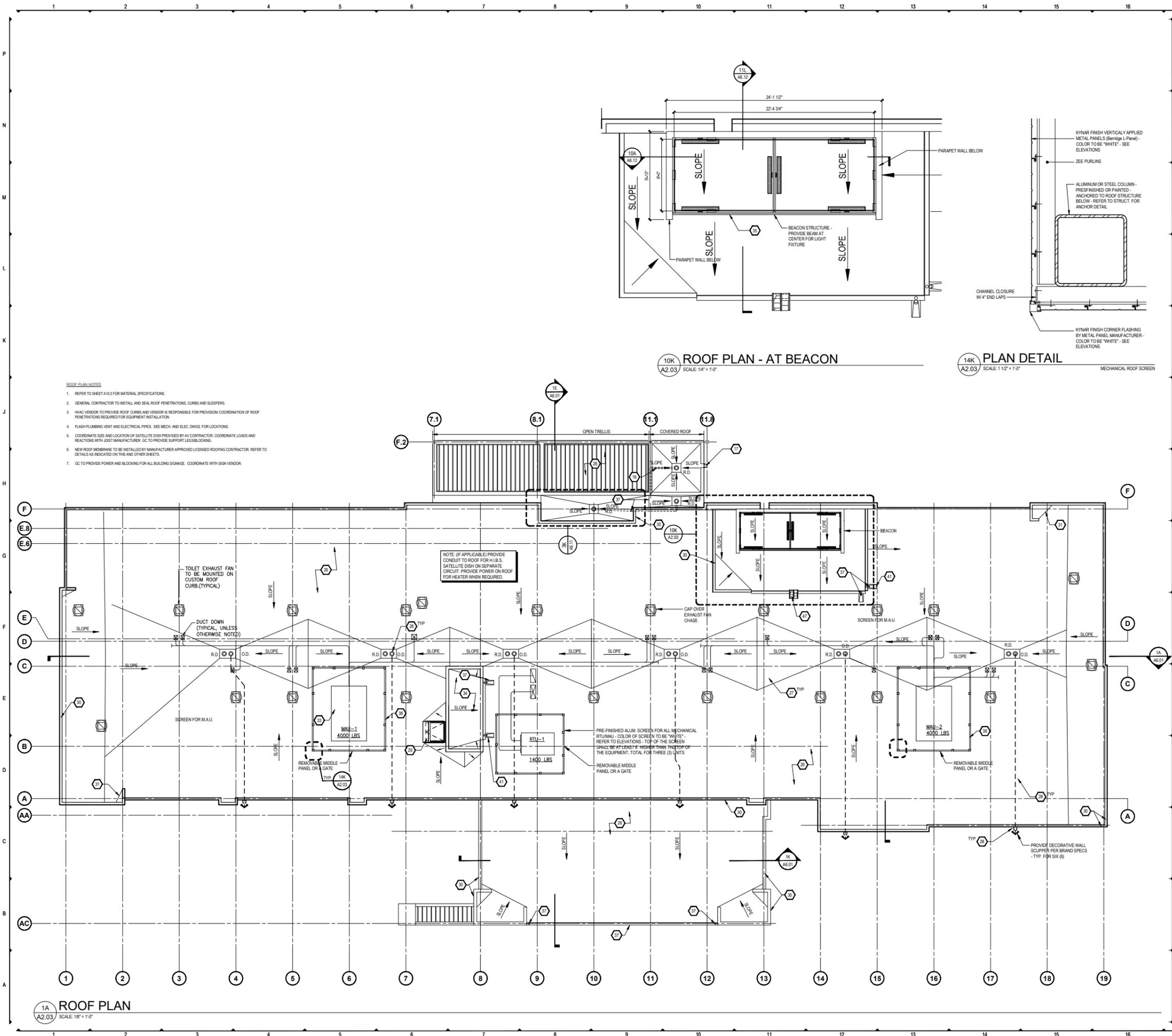
VERSION 2.2 REVISIONS	DATE	DESCRIPTION
02/25/2019	25% Preliminary Plans - Hilton	
03/06/2019	DRT submission to Village	
04/09/2019	DRT submission to Village	
06/07/2019	50% Design Dev. - Hilton	
06/18/2019	ARB submission to Village	
06/18/2019	ARB Meeting	
07/05/2019	ARB Re-submission to Village	
08/15/2019	Progress Draft Set - Client	
08/27/2019	Issued for Permit	

**SHEET INFORMATION**

**FIRST FLOOR PLAN**

PAI # 19112.00

**A2.01**



- KEY NOTES:**
- THIS ELEVATOR CAR SHALL PROVIDE EMERGENCY ACCESS TO ALL FLOORS AND BE LARGE ENOUGH TO ACCOMMODATE AN AMBULANCE STRETCHER
  - NOT USED
  - EGRESS STAR IN CONCRETE MASONRY STAIR ENCLOSURE
  - ALTERNATING TREAD STAIR FROM FOURTH FLOOR STAIR LANDING TO ROOF
  - LINE OF ROOF CANOPY ABOVE
  - NOT USED
  - MECHANICAL, ELECTRICAL AND PLUMBING CHASE - REFER TO MEP
  - CARRY CARPET PATTERN INTO DOOR TO TRANSITION STRIP AS INDICATED - REFER TO SHEET A10.03 FOR TRANSITION DETAIL
  - FLOOR DRAIN
  - PTAC UNIT
  - STAND PIPE MUST NOT ENCRoACH INTO AREA OF REFUGE
  - NOISE BIB - FROST FREE WHERE REQUIRED - REFER TO PLUMBING
  - HOTEL LAUNDRY EQUIPMENT - REFER TO ENLARGED PLAN
  - GUEST LAUNDRY EQUIPMENT - REFER TO ENLARGED PLAN
  - PROVIDE CONVENIENCE OUTLETS IN CORRIDORS FOR HOUSEKEEPING EQUIPMENT AT MINIMUM EVERY 50'
  - DAIRED LINE INDICATES PATH OF FULLY CONCEALED ROOF LEADER FROM CANOPY ROOF TO EXTERIOR WALL CAVITY.
  - CANOPY ROOF OVERFLOW SCUPPER
  - ACCESSIBLE ICE MACHINE WITH REQUIRED ACCESSIBLE APPROACH AREA. PROVIDE FLOOR DRAIN CENTERED UNDER ICE MACHINE AND PROVIDE POSITIVE SLOPE TOWARDS DRAIN WITHOUT AFFECTING ACCESSIBLE REQUIREMENTS. INSULATE DRAIN PIPES. REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL AND HADD FOR ADDITIONAL REQUIREMENTS FOR ICE MACHINE AREA
  - ROOF OF POOL BELOW
  - CANOPY TRELLIS BELOW
  - DRIVER VENT LOUVER - REFER TO ELEVATIONS
  - 30" x 30" MOP SINK LOCATION
  - MAINTENANCE DESK
  - WIRE SHELVING SYSTEM - REFER TO FF&E
  - FIRE EXTINGUISHER CABINET IN PUBLIC AREAS. INSTALLED SO THAT NO OBSTACLE PART IS HIGHER THAN 48" A.F.F.
  - MEMBRANE ROOF. SLOPED W/ TAPERED INSULATION TO DRAIN TOWARDS ROOF DRAINS/GUTTERS
  - TAPERED INSULATION CRICKET
  - ROOF LEADER AND OVERFLOW DRAIN
  - ROOF HATCH (IF 4'-0" x 16'-0" FT. MIN. AREA & 2'-0" MIN. WIDTH IN ANY DIRECTION, PER CODE. MAKE & MODEL. BLDG. FS. 18.49.48.8. THERMALLY BROKEN ROOF HATCH OR EQ. - ACCESSED VIA AN ALTERNATING TREAD STAIR
  - ROOF PARAPET - ROOFING MEMBRANE TO GO UP AND UNDER THE PARAPET COPING. TYPICAL
  - GRAVEL STOP EDGE
  - EXHAUST FAN
  - MAKE UP AIR UNIT ON ROOF CURB
  - ELEVATOR OVER RUN PENHOUSE
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  - LAUNDRY CHUTE VENT
  - ALUMINUM GUTTER AND DOWNSPOUT
  - MECHANICAL EQUIPMENT SCREEN TO BE AT LEAST 6" TALLER THAN THE TOP OF THE CONTAINED EQUIPMENT - PROVIDE CLEARANCE AND ACCESS AS REQUIRED BY EQUIPMENT MANUFACTURER AND/OR LOCAL CODE PROVISIONS
  - KEYBOARD READER ENTRANCE HARDWARE. MOUNTED SO THAT TOP OF READER IS MAXIMUM OF 48" ABOVE GRADE OR FINISH FLOOR.
  - PUSH BUTTON INTERCOM OR HOUSE PHONE (OPTIONAL VIDEO MONITORING). MOUNT SO TOP OF DEVICE IS MAXIMUM OF 48" ABOVE GRADE. PROVIDE CLEAR FLOOR SPACE AS REQUIRED BY ACCESSIBILITY AT DEVICE.
  - SPASH-LOCK
  - TRIP WASCOT 4" HIGH ON ALL SIDES INDICATED. PROVIDE APPROPRIATE VINYL EDGE TREATMENT
  - MECHANICAL LOUVER
  - FLUORESCENT FLOODLIGHT
  - EXPOSED CHU CORNER TO HAVE 1" RADIUS BALLNOSE
  - NOT USED
  - ALTERNATING TREAD STAIR TO UPPER ROOF
  - INDICATES DIRECTION OF CARPET PATTERN. REFER TO MFR FOR DIRECTION
  - LAUNDRY CHUTE LOCATION CONTAINED WITHIN 2 HOUR RATED SHIRT WITH RATED DOOR

- SYMBOL / FIXTURES KEY:**
- ACCESSIBLE ROOM
  - C.F. ROOM - REFER TO ENLARGED GUESTROOM PLANS FOR POWER AND SIGNAL
  - MAGNETIC DOOR HOLD OPENER TIED TO BUILDING ALARM SYSTEM - REFER TO DOOR SCHEDULE, ELEC. & PLUMBING DRAWINGS
- GENERAL NOTES THIS SHEET:**
- REFER TO ENLARGED GUEST ROOM PLANS FOR DOOR TAGS & TYPES
  - REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL FOR ADDITIONAL RECS FOR PASSENGER ELEVATORS, ELEVATOR LOBBIES & CORRIDORS
  - REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL FOR ADDITIONAL RECS FOR STORAGE AREAS
  - REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL FOR ADDITIONAL RECS FOR MECHANICAL, ELECTRICAL, & EQUIPMENT ROOMS
  - FIRE EXTINGUISHERS, SMOKE DETECTORS & OTHER EMERGENCY DEVICES TO BE LOCATED PER LOCAL CODE. FIRE EXTINGUISHER LOCATIONS WITHIN THE PUBLIC SPACE SHALL BE CONTAINED WITH FULLY RECESSED CABINETS
  - REFER TO HOME 2 SUITES BY HILTON STANDARDS MANUAL FOR ADDITIONAL RECS FOR ROOFING MATERIALS
  - ROOF SLOPE & NUMBER OF ROOF DRAINS PER LOCAL BUILDING CODES
  - REFER TO STANDARDS FOR FIXTURE & EQUIPMENT RECS
  - REFER TO HADD FOR FURTHER ADDITIONAL RECS FOR PUBLIC SPACES & EQUIPMENT
  - FIRE ALARM SYSTEM SHALL HAVE PERMANENTLY INSTALLED AUDIBLE & VISIBLE ALARMS COMPLYING WITH NFPA 72:1999 OR 2012 ADDITIONAL AS RECS BY LOCAL AUTHORITIES. ALARMS MUST BE LOCATED IN PUBLIC COMMON USE AREAS & GUEST ROOMS DESIGNATED AS "GUEST ROOMS W/ COMMUNICATIONS FEATURES" AT A MINIMUM, WHERE EMPLOYEE AREAS HAVE AUDIBLE ALARMS, THE WIRING SHALL BE DESIGNED SO VISIBLE ALARMS CAN BE INTEGRATED INTO THE SYSTEM UNLESS GREATER STANDARDS ARE RECS BY LOCAL AUTHORITIES

**SCALE: 1/8" = 1'-0"**

**ISSUE INFORMATION**

DATE	REVISIONS
02/25/2019	25% Preliminary Plans - Hilton
03/06/2019	DRT submission to Village
04/09/2019	DRT submission to Village
06/07/2019	50% Design Dev. - Hilton
06/10/2019	ARB submission to Village
06/18/2019	ARB Meeting
07/05/2019	ARB Re-submission to Village
08/15/2019	Progress Draft Set - Client
08/27/2019	Issued for Permit

**SHEET INFORMATION**

**ROOF PLAN**

PAI # 19112.00

**A2.03**

**HOME 2 SUITES BY HILTON**

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**Home 2 Hotel by Hilton**  
350 Knightsbridge Parkway  
Lincolnshire, IL 60069

**ISSUE INFORMATION**

**VERSION 2.2**

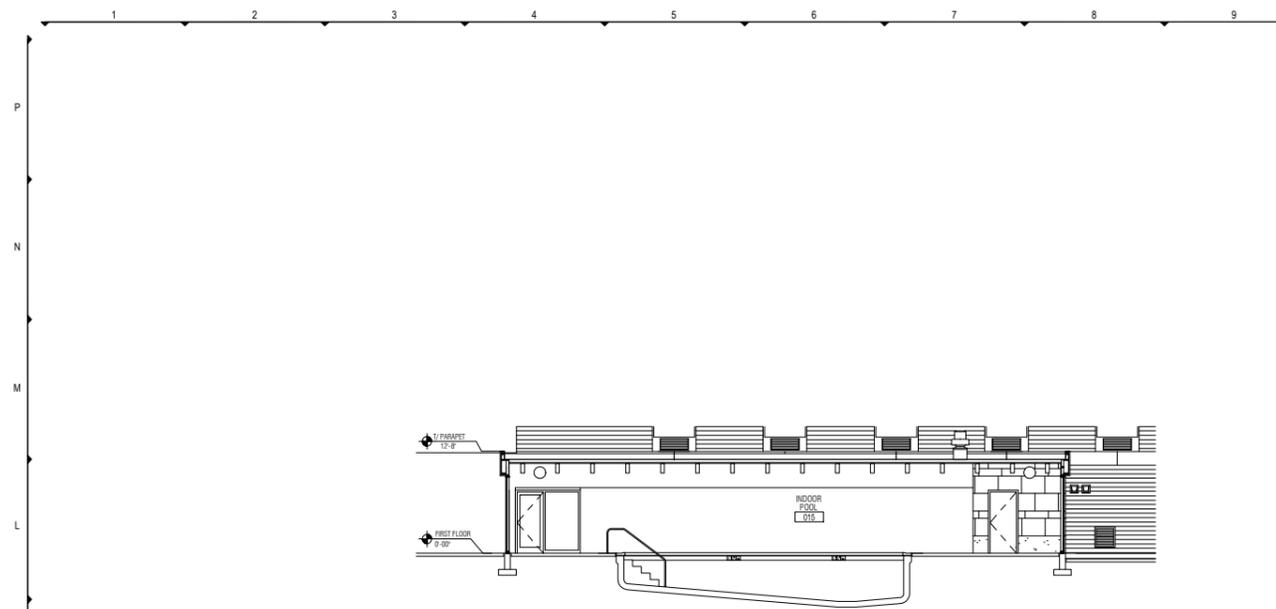
**REVISIONS**

**SHEET INFORMATION**

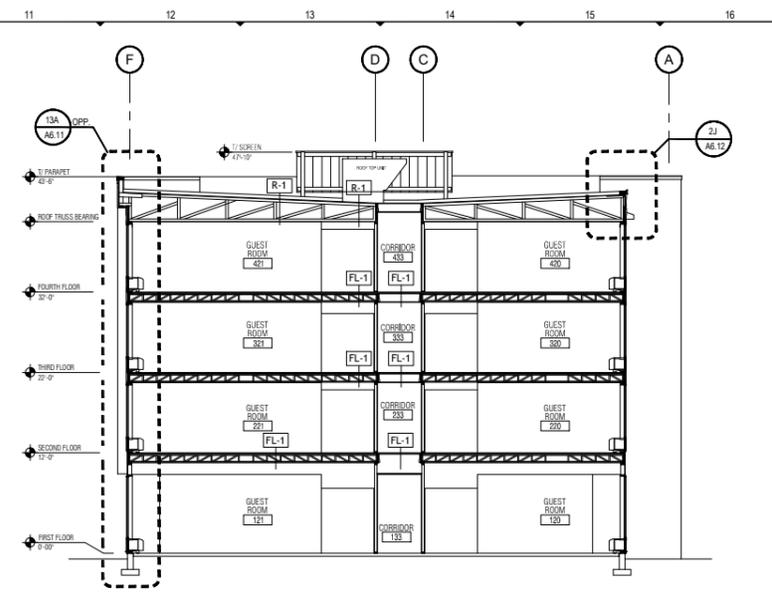
**ROOF PLAN**

PAI # 19112.00

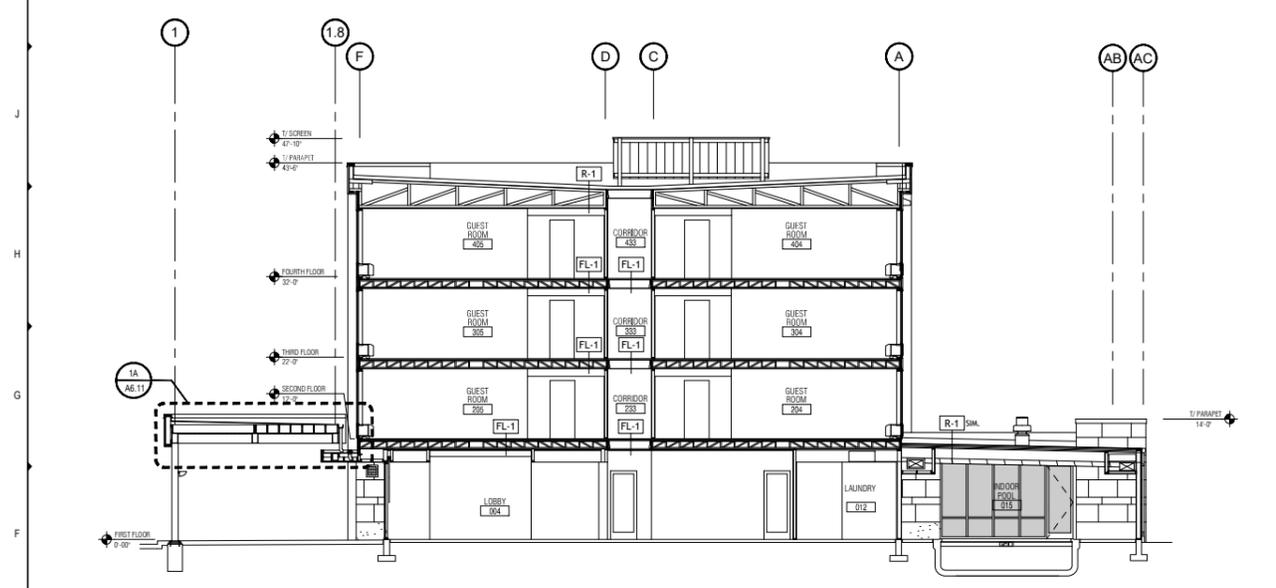
**A2.03**



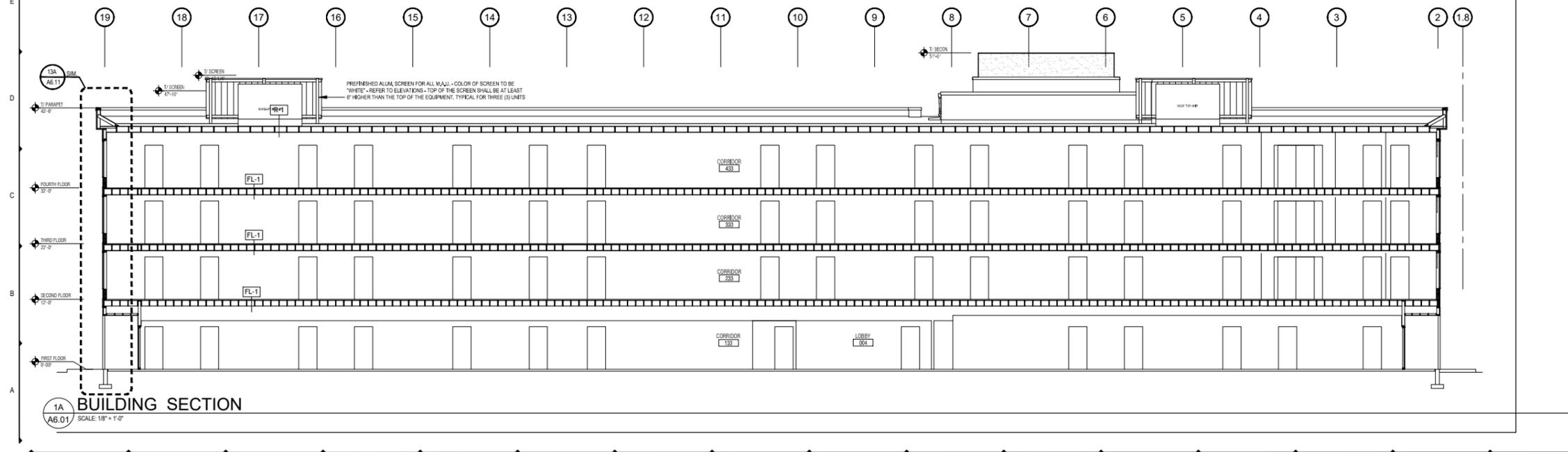
**1K BUILDING SECTION**  
A6.01 SCALE: 1/8" = 1'-0"



**11K BUILDING SECTION**  
A6.01 SCALE: 1/8" = 1'-0"



**1E BUILDING SECTION**  
A6.01 SCALE: 1/8" = 1'-0"



**1A BUILDING SECTION**  
A6.01 SCALE: 1/8" = 1'-0"

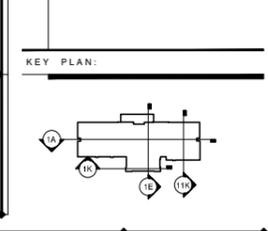
- KEY NOTES:**
- RYMAR FINISH ALUMINUM CORING SYSTEM - COLOR TO MATCH ADJACENT MATERIAL.
  - EXTERIOR WALL CONSTRUCTION: REFER TO A10.03.
  - EXTERIOR WALL CONSTRUCTION WITH CMU WALL AT STAIRS - REFER TO SHEET A10.03.
  - FINISH CONTROL JOINT - 3/4" DEEP
  - EXTERIOR WALL CONSTRUCTION: REFER TO SHEET A10.03. ENVELOPE CORE FINISH WEATHER AND AIR BARRIER EXTERIOR SHEATHING (SEE STRUCT.) INSULATION 2x6 WOOD FRAMING (SEE STRUCT.) GYPSUM BOARD
  - EXTERIOR WALL CONSTRUCTION: REFER TO SHEET A10.03. ENVELOPE SUPPORT FINISH WEATHER AND AIR BARRIER EXTERIOR SHEATHING (SEE STRUCT.) INSULATION 2x6 WOOD FRAMING (SEE STRUCT.) GYPSUM BOARD
  - EXTERIOR WALL CONSTRUCTION (NOT USED): ENVELOPE SUPPORT FINISH WEATHER AND AIR BARRIER CMU WALL
  - ROOF ASSEMBLY: REFER TO SHEET A10.03. ROOFING SYSTEM (WHITE) RIGID INSULATION EXTERIOR ROOF SHEATHING WOOD STRUCTURE GYPSUM BOARD CEILING
  - ROOF ASSEMBLY: REFER TO SHEET A10.03. ROOFING SYSTEM (GRAY) RIGID INSULATION EXTERIOR ROOF SHEATHING (SEE STRUCT.) PRE-ENGINEERED OPEN WEB VD. TRUSSES (SEE STRUCT.)
  - FLOOR ASSEMBLY: REFER TO SHEET A10.03. 1 1/2" OPPOSITE PLYWOOD SUB-FLOOR (SEE STRUCT.) PRE-ENGINEERED OPEN WEB VD. TRUSSES OR W.D. JOISTS (SEE STRUCT.) - FILLED COMPLETELY WITH BLOWN IN INSULATION GYPSUM BOARD CEILING
  - 2" TH. CONCRETE SLAB ON MIN. 10 MIL VAPOR BARRIER OVER GRAVEL FILL - REFER TO STRUCTURAL PLANS
  - PERIMETER INSULATION - MIN. 2" THICK & 24" VERTICAL & HORIZONTAL
  - CONCRETE FOOTING AND FOUNDATION WALL
  - APPROXIMATE GRADE LINE - REFER TO CIVIL PLANS
  - ALUM. FIXED WINDOW W/ WINDING FIN AND INTEGRAL ALUM. LOUVER - TO BE COORDINATED W/ MECHANICAL
  - ALUMINUM STOREFRONT SYSTEM WITH THERMAL BREAK
  - ALUMINUM WIDE STILE/ RAILS DOOR
  - GLASS BEACON: PROVIDE FRONT OUTSIDE GLAZED ALUMINUM HANDRAIL FRAMING SYSTEM - COLOR TO MATCH SUBROOFING CORING
  - ENVELOPE ACCENT FINISH
  - ENVELOPE ACCENT FINISH
  - PTAC UNIT - REFER TO MECHANICAL
  - SUSPENDED CEILING
  - ENVELOPE CANOPY W/ STAINED WOOD TRELLIS
  - EXPANSION JOINT
  - CONCRETE SIDEWALK
  - PRECAST CONCRETE NATURAL STONE PAVER
  - NOT USED
  - LIGHT FIXTURE - REFER TO ELECTRICAL
  - CONDENSATE PIPING - CONDENSATE DRAINAGE PIPING TO BE ROUTED DOWN THRU EXTERIOR WALL
  - SHADE SYSTEM FOR GUEST ROOM WINDOWS - BY FIVE VENDOR
  - NOT USED
  - ROOF ASSEMBLY AT STEEL CANOPY AT ENTRY: ROOFING SYSTEM (WHITE) EXTERIOR ROOF SHEATHING 2x6 WOOD FRAMING (REFER TO STRUCTURAL DWGS.) 2x6 WOOD FRAMING (SEE STRUCT.) INSULATION 2x6 WOOD FRAMING (SEE STRUCT.) GYPSUM BOARD CEILING
  - ROOFING SYSTEM TURNS UP WALL AND OVER PARAPET
  - SOLID FIRE BLOCKING AT ALL FLOOR LEVELS
  - PROVIDE 2x WOOD BLOCKING WITH FINISH SYSTEM AT ALL LIGHT FIXTURE ATTACHMENT LOCATIONS
  - PROVIDE CANE DETECTION BARRIERS FOR AREAS WITH HEAD CLEARANCE OF LESS THAN 8'0" A.F.F.
  - ROUTE RAIN LEADER FROM CANOPY ROOF TO VERTICAL LEADER IN EXTERIOR WALL CAVITY. LEADER TO BE FULLY CONCEALED ALONG ENTIRE RUN
  - DOWNSPOUT FROM UPPER PORTE COCHERE CANOPY ROOF
  - OVERFLOW SCUPPER

**FINISH KEY:**

EX 1.1	ENVELOPE - ACCENT METAL BAND - REFER TO A5.02
EX 1.2	ENVELOPE - CORE DIRECT FINISH - REFER TO A5.02
EX 1.3	ENVELOPE - WRAP - REFER TO A5.02
EX 1.4A	ENVELOPE - LINK - REFER TO A5.02
EX 1.4B	ENVELOPE - KEEP - REFER TO A5.02
EX 1.5	ENVELOPE - ACCENT OPTION - REFER TO A5.02
EX 1.6	ENVELOPE - CORE - REFER TO A5.02
EX 1.7	ENVELOPE - SUPPORT - REFER TO A5.02
EX 1.8	ENVELOPE - SUPPORT - REFER TO A5.02
EX 1.9A	BEACON - BEAM REVEAL - REFER TO A5.02
EX 1.9B	BEACON - BEAM BAND - REFER TO A5.02
EX 1.9C	ENVELOPE - BEAM DOWN - REFER TO A5.02
EX 1.10	ENVELOPE - CANOPY - REFER TO A5.02

**GENERAL NOTES THIS SHEET:**

- REFER TO HOME 2 SUITES BY HILTON STANDARD MANUAL GUIDE FOR ADDITIONAL INFORMATION REGARDING EXTERIOR MATERIALS, CONSTRUCTION REQUIREMENTS AND SIGNAGE REQUIREMENTS.
- GROUT COLOR TO MATCH EXTERIOR TILE OR MASONRY.



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**ISSUE INFORMATION**

VERSION 2.2 REVISIONS

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**SHEET INFORMATION**

**BUILDING SECTIONS**

PAI # 19112.00

**A6.01**



**MINUTES**  
**COMMITTEE OF THE WHOLE MEETING**  
**Monday, August 12, 2019**

**Present:**

Mayor Brandt	Trustee Harms Muth
Trustee Grujanac	Trustee Hancock
Trustee Leider	Trustee Pantelis
<del>Trustee Raizin</del>	<del>Village Clerk Mastandrea</del>
Village Attorney Asprooth	<del>Village Manager Burke</del>
Finance Director/Treasurer Peterson	<del>Public Works Director Woodbury</del>
Chief of Police Leonas	Assistant Village Manager/Community &
Assistant Public Works Director/Village Engineer Dittrich	Economic Development Director Gilbertson

**ROLL CALL**

Mayor Brandt called the meeting to order at 7:18 p.m., and Assistant Village Manager/Community & Economic Development (CED) Director Gilbertson called the Roll.

**2.0 APPROVAL OF MINUTES****2.1 Acceptance of the July 22, 2019 Committee of the Whole Meeting Minutes**

The minutes of the July 22, 2019 Committee of the Whole Meeting were approved as submitted.

**3.0 ITEMS OF GENERAL BUSINESS****3.1 Planning, Zoning and Land Use****3.11 Consideration of an Ordinance Granting a Special Use Permit to Construct a 113-Room Hotel in the Office/Industrial (O/Ib) Zoning Sub district; Building Height Variation; Setback Variations; Wall Sign Variations; and a Related Text Amendment for Hotel Parking Requirements (Knight Bridge Pky, LLC – 350 Knightsbridge Parkway)**

Assistant Village Manager/Community & Economic Development (CED) Director Gilbertson provided a summary including the petitioner's meetings with the Architectural Review Board (ARB) and the Zoning Board of the proposed Ordinance granting a special use permit to construct a 113 room hotel in the Office/Industrial (O/Ib) zoning sub district; building height variation; setback variations; wall sign variations; and a related text amendment for hotel parking requirements at 350 Knightsbridge Parkway. Assistant Village Manager/CED Director Gilbertson summarized the text amendment request, as well as the work the petitioner performed to satisfy the ARB's requests. Assistant

Village Manager/CED Director Gilbertson mentioned additional modifications to the landscape plan that would be forthcoming per the Lake County Stormwater Management Commission (SMC) request. A short video of drone aerial footage of the site was shown.

Trustee Grujanac inquired about the height of the current buildings to the front and east of the proposed hotel location. Assistant Village Manager/CED Director Gilbertson stated he did not know the height of these buildings offhand, but a survey was done for the Zoning Board portion of the review that compared the proposed hotel to buildings that surround or are immediately adjacent to the property. Other than the Nexis Pharmaceutical building, which is 2 stories, all other buildings are three stories or more. Other than the beacon feature of the hotel, the majority of the building complies with height restrictions.

Trustee Hancock inquired about the building materials, building color, and signage. Shilpa Purohit, Purohit Architects, provided additional detail on the overall building design. Discussion ensued regarding the street elevation, landscaping, and illumination of the beacon. Ms. Purohit stated they had adjusted illumination of the ground sign per the ARB's recommendation, and changed illumination of the beacon from internal to uplit based on feedback from Van Vlissingen.

Trustee Grujanac inquired about the landscaping maturity presented in the renderings. Jeff Torrens, Gary R. Weber Associates, provided additional detail on the landscaping. The renderings provided represent 2/3 growth. The evergreens being installed are 10' and all other trees will be 2 – 3" caliper inches when installed.

Assistant Village Manager/CED Director Gilbertson summarized the next stage of approval and recommended the Board conditional approval based on the revisions to the landscaping plans per direction from SMC, to which the Board consented.

It was the consensus of the Board to place this item on the Regular Village Board Agenda for discussion and approval at the next Regular Village Board Meeting, pending approval from SMC.

### 3.2 Finance and Administration

#### **3.21 ~~Consideration and Discussion of Approving Workers Compensation Insurance Coverage for the Period of January 1, 2020 to April 30, 2021 with the Municipal Insurance Cooperative (MICA) in the Amount of \$209,559.00 (Village of Lincolnshire)~~**

~~Finance Director/Treasurer Peterson provided a summary of the proposed workers compensation insurance coverage for the period of January 1, 2020 to April 30, 2021 with the Municipal Insurance Cooperative (MICA) in the amount of \$209,559.00.~~