



VILLAGE OF LINCOLNSHIRE

AGENDA **ARCHITECTURAL REVIEW BOARD** **Village Hall – Board Room** **Tuesday, January 21, 2020** **7:00 p.m.**

Reasonable accommodations / auxiliary aids will be provided to enable persons with disabilities to effectively participate in any public meetings. Please contact the Village Administrative Office (847-883-8600) 48 hours in advance if you need any special accommodations to attend. The Architectural Review Board will not proceed past 10:30 p.m. unless there is a consensus of the majority of the Architectural Review Board members to do so. Any agenda items or other business that are not addressed within this time frame will be continued to the next regularly scheduled Architectural Review Board Meeting.

CALL TO ORDER

1.0 ROLL CALL

2.0 APPROVAL OF MINUTES

2.1 Approval of December 16, 2019, Architectural Review Board Minutes

3.0 ITEMS OF GENERAL BUSINESS

3.1 Consideration and Recommendation of Site and Building Design, Signage, Landscaping, and Lighting for a Large, Full-Service, Recreation, Health, and Fitness Facility (90, 98, and 100 Hewitt Drive – TSJ Lincolnshire Property LLC)

4.0 UNFINISHED BUSINESS

5.0 NEW BUSINESS

7.0 CITIZEN COMMENTS

8.0 ADJOURNMENT



VILLAGE OF LINCOLNSHIRE

MINUTES ARCHITECTURAL REVIEW BOARD MEETING Monday, December 16, 2019

Present:

Chair Kennerley
Member McCall
Member Santosuosso
Alternate Member Killedar
Assistant Village Manager/Community &
Economic Development Director Gilbertson

~~Member Baskin~~
Member Orzeske
Member Tapia
~~Trustee Hancock~~
Planning & Development Manager Zozulya

1.0 ROLL CALL

Chair Kennerley called the meeting to order at 7:01 p.m., and Planning & Development Manager (PDM) Zozulya called the Roll.

2.0 APPROVAL OF MINUTES

- 2.1 Approval of the minutes of the Architectural Review Board (ARB) meeting held on Tuesday, November 19, 2019.

Member McCall moved and Member Orzeske seconded the motion to approve the minutes as presented for the Tuesday, November 19, 2019 Architectural Review Board meeting.

AYES: McCall, Santosuosso, Killedar, Orzeske, Tapia and Kennerley

NAYS: None

ABSENT: Baskin, Hancock

ABSTAIN: None

Chair Kennerley declared the motion carried.

3.0 ITEMS OF GENERAL BUSINESS

- 3.1 **Consideration of a Revised Comprehensive Sign Package for the 200 Tri-State International Office Building, CDW Office Center (Bradford Allen Realty)**
- 3.2 **Consideration of a New Wall Sign for Amerimark Interactive, 200 Tri-State International, CDW Office Center (Bradford Allen Realty)**

Kelly Morrissey, General Manager, Bradford Allen Management Services, presented an overview of the request for an amendment to the Planned Unit Development (PUD) comprehensive sign package for the 200 Tri-State International office building. She stated Amerimark Interactive, a \$7 billion company, initiated a long-term lease with Bradford Allen at the 200 Tri-State

International building. Ms. Morrissey presented the plans for the larger-than-permitted wall sign on the east (tollway facing) elevation, adding the sign will be backlit similar to the existing CDW and Wipfli signage.

PDM Zozulya stated this request received a favorable preliminary evaluation by the Village Board on November 25, 2019. She stated wall signage is currently governed by Ordinance No. 16-3393-120. She added that for the 200 Tri-State building, only one wall sign is allowed on the east elevation. In addition she stated the ordinance requires sign review by the ARB. PDM Zozulya stated the amended regulations will benefit the proposed Amerimark wall sign and any future replacement wall signs on the 200 Tri-State building.

Member McCall moved and Member Santosuosso seconded the motion that the Architectural Review Board recommend approval to the Village Board the proposed revisions to the comprehensive signage package for 200 Tri-State International, as presented in the petitioner's presentation packet dated December 9, 2019.

AYES: McCall, Santosuosso, Killedar, Orzeske, Tapia and Kennerley
NAYS: None
ABSENT: Baskin, Hancock
ABSTAIN: None

Chair Kennerley declared the motion carried.

Member McCall moved and Member Tapia seconded the motion that the Architectural Review Board recommend approval to the Village Board the proposed wall sign for Amerimark Interactive at 200 Tri-State International, as presented in the petitioner's presentation packet dated December 9, 2019.

AYES: McCall, Santosuosso, Killedar, Orzeske, Tapia and Kennerley
NAYS: None
ABSENT: Baskin, Hancock
ABSTAIN: None

Chair Kennerley declared the motion carried.

3.3 Approval of Parking Lot Design, Landscaping, Lighting and Trash Enclosure for Pear Tree Catering – 505 Bond Street (Pear Tree Catering)

PDM Zozulya presented an overview of the request stating only the ARB will review this petition as the ARB has the final approval in their purview to review minor amendments to code-compliant site plan improvements. She stated Pear Tree Catering will be relocating from Vernon Hills to Lincolnshire. The company will expand their staff at the Lincolnshire location and will require parking expansion from 28 spaces to 41 spaces. The parking lot improvements also include installation of new landscaping, replacement of existing parking lot and building lighting, and a new 6'-tall trash enclosure at the southeast corner of the building which will replace a smaller enclosure currently in the same location.

Alfred Teleron, MRV Architects, presented the site plans for the proposed parking lot expansion and trash enclosure. He added the owner of Pear Tree Catering, David Saletta, is planning a merger of his operations from both Vernon Hills and Northbrook to the new Lincolnshire facility. Mr. Teleron described the conditions of the parking lot and existing landscaping, noting two diseased trees will have to be removed to make room for parking. Mr. Teleron added they are working with the Lake County Storm Water Management Commission on storm water requirements for the parking lot expansion.

Member McCall asked Mr. Saletta to give a brief summary of his business. Mr. Saletta stated Banyan One Corporation purchased Pear Tree Catering three years ago and then purchased Hel's Kitchen Catering in Northbrook in August 2019 with the plan to relocate to Lincolnshire. Their company caters to major corporate events. Member McCall complimented their financial commitment to the project and Lincolnshire.

Chair Kennerley inquired about lighting on the site. Mr. Teleron said the current poles and wall lights are inadequate. The new poles will provide a more even distribution of lighting within code limits. Chair Kennerley said she would like to see some consistency in the design of both parking lot and building lights and suggested the petitioner and their design team verify whether the design consistency will be achieved.

Chair Kennerley inquired about the scope of the proposed landscaping. PDM Zozulya stated the petitioner has provided a landscape plan which includes multiple trees, shrubs, and grasses which will provide added visual interest.

Alternate Member Killedar inquired about site and building access, specifically the single access point and potential issues with delivery trucks and traffic flow. Mr. Teleron noted the design of the parking lot will allow space for trucks to park and/or unload out of the way of traffic flow.

Member Santosuosso moved and Member McCall seconded a motion that the Architectural Review Board approve the proposed parking, landscaping, lighting, and trash enclosure plans for Pear Tree Catering at 505 Bond Street, as presented in the petitioner's presentation packet dated December 9, 2019 and further subject to consideration of consistency in exterior lighting fixture design and trash enclosure doors to complement the existing building.

AYES: McCall, Santosuosso, Killedar, Orzeske, Tapia and Kennerley
NAYS: None
ABSENT: Baskin, Hancock
ABSTAIN: None

Chair Kennerley declared the motion carried.

3.4 Continued Workshop regarding Site and Building Design, Signage, Landscaping, and Lighting for a Large Full-Service, Recreation, Health, and Fitness Facility (TSJ Lincolnshire Property LLC)

PDM Zozulya stated the ARB held a workshop on November 19, 2019, to review The St. James site and building design. That workshop provided valuable feedback to the petitioners which is summarized in the staff memo dated December 16, 2019. PDM Zozulya stated the petitioner submitted revised plans and a cover letter detailing their responses to the ARB's comments. PDM Zozulya reiterated the purview of the ARB's role per Village Code Section 6-14-5. PDM Zozulya noted Village staff and other agencies will also be reviewing this project. She added this is a continued workshop, no recommendation is to be made, and the petitioner is seeking additional feedback on the revisions.

Michael Kerin, Director of Real Estate Development, TSJ Property LLC, introduced the mission and purpose of The St. James. He stated TSJ will provide a high-quality facility and create a positive influence on the Lincolnshire community. He added revisions were made to the building design, site plan, landscape, and bus and truck loading logistics. The TSJ team will also address future development of outlots as part of an overall master plan.

Andrew Jacobsen, Architect, Gensler Associates, presented scaled diagrams of the proposed building in relation to the existing site conditions and other area development in Lincolnshire. He further discussed changes made to the building elevations and color scheme, noting the interior pool/waterpark have been pushed back from the main façade to create opportunity for additional landscaping in the front of the building. Color selections have been refined on both the fieldhouse and façade elevations.

Chair Kennerley stated her support of the project and concept. She questioned the monument signage; specifically, whether visitors will know what The St. James is? She suggested adding a description of the business on the sign. Mr. Kerin said this suggestion will be discussed with the marketing team. Member Tapia inquired about their marketing and business plan. Mr. Kerin replied the facility will include a full-size health club, volleyball courts, basketball courts, two full-size hockey rinks, a swimming pool, a spa, a squash park, a store, and a restaurant. He emphasized The St. James will be a sports and lifestyle entertainment venue to include sports programming and various membership levels for the use at the facility. Member Santosuosso noted the monument sign does not reflect the revised building design changes with regard to the "swoosh". Mr. Kerin said that will be noted for revision.

Regarding site circulation and parking, Mr. Kerin stated they conducted a user survey of the Springfield facility in Virginia on peak and non-peak days. On a particular Sunday, they had approximately 4,000 to 5,000 people pass through for various activities which was peak usage.

Chair Kennerley suggested they take out the ground-mounted walls in the front entry landscaped area as this may pose a hazard for people possibly sitting there and crossing lanes of traffic to go back into the building.

Member McCall inquired about the façade changes. Mr. Jacobsen reviewed the front façade changes, including the outdoor eating area, noting the gymnastics area was pushed back into the building to allow the new façade design. There was discussion regarding roofing materials. It was determined the fieldhouse will consist of TPO roofing material.

Chair Kennerley discussed upward motion, verticality which does not seem consistent in the elevations of the building façade. Mr. Jacobsen stated the design is meant to give a perception of movement while still reinforcing the vertical element and giving the appearance of motion. Chair Kennerley expressed difficulty in seeing the verticality of the building. She believed the offset in the exterior design is distracting.

Member McCall inquired about egress at emergency doors. Mr. Kerin noted the doors throughout the building are designated as security and will be alarmed. .

There was discussion regarding roof elevations of the fieldhouse and building entry. Member Santosuosso inquired about building placement on outlots and whether future building development can be prevented from blocking the front entrance view. Mr. Kerin stated while they have control over the lots, they have to determine the highest and best use. They have approval for a hotel, restaurant, and general entertainment uses, adding they want to preserve the entry view but will have to consider proposals. Member Santosuosso noted the “swoosh” at the east end could potentially be blocked by future development of the outlots.

Member Orzeske noted his concerns regarding the TPO material and appearance of seams/wrinkles which will be very visible. Member Santosuosso noted the east and west elevations are still very stark. Mr. Jacobsen noted the proposed landscape will soften the lines. Member Orzeske suggested TSJ cut down massing with different colors. Mr. Jacobsen noted the precast panels are structural. They will look at different colors and use landscaping to soften the elevations. Member Orzeske asked them to look at increased fenestration. Mr. Jacobsen indicated they are looking into that option.

Scott Willson, Civil Engineer, Kimley-Horn, discussed the revisions made to the site plan based upon ARB comments. He indicated the addition of a right-hand turn lane has been added 100' north of Half Day Road which will allow traffic to access the east parking lot bypassing the drop-off area. Another access drive was added along the east property line of the future development of Outlot 2 to access the northwest parking lot. Parking was reduced in the west lot which resulted in additional landscape to be added to the site. In regards to concern for bus parking, Mr. Willson stated they are able to provide parallel parking at the north end of the property measuring 45' long for a total of 11 bus spaces. Member Tapia inquired about bus drop-off, and Member Orzeske inquired about the turning radius for buses. Mr. Willson stated there is a pedestrian walkway on the east side of the building. Chair Kennerley inquired about a bus-only drop-off area. Mr. Willson stated staff will be outside on peak days to direct traffic and that he does not anticipate buses circling throughout the site. Mr. Kerin stated communication packets are distributed to participants prior to large events, and TSJ staff will assist in traffic control and parking operations. Member Santosuosso

commented if a person had to park at the far end of the lot, he estimated that patrons will have to walk over 1000' to get to the main entrance. Mr. Willson said based upon observations at the Springfield Virginia facility which has 100 fewer parking spaces, the highest occupancy indicated less than 50% of spaces were used on typical weekday, with 75% of spaces occupied in the early evening. He also added that staff will be directed to park at furthest spaces for large event days. The St. James team observations at the Springfield TSJ indicated 20% of vehicles entering utilized the drop-off area. On a day to day basis; he does not anticipate patrons having to utilize the remote parking spaces.

Mr. Willson discussed the queuing properties of the entrance of the Springfield TSJ which indicated at no time did traffic back up to roads leading into the site entrance. Member Killedar inquired about emergency access and patron traffic. Mr. Willson stated emergency vehicles have multiple access points off the main drive.

Mr. Willson presented a schematic of circulation including development of the outlots; which indicated multiple ingress/egress on each outlot with appropriate signage on each outlot to deter illegal parking.

Keith Demchinski, Landscape Architect, Kimley-Horn, presented the landscape plan revisions based upon the previous recommendations made by the ARB. He noted changes to the site plan allowed for 30 additional trees to be added to the plan. Additional sidewalks have been added along the building and certain parking areas onsite. Additional evergreen trees have been added along the building foundation to provide more screening as well as additional canopy trees on the east elevation. Mr. Demchinski indicated larger berms were added along the future development areas, west side of the property, and north end of property. Mr. Demchinski stated the total tree count will be 350 deciduous, 4" caliper trees which exceeds code requirements. Chair Kennerley requested information regarding the percentage of evergreen trees in the landscape plan. Mr. Demchinski stated he will have this information for the next ARB meeting. Chair Kennerley stated the entryway needs to have more emphasis on landscape variety. She noted the backless bench styles indicated on the plan may be used as bike racks and asked for a backed bench style. Chair Kennerley suggested planting evergreens without branches to avoid snow load; eliminating day lilies; and adding additional grasses and red twig dogwood.

Cindy McDonough, a Wood Creek Courts resident along Half Day Road, inquired about the existing landscaping along Half Day Road. Mr. Demchinski stated existing trees along Half Day will remain within designated buffers/conservancy areas, with no additional landscaping proposed as this area is in a protected wetland area.

Eric Kennerley, Architecture Student, University of Oregon, commented on the roof line and façade, stating the trapezoid line does not draw the eye to the front and suggested continuing the box shape. There was discussion regarding roof structure design, height requirements for the indoor fields, and scale and sculptural form of the open entry. Mr. Kennerley commented design and balance is meant to bring/draw patrons into a space. Mr. Jacobsen appreciated his comments on design and efficiency.

Chair Kennerley summarized the comments for the petitioner to consider for their next ARB submittal for further review:

- Change the roof material from TPO to metal.
- Add more color and evergreens at the Half Day Road entrance, with variations in height and layering.
- Place identification of The St. James services on the monument sign face.
- Eliminate ground-mounted stone walls within entrance medians adjacent to the road due to pedestrian safety concerns.
- Propose a bench style with a back.
- Provide a sample of a proposed building scalloped pre-cast material. Further articulate the east and west façade to break up the mass and stark appearance.

4.0 UNFINISHED BUSINESS – None

5.0 NEW BUSINESS – None

6.0 CITIZENS COMMENTS – None

7.0 ADJOURNMENT

Member Santosuosso moved and Member Killedar seconded the motion to adjourn the Architectural Review Board Meeting. The voice vote was unanimous and Chair Kennerley declared the meeting adjourned at 10:03 p.m.

Minutes submitted by Carol Lustig, Administrative Assistant, Community & Economic Development Department.



ITEM SUMMARY

Reviewing Body:	Architectural Review Board
Meeting Date:	January 21, 2020
Subject:	The St. James Private and Public Recreation Facility
Property Address:	90, 98, and 100 Hewitt Drive
Petitioner:	TSJ Lincolnshire Property LLC
Action Requested:	Consideration and Recommendation of Site and Building Design, Signage, Landscaping, and Lighting for a Large, Full-Service, Recreation, Health, and Fitness Facility
Prepared By:	Tonya Zozulya – Planning & Development Manager
Staff Recommendation:	Recommendation to the Village Board
Meeting History and Tentative Meeting Schedule:	Committee of the Whole (Preliminary Evaluation) – February 25, 2019 Architectural Review Board (Workshop) – November 19, 2019 Architectural Review Board (Workshop) – December 16, 2019 Architectural Review Board (Consideration) – January 21, 2020 Committee of the Whole (Public Hearing) – February 10, 2020 Regular Village Board – February 24, 2020
Reports and Documents Attached:	1) Location Map 2) Petitioner’s Presentation Packet, submitted by TSJ Lincolnshire Property LLC, with the cover letter dated January 16, 2020 3) Building height comparison exhibit, prepared by staff

Background

- At the December 16, 2019, Architectural Review Board (ARB) meeting, the ARB held a second workshop to review site and building design, signage, landscaping, and lighting for the proposed The St. James recreation, health, and fitness facility. The ARB provided further feedback and direction for continued ARB review regarding enhancements to the site and building design as listed below (see the attached meeting minutes for details):
 1. Change the roof material from TPO to metal.
 2. Add more color and evergreens at the Half Day Road entrance, with variations in height and layering.
 3. Place identification of The St. James services on the monument sign face.
 4. Eliminate ground-mounted stone walls within entrance medians adjacent to the road due to pedestrian safety concerns.
 5. Propose a bench style with a back.
 6. Provide a sample of the proposed building scalloped pre-cast material. Further articulate the east and west façades to break up the mass and stark appearance.



Revised Plans

- The petitioner submitted revised plans and a new cover letter detailing their responses to the ARB's comments and revisions made per the ARB direction and subsequent discussions with staff (see attached Document 2).
- As a reminder, the ARB should review this proposal keeping in mind the following items within the ARB's purview per [Village Code Section 6-14-5](#):
 - Exterior architectural design
 - Arrangement
 - Building massing and scale
 - Height and appearance
 - Color and texture of exterior materials
 - Landscaping
 - Entrance ways
 - Lighting
 - Off-street parking facilities
 - Signage
 - Similar design elements

Staff Recommendation

- Staff recommends additional consideration and recommendation of approval to the Village Board.

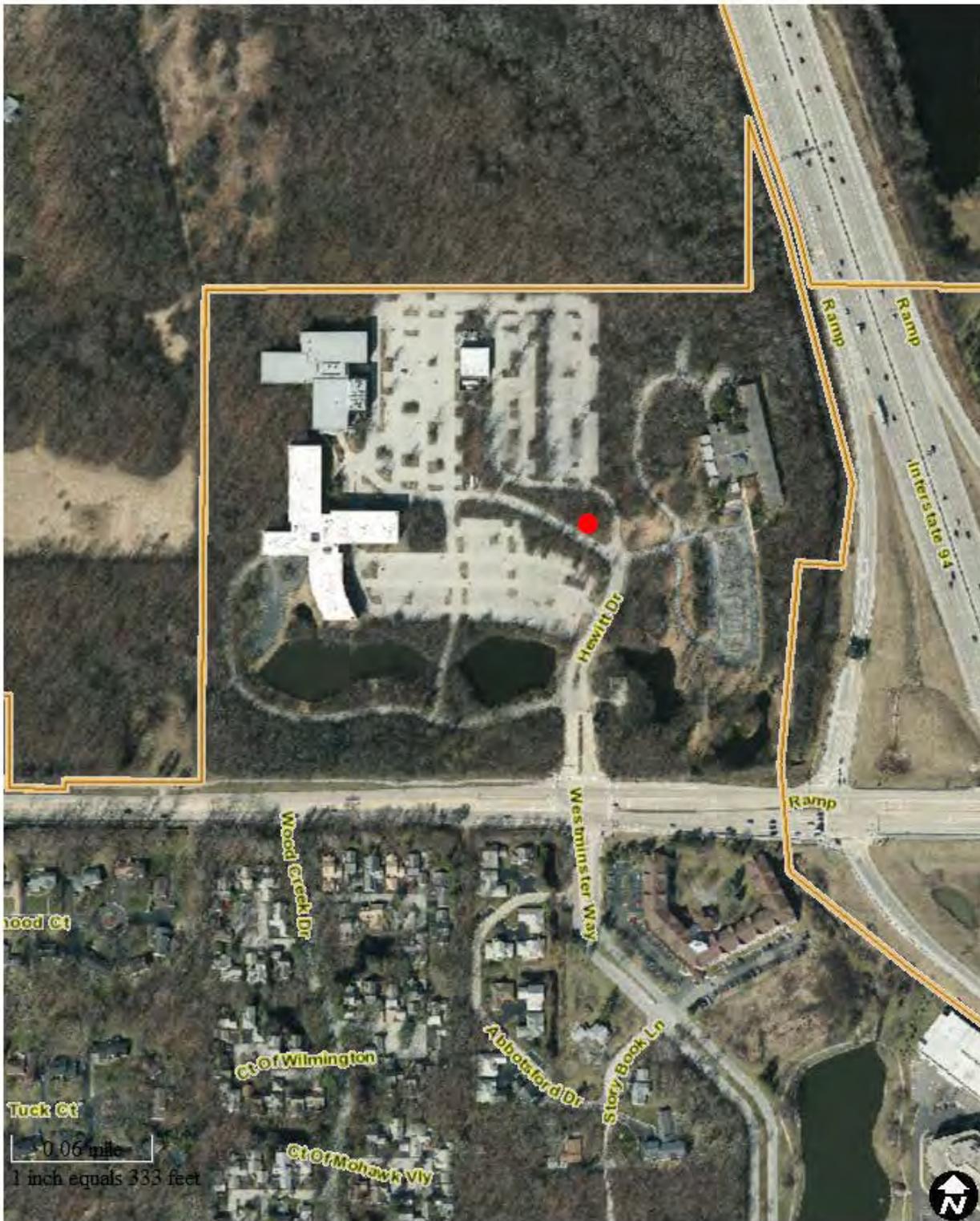
Approval Process

Following the ARB consideration and recommendation, the Village Board will conduct a public hearing regarding a major amendment to the Planned Unit Development and may grant potential approval.

Motion

The Architectural Review Board moves to recommend approval to the Village Board the proposed site and building design, signage, landscaping, and lighting for a large, full-service, recreation, health, and fitness facility at 90, 98 and 100 Hewitt Drive, as presented in the petitioner's presentation packet, with the cover letter dated January 16, 2020, and further subject to. . .

[Insert any additional conditions or modifications]



Map created on November 12, 2019.
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January 16, 2020

ARB Committee
Village of Lincolnshire
One Olde Half Day Road
Lincolnshire, IL 60069

Re: 90, 98 and 100 Half Day Road – ARB Workshop

Dear ARB Committee:

Thank you very much for providing The St. James the opportunity to present our plan for the redevelopment of the 43-acre parcel located at the northwest corner of Route 22 and I-94 (the “Property”). We appreciate your input and guidance regarding our plan to create a premier destination for sports, entertainment, hospitality and wellness within the Village of Lincolnshire.

The following are comments from the ARB Board that arose during our ARB Workshop on December 16, 2019, and our responses to those comments:

1. East façade – explore continued methods to break up the east side façade using architectural elements and landscaping

***Response:** The design has been revised to add additional insets in the façade reinforced by the landscape design. Additional canopy trees have been added to respond to the remainder of the façade. Please reference revised East Elevation Perspective.*

2. West façade – explore continued methods to break up the west side façade using architectural elements and landscaping.

***Response:** The west rendering has been provided to provide additional context to the depth of massing on the façade for the user experience at the west parking lot.*

3. Façade – provide sample of precast with proposed scalloped pattern; cite examples of building that have this pattern (this will help address the east façade questions)

***Response:** A view closer to the building from the east façade has been provided to help provide additional context and understanding of scale for the scalloped façade. In addition to the material boards being provided, we’re also providing a model of what the scalloped precast façade looks like.*

4. Signage – currently says “The St. James”; suggestion to add more description so it’s more obvious we are a sports and entertainment complex.

***Response:** The St. James has taken this into consideration but the brand standard for signage is to have “The St. James” brand stand alone.*

5. Signage – design mimicked the building swoop turning down at the east side. Now the building doesn’t do that; reevaluate the signage design.

***Response:** Gensler has updated signage design to match current building profile.*

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6. Landscaping – eliminate wall breaks at the entrance median and replace with plantings.

Response: *Free standing stone walls which may encourage seating will be removed from the median.*

7. Landscaping – replace some of the deciduous trees with evergreens to give more interest to the site during winter; focus on the front entrance.

Response: *Evergreen trees have been added along each side of St. James Way for year-round interest and color and winter interest as well as to frame views upon entry. Additionally, evergreen shrubs, Juniper and Cotoneaster, are proposed along the edges of pedestrian sidewalks between the north and south parking fields on the east side of the building and the primary north/south sidewalk along the west side of the northeast parking field. The landscape plan prepared for the December 16, 2019 ARB Meeting contained 71% deciduous trees and shrubs and 29% evergreen trees and shrubs. The revised landscape plan now contains 51% deciduous trees and shrubs and 49% evergreen trees and shrubs (all quantities exclude ornamental grasses and perennials).*

While not evergreen shrubs, massing's of ornamental grasses were added along the entry drive parkway to add softness, light and movement to the landscape as you enter the site. Low Juniper shrubs and Cotoneaster are also proposed along the perimeter of many of the site's pedestrian walkways to define the sidewalks and add to the winter season color in the landscape.

8. Landscaping – avoid evergreens that have branches that grow upwards because of snow loading.

Response: *Upward branching evergreens will be replaced with a different evergreen species.*

9. Landscaping – replace day lilies with a type of planting that gives more color

Response: *Daylilies have been replaced with Coreopsis (yellow flower) which blooms from May through October and offers more color variety to the planting beds throughout the site. Arctic Fire Red Twig Dogwood, a spring flowering shrub with a white bloom, has also been added to parking lot islands, the turnaround island, and within landscape beds at the entry plaza for additional winter interest and color.*

10. Site furnishing – evaluate placement of backless benches; potential to be used as bike racks

Response: *Backless benches will be replaced with backed benches.*

11. Fieldhouse Roof Material – evaluate roofing material for areas exposed to pedestrian view; concern with TPO seams.

Response: *The fieldhouse roof design now incorporates standing seam metal roofing material at the roof areas exposed to pedestrian view. TPO membrane roofing material is incorporated at roof areas not visible. Please reference Page 34 "Materials Building" included in the Supplemental ARB Review #3 Package dated January 21, 2016.*

Standing Seam roofing is a type of seam between adjacent sheets of metal roofing material made by turning up the edges of two adjacent panels and then folding or interlocking them in a variety of ways.

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TPO stands for thermoplastic polyolefin, a single-ply roofing membrane that covers the surface of the roof. The name is a bit misleading, because rather than being a plastic, TPO is actually one of a few different types of rubber, usually a blend of polypropylene and ethylene-propylene rubber.

The following are comments from the ARB Board that arose during our ARB Workshop on November 19, 2019, in preparation for the December 16, 2019 ARB Meeting, and our responses to those comments:

Scale down the building, and provide continuity of materials on the building exterior with emphasis on breaking up the mass:

We received important feedback at our ARB workshop and have submitted design improvements recognizing intended further developments which also respond to ARB comments. While The St. James is a large facility, we have made every effort to break down the scale, screen the larger elements with landscaping, and create an open view to interior and exterior activity across the entire entry façade. The main façade is highly articulated and centers on a generous glazed entry condition.

Regarding the perceived length of the building, as a first step we have pushed the pool and waterpark 100'-0" back from the main façade, and placed a landscaped area in front of it, shortening the visible building by 190'-0" in width. Then we have set back the gymnastics area and created a different façade rhythm and a darker color, again perceptually shortening the main façade by roughly 100'-0" and creating a series of four distinct elements in the front of the building all living under one roof. Each of these elements is scaled to a more human proportion in its shortened width.

The visible building is already quite low in height at 45'-0" and is consistent with the height of the current office buildings on site. This front building stands so far forward of the larger field house, that in eye level views the taller elements are almost never visible – including the mechanical units. Additionally, by using a long diagonal canopy, the effective height of the building to a pedestrian comes all the way down to 15' at the southwestern edge. Therefore, we have focused on scale and composition about the length of the façade, not the height.

We had our Civil Engineering Team review lowering the fieldhouse finished floor elevation and have determined that it cannot be lowered below the current finished floor elevation of the building. There is a careful balance between parking/building elevations and the conveyance of stormwater in a flooded condition on this site. The 100-year overflow route that is conveyed along the rear drive is designed to be no closer than one foot below the lowest opening to the fieldhouse. If we were to lower the floor even 6 inches, the parking lot would flood the building in a 100-year event. There is little to no flexibility in lowering the building due to stormwater requirements and floodplain elevations within the adjacent North Branch of the Chicago River. Furthermore, we need to be aware that there are life-safety considerations. It is in the best interest of the health, safety, and welfare of the general public to align the adjacent ground plane to maintain convenient and safe egress pathways. If the building were to be placed lower than the ground plane, it would complicate egress pathways by introducing stairs and/or ramps at every doorway and utilize more the public pathways outside of the building. For these reasons, we have determined that the fieldhouse building should remain at the current elevation.

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Put the building in context with the community; provide information on how The St. James brand relates to Lincolnshire:

The St. James features best-in-class facilities, programming, instruction, training and active fun in an environment that will engage, inspire and delight everyone who comes through our doors.

The St. James Sports Complex aims to be a center of the social community at Lincolnshire, where people will come to celebrate the best moments of their lives. The design will be clean and bright and will be executed with the highest level of quality and refinement. It will have a magnetic presence that will draw people in and create a positive energy in the local community.

Lincolnshire has a rich diversity of buildings - from some carefully detailed smaller brick buildings, to some larger commercial office buildings and even some nearby warehouse facilities. This diverse set of buildings upholds the Lincolnshire design guideline: "new construction and redevelopment should be mindful of the existing architectural context but should establish its own unique identity and place within Lincolnshire to avoid producing undistinguishable environments".

One can see that we have achieved a landscape plan well above code compliance and have created modestly sized areas for parking, without too great a width to cross before accessing a tree-lined walking path to the building entrance.

Provide renderings of the proposed building to human scale:

We have included several renderings and perspectives from a human vantage point in the ARB Supplemental Submittal dated December 10, 2019.

Provide a Master Plan for site and future development of outlots:

To satisfy this request, and for point of reference only, we have included an example of how the future lots could be developed and have included it on the vehicular circulation exhibit to help illustrate how the site would flow in the ARB Supplemental Submittal dated December 10, 2019.

Break up the parking lot with landscaping, open and/or green spaces for pedestrians:

Since the ARB Workshop on November 19, 2019, the following revisions were made to the site plan to accommodate additional parking lot landscaping, open space and safe pedestrian movement through the site:

- A boulevard, which intersects the north and south parking lots on the east side of the site was added to the site plan and contains an alley of trees, groundcover, and a pedestrian sidewalk.
- An additional sidewalk was added to the west side of the southeast parking area for safe and direct pedestrian access to and from the main building entry.
- An underground detention system was redesigned to allow for parking lot islands that previously didn't contain parking lot trees, to now include trees, ornamental grasses and perennials.

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- The sidewalk along the east side of the building, the primary pedestrian access for visitors parking in the northeast parking area, was widened to 12' to allow for canopy trees along the east side of the sidewalk in addition to proposed evergreen and upright columnar trees along the foundation of the building west of the sidewalk.
- In total, (30) additional trees and approximately 7,000 square feet of green space was added to the site.

Enhance the scale and design of the plaza:

New perspectives have been added to the ARB Supplemental Submittal dated December 10, 2019, in effort to better illustrate the design and scale of the plaza.

Review traffic circulation; bus stacking/parking, and front entry drop off and loading:

The St. James operations team at the Springfield, VA facility has indicated that on busy event days, they have witnessed at most (8) buses parked within the parking lot areas. It was also indicated that there are instances where buses have left the property until the time at which they returned to pick up the participants. The updated Site Plan included in the ARB Supplemental Submittal dated December 10, 2019, reflects areas at both the northeast and northwest corners of the parking lot that can accommodate a total of (11) buses (45' length typical Greyhound buses) in parallel parking spaces.

A traffic circulation plan has been provided in the ARB Supplemental Submittal dated December 10, 2019, and will be reviewed as part of our next ARB presentation that includes additional entry lanes into the east and west parking lots to allow for an increased distribution of traffic into The St. James development. In addition, and for reference only, example site plans for the future development lots include traffic circulation ingress/egress within the development.

The St. James engaged Kimley-Horn's office local to the Springfield, VA facility to study the parking and drop-off operations on a typical weekday and an event day on the weekend where a high number of guests were anticipated. The following information is for your review and consideration to address concerns about stacking within the drop-off area and parking demands on a unique facility of The St. James type:

On a typical day, based on parking observations from 5:00 AM to 9:00 AM, there is minimal activity during the morning, with less than (100) vehicles parked in any given hour. The maximum amount of observed parked cars during the morning was (76) vehicles, which left about 90-percent of the site open and available for use. Based on observations from 3:00 PM to 9:00 PM, there is more afternoon and evening activity, however the number of parked vehicles never exceeds more than 50-percent of the total parking supply. The peak hour of parking activity was during the 7:00 PM hour (354) vehicles. It is noted that this peak activity of the facility is outside the typical commuter peak hour that is the subject of traffic studies. It is also noted that parking during the 8:00 PM hour falls sharply, suggesting that late evening parking concerns are unlikely. There were no other notable parking observations; the facility has ample capacity to accommodate typical day parking needs.

On an event day, based on parking observations from 8:00 AM to 6:00 PM, significant parking activity occurs early in the morning, coinciding with scheduled sporting events/activities. The 8:00 AM event day count indicated more parking than most of the hours observed during the typical day. The number of

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parked vehicles exceeds 50-percent of the total parking supply between the hours of 10:00 AM and 5:00 PM and parked vehicles steadily increase hour by hour. The peak hour of parking activity was during the 3:00 PM hour (586) vehicles. It is noted that the number of parked vehicles began to fall at 4:00 PM which coincided with the end of one of the major activities on the observation day. Even with a surge of parking activity, the total parking supply has ample capacity to accommodate event day hourly parking demand. At peak, there were still (195) spaces unoccupied (25-percent of available spaces).

With respect to observations of the front entry drop-off and loading area, on a typical day the area is sparingly used during the morning. The area is more utilized during the evening coinciding with the beginning of evening scheduled activities. Due to the sporadic nature of vehicle arrivals, queues formed sparingly throughout the 4:00 PM to 9:00 PM hours. On the typical day the maximum observed queuing was (7) vehicles. The max queue was observed only a handful of times. On an event day, the area is used with greater frequency and peak activity coincides with the scheduled start/end of activities. At these times, the combination of pick-up/drop-off activities with a significant number of pedestrians traversing between the building and the parking area, results in queuing and congestion in the pick-up/drop-off area. The maximum queue was (8) vehicles. Over the course of a typical hour, average queues of 4- to 7-vehicles formed 5- to 10-times. At no time did the maximum queuing spill back to the internal site intersection or cause any issues with the internal parking area circulation.

Install a bigger berm:

The proposed berms are densely planted with evergreen and canopy trees, which at maturity will reach a minimum 35' height. They're located along the south and west sides of Future Development Areas 3 and 4, and along the west and north property line adjacent to The St. James building. For every foot of added height an additional 6' is added to the width of the berm.

The berms proposed around the perimeter of Future Development Areas 3 and 4 have very little value in screening The St. James building from Half Day Road as the existing mature woodlands south of both development areas will remain and adequately screen the proposed building (see photo simulations prepared as part of the supplemental ARB submittal package). However, the berms and landscaping will provide a continuous 35'-60' vegetated screen at full maturity along the south perimeter road for those who choose to exit the site from the west.

The berms proposed along the west property are within a foot or two of existing trees proposed to remain. Adding additional height and width to the berm puts the health of the existing trees in jeopardy. The area west of this berm is also part of a high-quality wetland and buffer setback and therefore is likely not to be developed (see Adjacent Property Context exhibit as part of the supplemental ARB submittal package).

The berm north of The St. James building is located in an area where trees were removed as part of the existing development and has been changed to be a 6' high berm densely planted with landscaping. Existing mature trees north of the site provide additional screening of The St. James building in the event that future development is proposed on the adjacent property north of the subject property.

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Tree Removal, Landscaping & Screening

The landscape design intent is to both maintain some of the character of the site as it exists today while also proposing a landscape and preservation plan that complements the proposed and future uses. This is achieved by preserving many of the site's existing high-quality trees, supplementing trees that are proposed for removal with natural groupings of evergreen, canopy and understory trees for screening purposes, framing views of the building as you enter the site from Half Day Road, and by softening the building entry through the use of geometrically shaped planters that provide seasonal color and interest.

Preservation of the existing trees is accomplished by a 50' Conservation Easement along the west and norther perimeter of the site, preservation of all existing woodlands south of the internal ring road, and preservation of the existing trees and plant material along the east portion of the site which abuts I-94 and the southeast portion of the site which abuts Half Day Road. Between the conservation easement and preservation of trees, they effectively screen the proposed building and future development from Half Day Road, I-94 and adjacent parcels of land to the west and north. Additionally, berms planted with dense groupings of evergreen trees, expected to reach over 35' at maturity, are proposed to extend along the south and western perimeter of Future Development Areas 3 and 4, and the west and north property lines of The St. James development further screening future development from adjacent properties.

After receiving feedback following the ARB Workshop, several site plan changes were made to improve pedestrian and vehicular circulation (see below as a part of the Parking, Circulation and Loading Areas section) and incorporate additional landscaping and amenities that contribute to offering a unique experience for visitors of The St. James. The sidewalk along the east elevation of the building, adjacent to the Fieldhouse, has been widened from 8' to 12' to now include a canopy of trees on both the east and west sides of the path resulting in a unique experience for pedestrians as they access the main entry from the northeast parking lot. The canopy of shade trees and evergreen trees proposed between the building façade and sidewalk will help meet the human scale by visually subdividing the building and lightening the sense of mass as well as provide a year-round grouped evergreen massing along the east elevation.

The main entry plaza has been designed to be open, comfortable, and inviting with landscaped respite areas containing reclaimed wood benches, bike racks and planters consisting of flowering perennials and ornamental trees as well as massing's of ornamental grasses that provide a variety of textures, color and seasonal interest.

Massing's of ornamental grasses are proposed along the entry drive parkway to add softness, light and movement to the landscape as you enter the site. Low Juniper shrubs and Cotoneaster are also proposed along the perimeter of many of the site's pedestrian walkways to define the sidewalks and add to the winter season color in the landscape.

The landscape plan shows 290 deciduous (4" caliper) and 220 evergreen trees (assumes 6ft-8ft tall at install = 2.5" caliper) to be planted, totaling 1,667 caliper inches.

This number includes 217 Appendix A/significant trees, as defined by Code, totaling 825 caliper inches (11 different species, *Acer rubrum*, *Carpinus caroliniana*, *Celtis occidentalis*, *Gledistia tricanthos*, *Gymnocladus dioica*, *Liriodendron tulipifera*, *Quercus alba*, *Quercus bicolor*, *Quercus macrocarpa*, *Quercus rubra*, *Tilia americana*).

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74 deciduous and 220 evergreen Non-Appendix A trees proposed for planting are Aesculus hippocastanum, Ginkgo biloba ‘Autumn Gold’ TM, Quercus robur ‘Fastigiata’, Taxodium distichum, Ulmus Americana ‘Princeton’, Zelkova serrata ‘Autumn Glow’, Juniperus virginiana, Picea abies, Pseudotsuga menziesii, Pinus, Flexilis ‘Vanderwolf’s Pyramid’, Picea omorika, Pinus strobus, Thuja occidentalis ‘Nigra’

According to the tree survey performed by a certified arborist, the proposed development will result in the removal of 198 unhealthy, dead, or dying trees (totaling 3,063 caliper inches) as well as 247 Appendix A trees in good condition, (totaling 3,838 caliper inches) and 3 Non-Appendix A trees in good condition (totaling 35 caliper inches). Below is a summary of the trees proposed for planting and removal.

	Appendix A Trees		Non-Appendix A Trees		All Trees	
	<i>Number</i>	<i>Inches</i>	<i>Number</i>	<i>Inches</i>	<i>Number</i>	<i>Inches</i>
To be planted	165	660”	285	835.5”	450	1,495.5”
To be removed	247 (good condition)	3,838” (good condition)	3 (good condition)	35” (good condition)	251 (good condition)	3,873” (good condition)
	193 (DDD)	3,008” (DDD)	5 (DDD)	55” (DDD)	198 (DDD)	3,063” (DDD)

Note: DDD = Dead, dying or diseased

Site Lighting

The overall site lighting and building lighting approach relies heavily on large scale utilitarian type fixtures for parking lots in combination with smaller, visually unique, pedestrian scale light fixtures with some façade lighting along the main entry to compliment the building. Site lighting combines (57) – 25-foot-tall poles on 2’-6” bases for the parking lot and flush bases for other roads within the complex, and (39) exciting pedestrian scale fixtures with geometries pulled from some of the architectural details of the main façade. This distinctive pedestrian light fixture along the main south façade is key to the site lighting design in that the triangular type fixture unifies site lighting with the building itself, offering a cohesive design philosophy. With some limited building up-lighting along the east side, accent lighting to define the entry from the roof cut-outs, and visible lines of light defining these cut-outs, the exterior façade lighting provides themes that offer continuity and seamlessness from outside to inside. Where other building-mounted lighting is required for egress or loading areas, a smaller scale version of the parking lot fixture is applied to the building skin to accommodate those functional needs at (21) locations.

Parking, Circulation & Loading Areas

Following the ARB Workshop, there have been several site plan and landscape plan changes that respond to the feedback that The St. James team received. An additional one-way drive lane has been added approximately 100’ north of the entry from Half Day Road for a more direct option to access the southeast and northeast parking lots. The primary drive aisle that once divided the southeast and northeast parking fields has been revised to a boulevard condition without parking and now includes an alley of trees, additional pervious greenspace, and a pathway along the north section of the boulevard for patrons to safely and easily access the building’s entry.

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In addition, a one-way access road has been added along the east property line of Future Development Area #2 to more conveniently access the northwest parking lot, and bus parking has been added along the northern limits of the parking lot to accommodate up to (11) buses. The Village of Lincolnshire does not have off-street parking requirements for a unique facility such as the proposed The St. James. As such, the parking requirements, as defined by Code, are based on the primary uses that are offered within the indoor facility which includes the recreational facility, the swimming pool, the meeting and events center space, the physician's office, and spectator seating. The St. James will only host one event at a time. Therefore, parking demand was determined for the largest venue with a capacity of (900) seats.

There are (945) existing parking spaces on the current property. The off-street parking spaces required based on Village Code is compared to the proposed parking supply of (934) parking spaces. In addition to the uses outlined above, The St. James will include complementary uses that include a day spa, daycare center, a sundry/exercise gear shop, and a restaurant. All these uses are considered ancillary uses to the overall development, where a patron will participate in the recreation center facility while also using one of these services in the same visit (e.g. a patron drops their child at the provided daycare and then uses the facility) and therefore no additional parking demand is expected to be generated by these ancillary uses. However, these ancillary uses were included as separate land uses in Table 1 to provide for a conservative analysis. The proposed parking supply will exceed the Village Code requirements.

The future outlots shown on the Site Plan include potential building and parking layouts for informational purposes only. In addition, there is sufficient ingress/egress between the main circulation drives and the outlots via numerous driveways. Finally, there are additional one-way drive aisles at the southwest corner of the building and an immediate right-in at the main entrance to provide more direct access to the two main parking areas. This will decrease the volume of traffic at the intersection and reduce concerns of cars stacking within the drop off area and south onto the entrance magazine from Half Day Road.

The Springfield Virginia facility experiences 6-8 buses during high visitation periods such as tournaments or large local events (i.e. High School Homecoming). Some of the buses leave the property for the day and some stay and wait onsite until pick up time. We have identified a new temporary staging location for buses on the plan.

Deliveries are not consistent daily and are spread throughout the week. They vary in size from vans to box trucks to truck trailer. Loading areas for the facility are provided at the front entrance for facility users, and along the east and north elevations for building services. The following is a chart that identifies Food and Beverage vendor and weekly frequency as reported from the Springfield VA facility. It is expected that the same if not similar vendors will be visiting the Lincolnshire location.

Team Introduction

The St. James has compiled a high caliber development and design team to ensure that the design and layout of the site both meets all code requirements and delivers on its promise to be a premier destination in the region. The team is comprised of the following entities:

Owner - The St. James: The St. James currently owns and operates one complex, located in the Washington, D.C. market in Springfield, VA. The team delivers unique expertise in the sports,

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entertainment and wellness industry through a diverse group of health club professionals, high quality sport coaches, restaurateurs, sports operations directors, food and nutrition specialists, media personalities and family entertainment specialists.

Developer – GlenStar: Glenstar is a vertically integrated real estate firm with a vision to create spaces that redefine what work should look like—places that inspire creativity, encourage activity and build communities. With a hands-on approach and a commitment to true partnership, our team of industry veterans is a leading force in shaping the future of commercial and residential property.

Architect – Gensler: Gensler is a global architecture, design, and planning firm with 48 locations and more than 6,000 professionals networked across Asia, Europe, Australia, the Middle East, and the Americas. Founded in 1965, the firm serves more than 3,500 active clients in virtually every industry. Gensler designers strive to make the places people live, work, and play more inspiring, more resilient, and more impactful.

Civil Engineer – Kimley-Horn: One of the nation’s premier planning, engineering, and design consulting firms with nearly 3,500 staff members in more than 80 offices across the U.S., we offer full services in a wide range of disciplines. Whether your project is national or local and involves public infrastructure or private development, we look out for your best interests, reduce your risk, and deliver great value.

Traffic Consultant – KLOA: Kenig, Lindgren, O’Hara, Aboona, Inc. (KLOA, Inc.) is a professional consulting firm that provides traffic engineering and transportation and parking planning services to public and private sector clients. KLOA, Inc. is headquartered at 9575 W. Higgins Road in Rosemont, Illinois and has a staff of licensed transportation engineers and planners whom represent a wide array of talent and experience. Practice areas include traffic impact studies, multi-modal transportation planning, traffic operations analyses, parking demand studies, corridor studies, pedestrian and bicycle safety studies, speed studies, traffic data collection, preliminary engineering, and traffic signal design. KLOA, Inc. is pre-qualified with the Illinois Department of Transportation (IDOT) in Traffic Studies, Safety Studies, and Traffic Signal Design.

The St. James

The St. James’ mission is to deliver the premier sports, entertainment and wellness destinations in the country. To achieve this goal, The St. James is working to develop ~450,000 sf. sports and entertainment complexes in all major markets around the county. Each complex’s comprehensive offering of high-quality sports and wellness facilities, programs and instruction “under one roof” addresses two high demand problems:

- The lack of access to quality sports competition and training facilities, programming and instruction for sports enthusiasts of all ages
- The severe logistics burden faced by “time starved” families because of the highly fragmented sports and wellness facilities market

The combination of best-in-class athletics and fitness facilities, coaching and training in nearly 30 sports, hospitality amenities and sports medicine and general health and wellness services will make The St. James the epicenter of sports programming (youth and adult) and the “place to be” for active families. The St. James will offer a differentiated product by leveraging its size and strategic partnerships with both the private and public sectors and community organizations to deliver unique educational and experiential content.

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To further this goal, The St. James is targeting major markets across the country to build their flagship complexes. The greater Chicago area is a very attractive market for this sports, entertainment and wellness product. In particular, the northern suburbs of Chicago have the population density combined with sports participation rates and education levels that comprise most of The St. James target audience. After an extensive site search across many different municipalities, The St. James decided on this Property in Lincolnshire. The most attractive feature of the site is its visibility and accessibility off two major thoroughfares in the region. Users will drive from as far away as 20 miles to use the facility and easy access off major roads is a key driver to success. In addition, this site is slightly larger than what is needed to build the complex so it affords the opportunity to develop complimentary uses which will help drive the success of The St. James. The St. James vision for the site is to create the premier sports, entertainment, hospitality and wellness destination in the region. The St. James complex will be the anchor tenant on the site and will have the following components:

- FIFA regulation sized multi-purpose turf field
- Premium swimming pool
- Indoor splash park
- Two NHL sized hockey rinks
- Spectator seating for field, pool and rinks
- Four basketball courts and nine volleyball courts
- Team locker rooms
- Team meeting rooms
- Seven recreational squash courts with one center stage championship court
- Batting cage with six hitting bays
- Golf simulator area
- Gymnastics area
- Fitness center with cardio area, fitness studios and high-performance training center
- Member locker room with lounge
- Public locker room
- Family locker rooms
- Spa
- Restaurant
- Active Entertainment Center (party rooms, gaming, play structure, ninja warrior obstacle course)
- Sports Medicine facility
- Classroom and event space

These features will attract active families, active adults and aspirational youth athletes to The St. James for best in class sports and entertainment experiences. In addition, complimentary entertainment and hospitality uses on the site will create a true destination or “third place” for people to come and pursue their individual passions.

The Site

The improvements at the Property currently consist of three, 2- and 3-story office buildings (plus a facilities maintenance building) developed on a dense wooded lot with detention basins and 945 parking spaces. The Property was developed and annexed into the Village in phases in the 1970s and 1980s. The two western buildings were most recently used by Hewitt & Associates for their corporate headquarters

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before Hewitt's merger with Aon and subsequent relocation. One of the western buildings currently houses an Alight data center with approximately 10 employees. The remaining buildings on the Property are currently not occupied. In August 2018, a rezoning ordinance was approved granting a special use planned unit development on the Property. Future potential uses for the site include a full-service recreation, health and fitness facility (The St. James), restaurant, hotel and other general recreation/entertainment use.

Design Vision

Building Siting and Orientation

The building orientation addresses solar orientation, building footprint, watershed, and floodplain issues, as well as serving as the backdrop to the rest of the development. The building faces south and utilizes an overhang to mitigate solar gain on the front facade. The other sides of the building have limited glazing so this orientation should improve energy performance over a western or eastern facing building.

Materials

The primary materials of this facility are precast concrete, glazing, and metal panels. The tone of the building is reserved, featuring a palette of muted off- white precast concrete, gray precast concrete, gray metal panels, and clear glazing. Some of the windows are translucent, such as at the field house. The precast panels are formed with a custom form-liner to provide a unique shape that creates visual interest.

Environmental

The site contains eight (8) wetland areas and four (4) open water stormwater management ponds. The identified wetland areas are vegetated with a mixture of plant species including wetland, woody and herbaceous vegetation.

In general, the vegetative quality of the areas are low, as the areas have been invaded by non-native and weedy species such as: buckthorn (*Rhamnus cathartica*), sandbar willow (*Salix interior*), poison ivy (*Rhus radicans*), purple loosestrife (*Lythrum salicaria*), narrow-leaved cattail (*Typha angustifolia*), reed canary grass (*Phalaris arundinacea*), and common reed grass (*Phragmites australis*).

The County and Corps of Engineers determined that five (5) of the onsite wetlands are isolated and only regulated under the Lake County Watershed Development Ordinance. The three (3) remaining wetlands are regulated by the Corps of Engineers and under the Lake County Watershed Development Ordinance. The largest onsite wetlands are located on the south side of the property adjacent to Half Day Road. These isolated wetlands are being preserved by the proposed plan. Total wetland and waters area preserved on site is 2.08 acres.

The proposed project results in 0.49 acre of permanent impact to wetland (0.2 acre-Corps regulated, and 0.29 acre Isolated-County regulated). The wetland impacts are proposed to be mitigated through the purchase of wetland mitigation bank credit from a Corps approved wetland mitigation bank. The wetland impacts will likely be mitigated at a 1.5:1 replacement ratio (0.735 acre of credit).

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The Corps of Engineer and County determined that the stormwater management ponds are exempt from wetland and buffer regulations.

The Corps of Engineers and County have issued their initial review letters and issuance of wetland impact approval appears imminent following submittal the responses to comments.

Signage Plan (Wall & Ground)

The exterior signage program at The St. James – Village of Lincolnshire Sports Complex consists of the following sign types: (1) Main Monument Sign, (1) Entry Monument Sign, (1) Wall Mounted Building Sign and (5) Wayfinding Sign. They were designed with the large scale of the overall site in mind while using The St. James building architecture as their aesthetic inspiration while combining the St James brand colors and fonts. Their main function is to identify the property and to make the visitor's first experience on the site, vehicular wayfinding, as easy as possible.

Additional Site Information

With the storm detention as currently designed, submitted, and in review by LC-SMC, there are no above ground site plan changes that will impact the site plan for ARB approval. In the event that detention is required to be upsized in the future, no site plan changes will be necessary. There is sufficient area for underground detention to account for any additional volume.

Additionally, the buffer width between the Half Day Road property line and the nearest buildable area is 120 feet.

Thank you for your time, consideration, and guidance on the development of this Property and The St. James facility.

Yours truly,
TSJ Lincolnshire Property LLC

Michael Kerin

Enclosures

Cc: Brad Burke, Village Manager

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LINCOLNSHIRE FLAGSHIP COMPLEX

SUPPLEMENTAL ARB REVIEW #3 PACKAGE
JANUARY 21, 2020

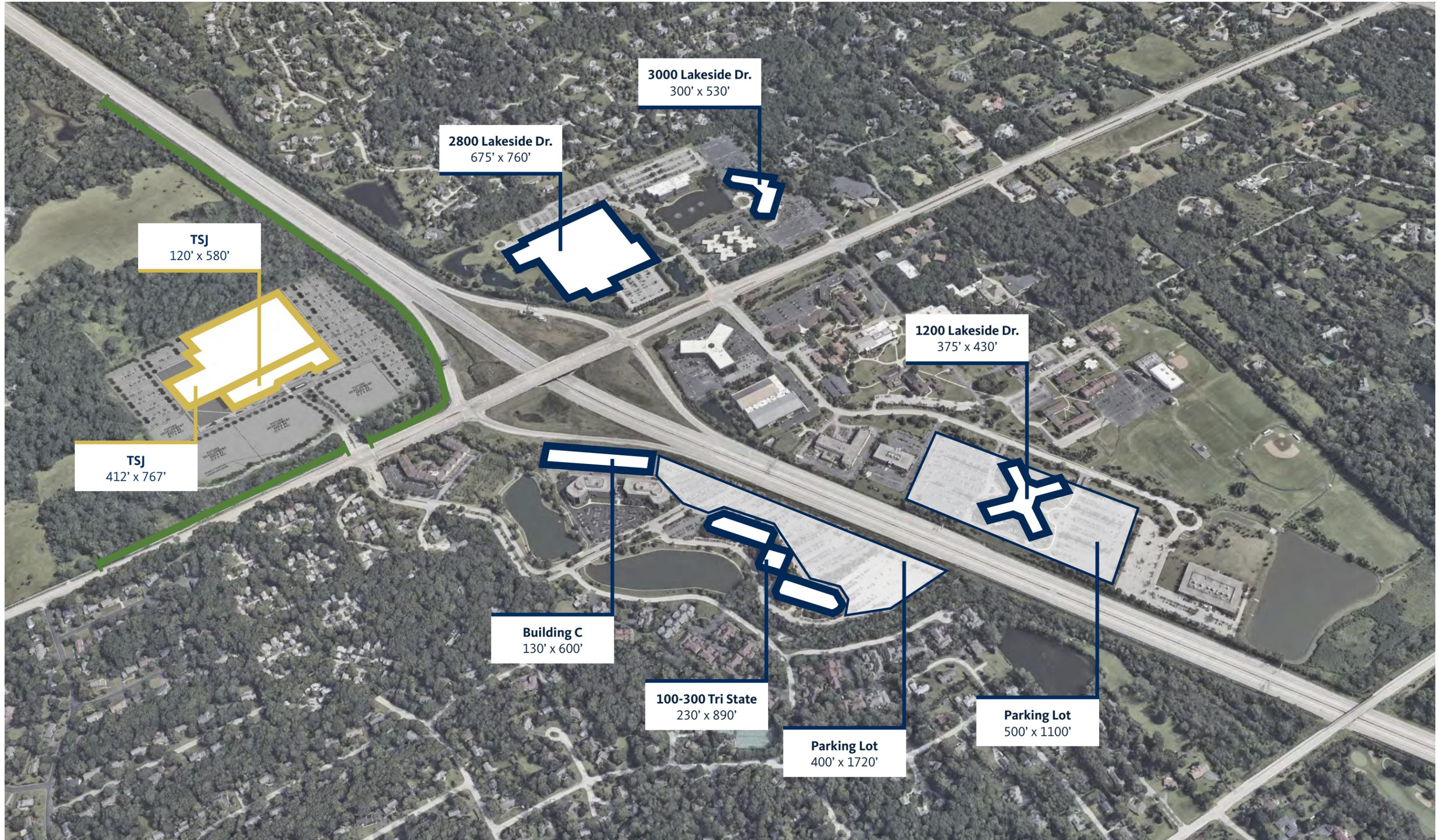
**75' AT FIELD HOUSE,
RECESSED FROM PRIMARY ELEVATIONS
(BY 140' ON SOUTH AND 60' ON EAST)**



**11' TO UNDERSIDE OF
CANOPY**

**11' TO UNDERSIDE OF
OVERHANG**

**42' TO UNDERSIDE OF CANOPY
(SIMILAR TO TO HEIGHTS OF EXISTING
BUILDINGS ON THE PROPERTY.)**



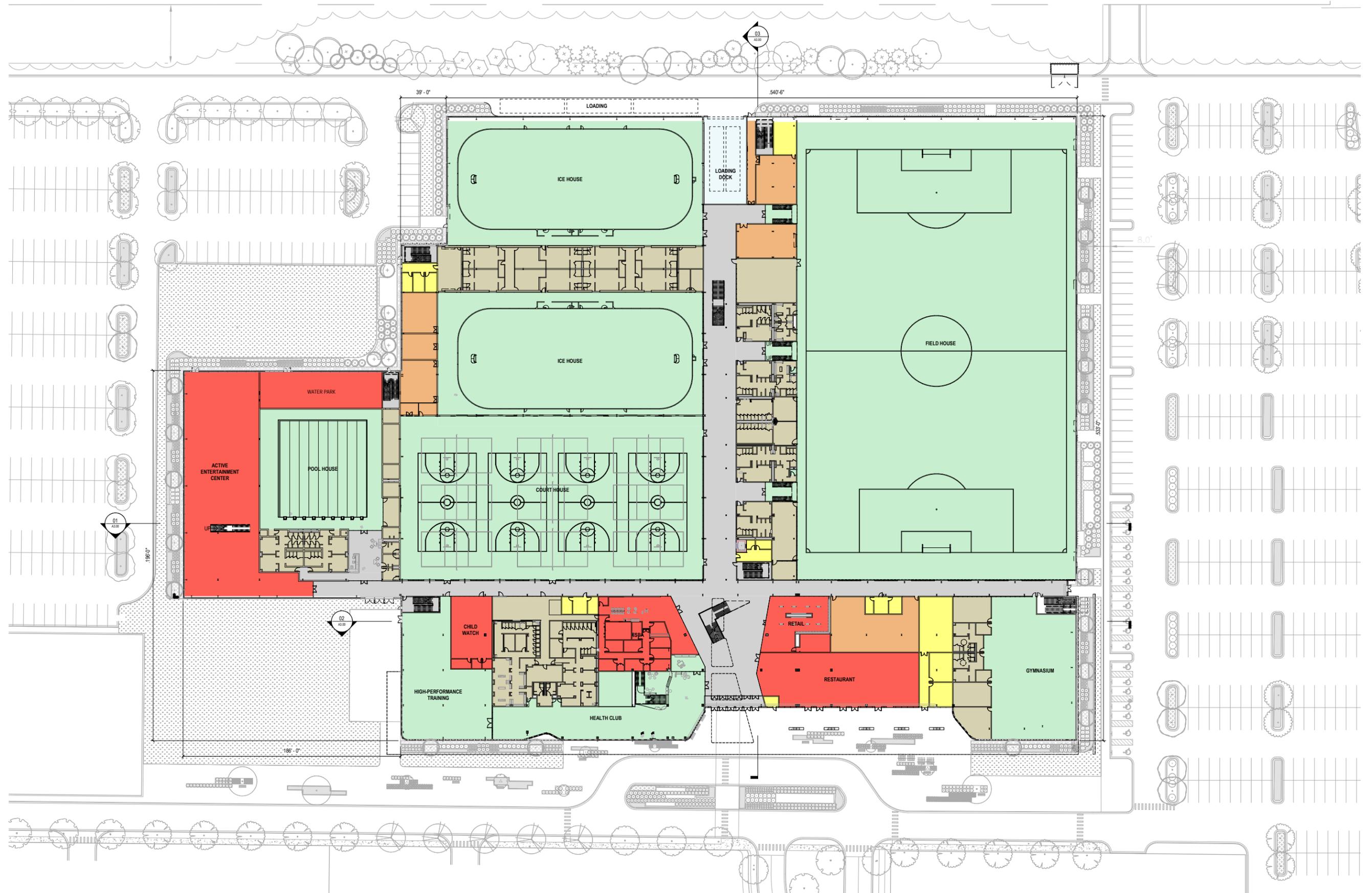
SCALE DIAGRAMS EXISTING CONDITIONS
REFERENCE SHEET : NEW DIAGRAM



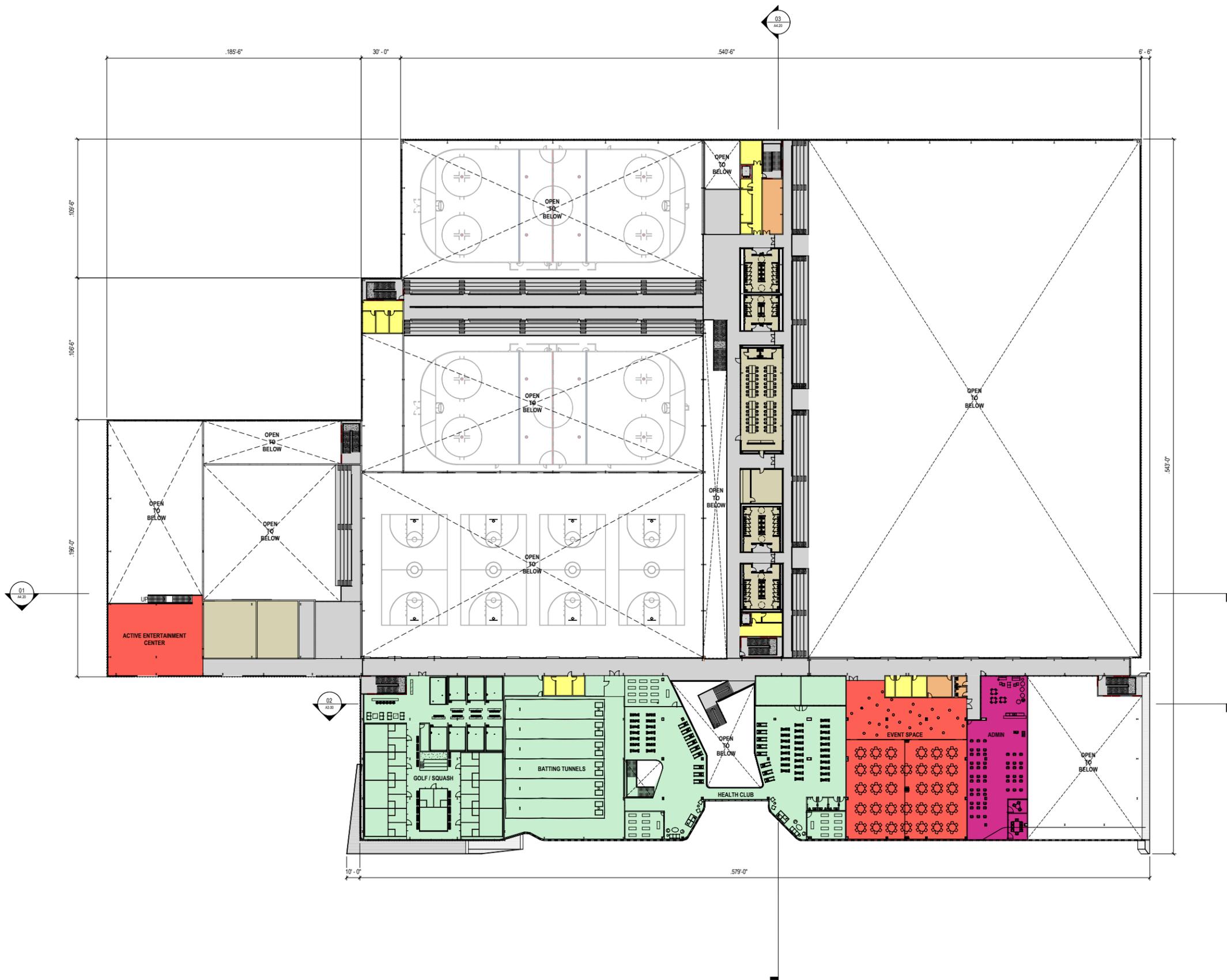


70' x 470'
HEIGHT: 110' (APPROX.)





MEZZANINE LEVEL PLAN
REFERENCE SHEET : DRT A1.101





SOUTH ELEVATION
 SCALE: 1/64" = 1'-0



EAST ELEVATION
 SCALE: 1/64" = 1'-0



NORTH ELEVATION
 SCALE: 1/64" = 1'-0



WEST ELEVATION
 SCALE: 1/64" = 1'-0



MAXIMUM ROOF HEIGHT
75' - 0"

MAIN ROOF
45' - 0"

MAXIMUM ROOF HEIGHT
75' - 0"

MAIN ROOF
45' - 0"

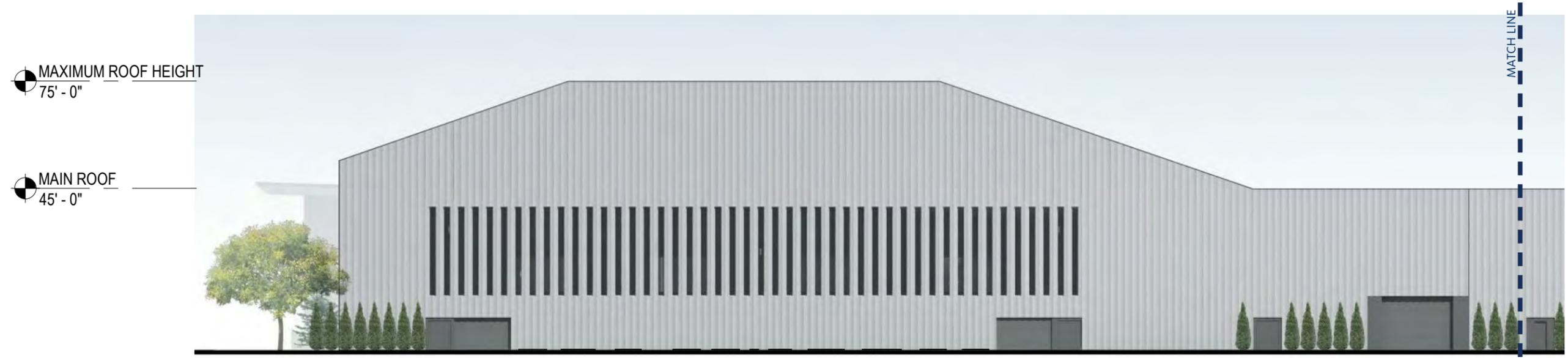




MAXIMUM ROOF HEIGHT
75' - 0"

MAIN ROOF
45' - 0"







MAXIMUM ROOF HEIGHT
75' - 0"

MAIN ROOF
45' - 0"

MAXIMUM ROOF HEIGHT
75' - 0"

MAIN ROOF
45' - 0"











































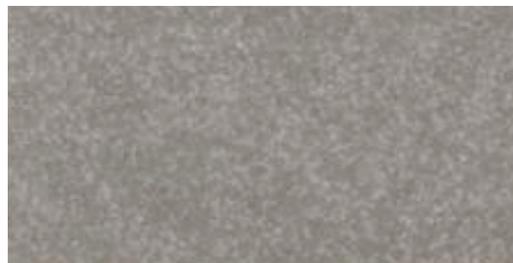
MATERIALS BUILDING
REFERENCE SHEET : MATERIAL BOARD



① PRECAST
COLOR: OFF WHITE
FINISH: LIGHT SANDBLAST
High Concrete Group



② PRECAST
COLOR: SILVERGREY
FINISH: LIGHT SANDBLAST
High Concrete Group



③ PRECAST
COLOR: CHROME
FINISH: LIGHT SANDBLAST
High Concrete Group



④ METAL PANEL
COLOR: ONYX WHITE SILVER
UC126389XL
Duranar XL



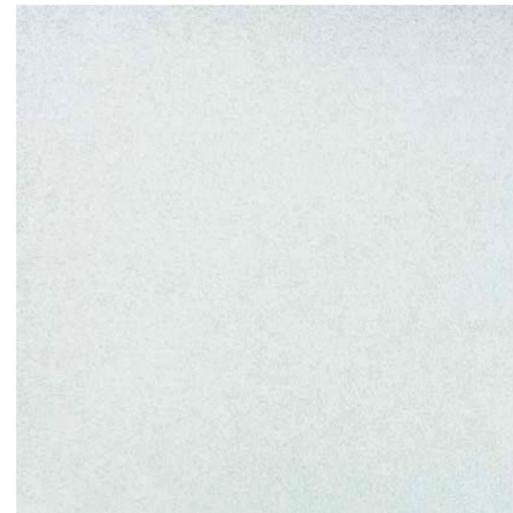
⑤ METAL PANEL
COLOR: WROUGHT IRON METALLIC
UC121996XL
Duranar XL



⑧ METAL ROOFING - STANDING SEAM
COLOR: ONYX WHITE SILVER



⑥ GLAZING
1" VE1 – 85 Insulating HS/HS
½" (6mm) Clear HS
VE-85 #2
½" (13.2mm) Spacer – Black



⑦ TRANSLUCENT PANELS
1" VE1 – 2M Insulating HS/HS
¼" (6mm) Clear HS
½" (13.2mm) Spacer – Black
½" (6mm) Clear HS



⑨ TPO MEMBRANE ROOF
COLOR: WHITE



3D VIEW - NORTHWEST AERIAL



VIEW AT ENTRANCE 01



3D VIEW - NORTHEAST AERIAL

DISTANCES TO ADJACENT PROPERTIES

EXHIBIT C - AERIAL PLAN



WOOD CREEK COURTS SIGHT LINES

EXHIBIT B - WOOD CREEK COURTS SIGHT LINES

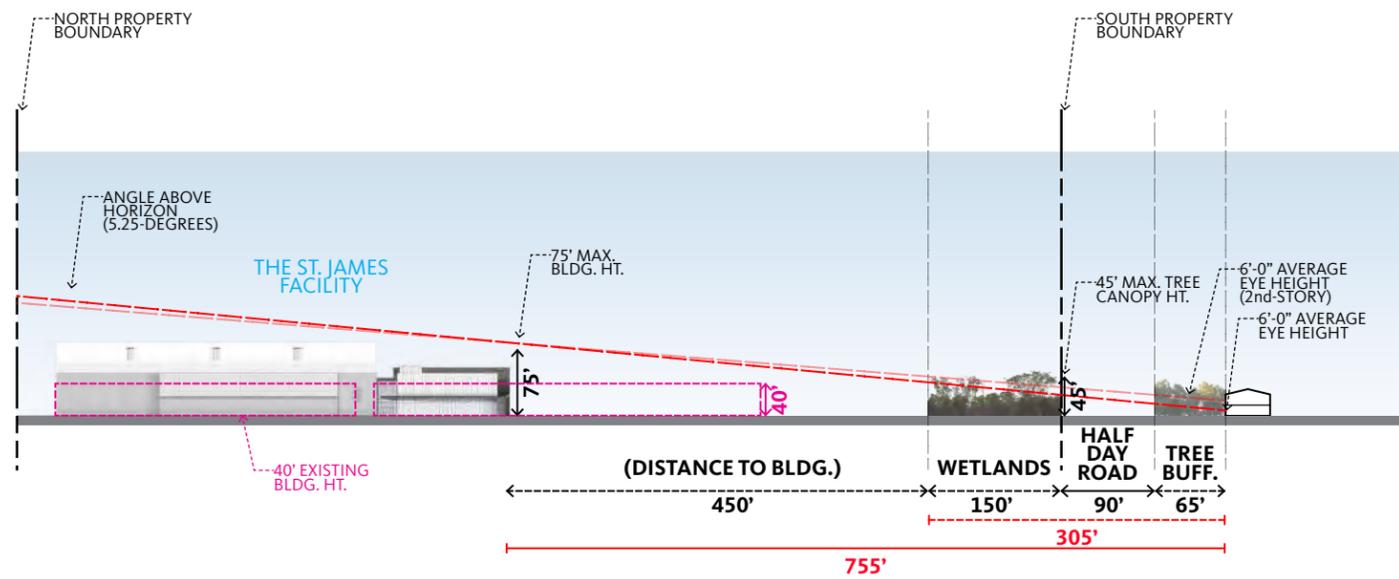
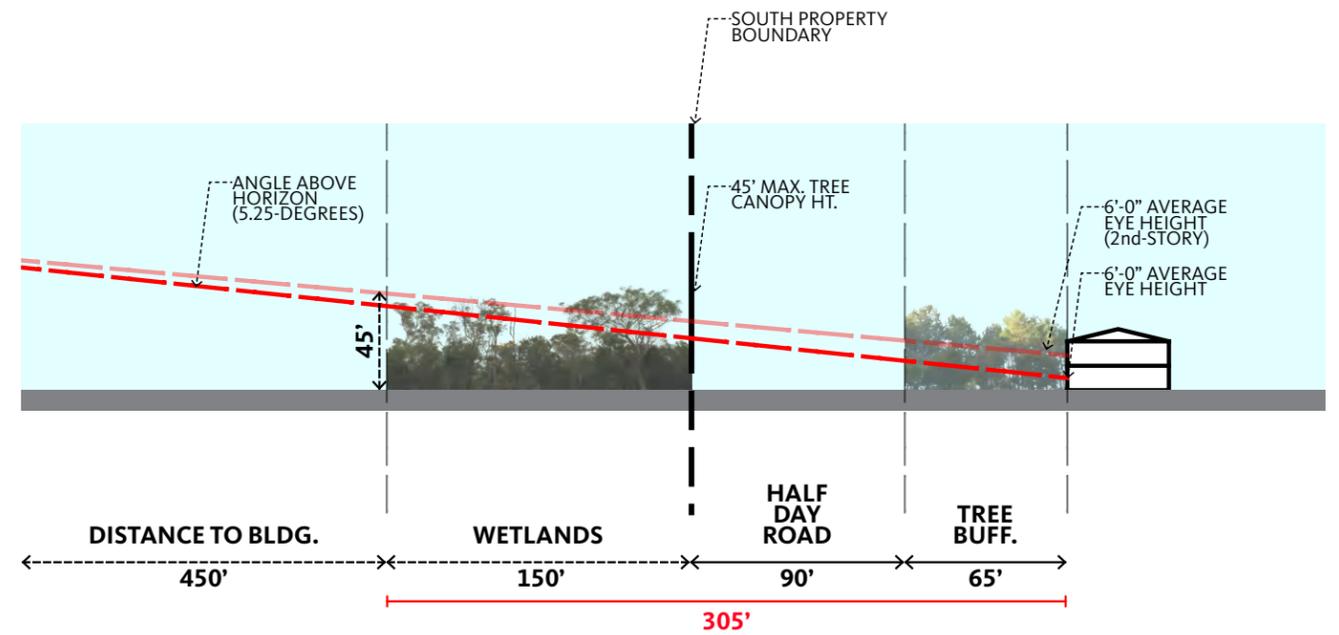
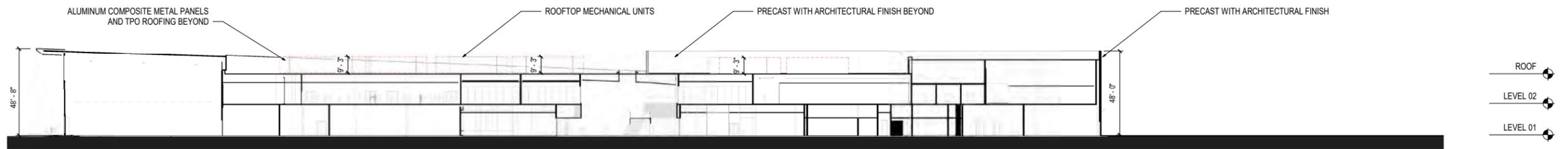
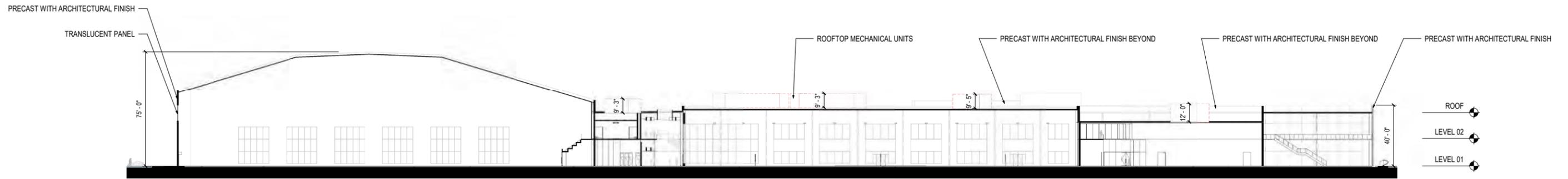


EXHIBIT B - WOOD CREEK COURTS SIGHT LINES

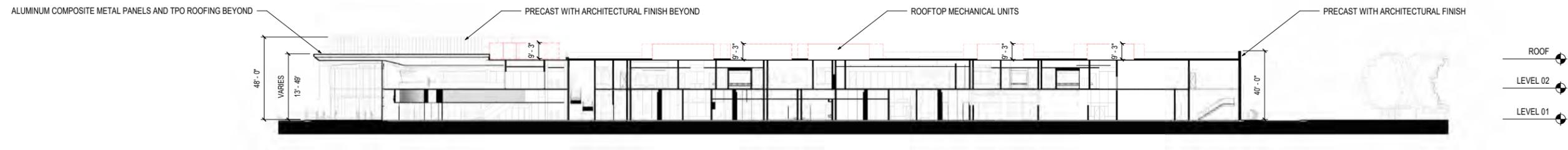


*Residents of Wood Creek would need to look beyond 305' of landscape, traffic, and wetlands (including an additional 450' of angle of 5.25-degrees above the horizon to see the top of the St. James facility)

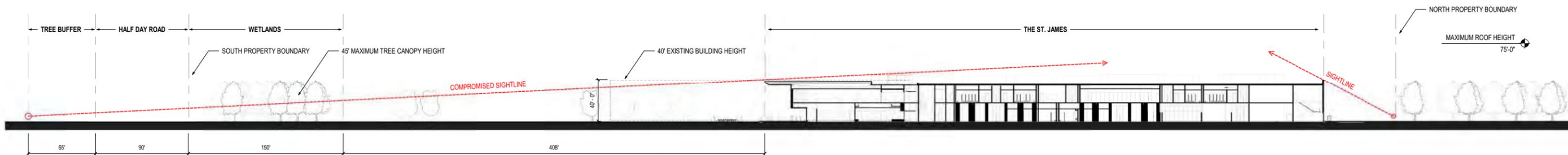
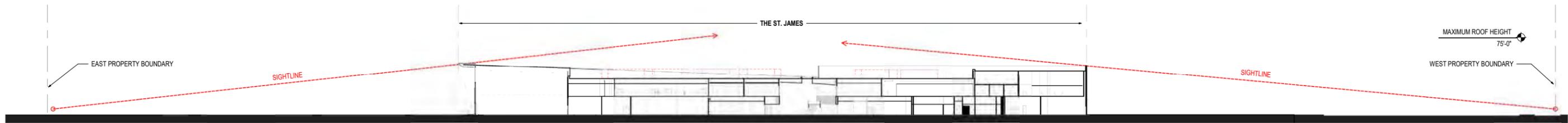
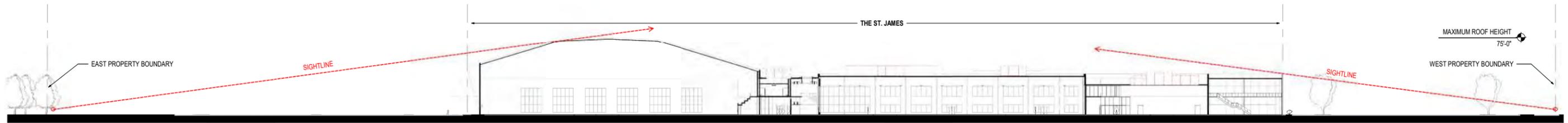
OVERALL BUILDING EAST/WEST SECTIONS
 REFERENCE SHEET : DRT A3.00



OVERALL BUILDING NORTH/SOUTH SECTION
REFERENCE SHEET : DRT A3.00



EQUIPMENT SCREENING - SECTIONS
 REFERENCE SHEET : DRT A4.20



TRASH ENCLOSURE RENDERED VIEWS
REFERENCE SHEET : DRT A4.24



REAR/SIDE VIEW



FRONT VIEW



REFER TO SHEET L2.5 FOR LANDSCAPE INFORMATION AROUND SIGN AREA.



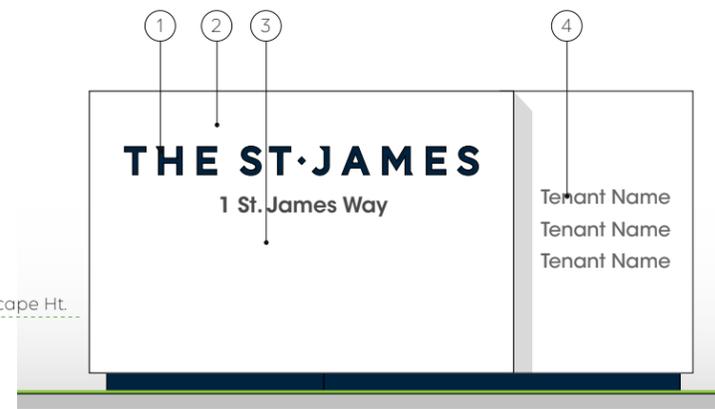
LETTER DETAIL
 SCALE: NTS



PLAN
 SCALE: 3/8"=1'-00"



EAST ELEVATION
 SCALE: 3/8"=1'-00"



WEST ELEVATION
 SCALE: 3/8"=1'-00"



SIGN LOCATION PLAN
 SCALE: NTS

GROUND SIGN - MAIN MONUMENT SIGN

SIGN AREA: 72SF
 SIGN LENGTH: 12'
 SIGN HT: 6'
 MINIMUM SETBACK : 15FT
 SIGN QTY: 01

NOTES

- ① Internally illuminated back-lit lit, recessed letter-forms. Letter face to be translucent white acrylic with applied exterior grade full colour CMYK vinyl to match P1 with inset line to match P2.
- Returns painted to match P1
- Only letter-forms to be illuminated.
- Low voltage white led illumination
 - 220v connection at site.
- Provide easy access at back of sign for transformer.
- Provide timer switch & dimmer for initial light tuning.

P1- Matthews paint MP00906 Azulado. Satin finish.
 P2. MP32071 White Wonder. Satin finish.

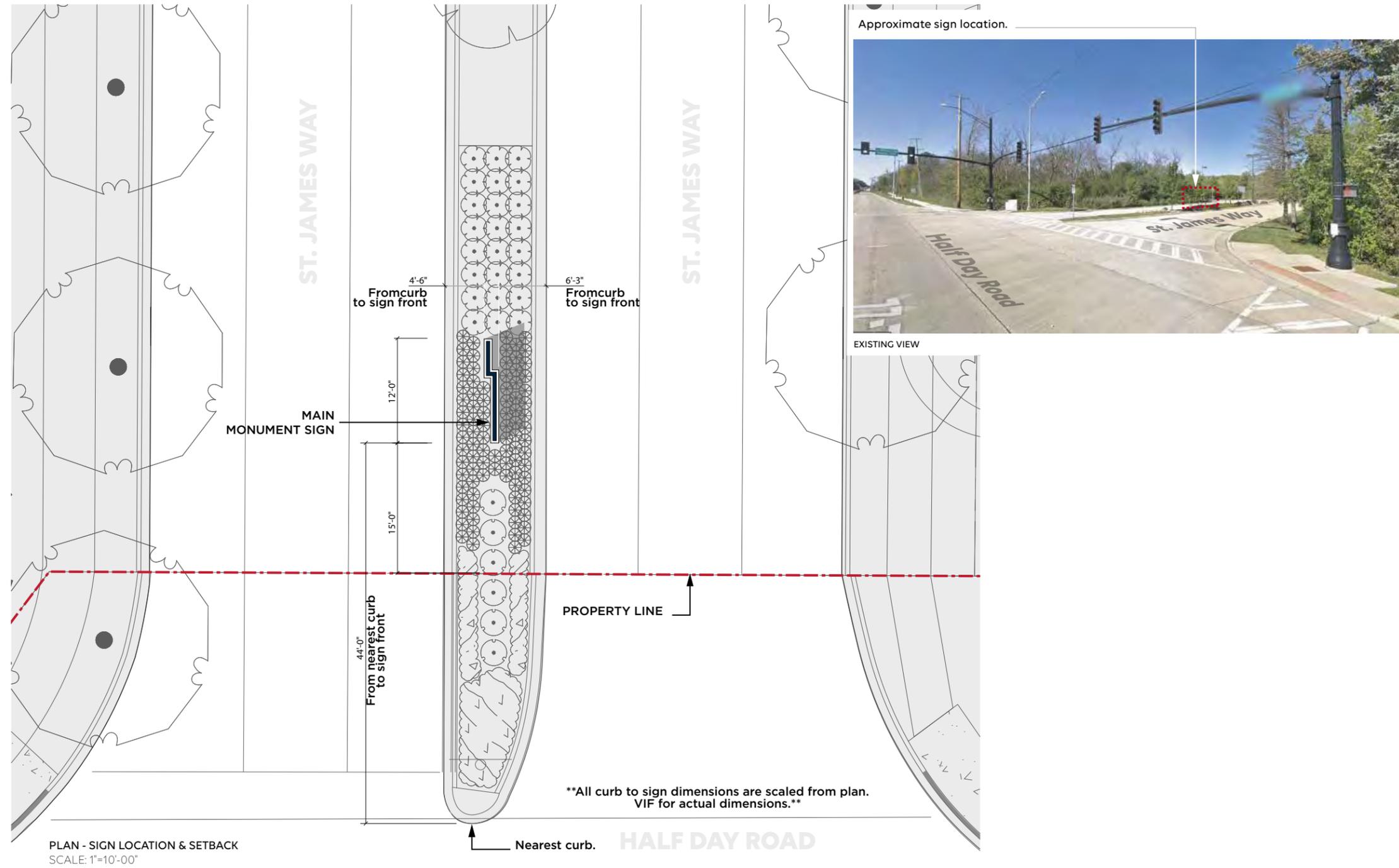
- ② Painted white metal sign box to match P2 & base with internal structural frame system & foundation as required by local code.
- All mechanical fasteners to match color & finish of sign panel & be hidden/placed on non-face side.

P2. MP32071 White Wonder. Satin finish

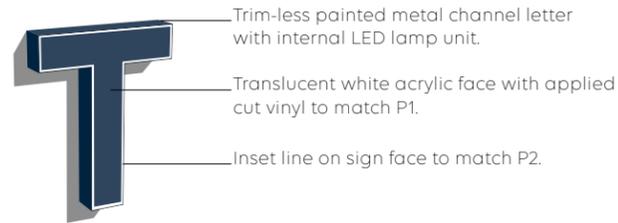
- ③ Building address to be painted aluminum letter-forms Directly attached to sign face to match P3.

P3 - MP19970 Blue Slate Metallic. Satin finish.

- ④ Tenant identity to match V1.
 3M Reflective, exterior grade Black 680-85.
 (Possible option to use slide-in update system for individual tenants.)

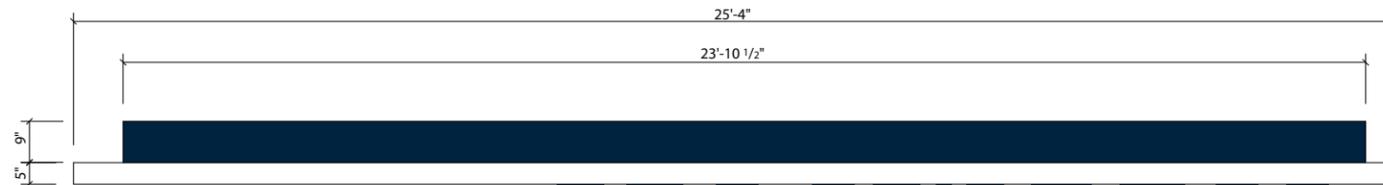


REFER TO SHEET L2.5 FOR LANDSCAPE INFORMATION AROUND SIGN AREA.

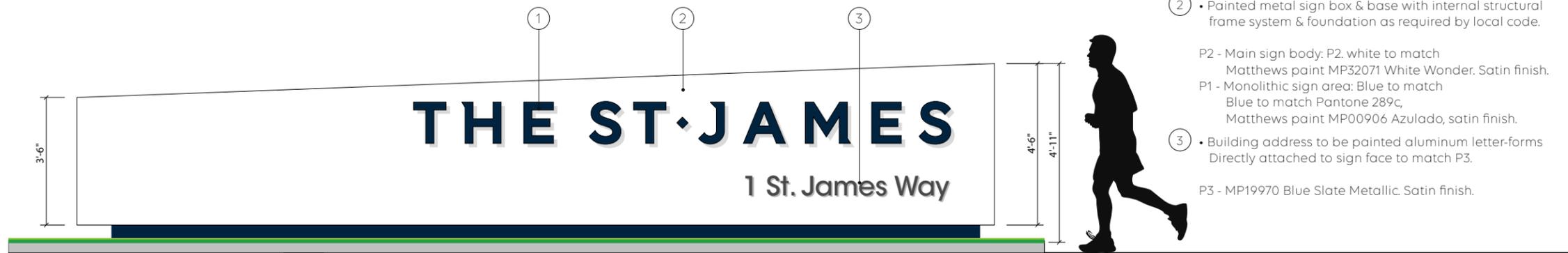


LETTER DETAIL
 SCALE: NTS

CODE UNDERSTANDING:
 IF SIGN IS NOT VISIBLE FROM PUBLIC RIGHT OF WAY
 IT IS STILL SUBJECT TO LOCAL SIGN ORDINANCE & APPROVALS



PLAN
 SCALE: 3/8"=1'-00"



FRONT ELEVATION - VIEWED FROM ROAD
 SCALE: 3/8"=1'-00"



SIGN LOCATION PLAN
 SCALE: NTS

GROUND SIGN - MAIN ENTRY SIGN
 SIGN AREA: 100SF
 SIGN WIDTH: 25'-4"
 SIGN HT: 4' -11"
 SIGN QTY: 01

NOTES

- ① Internally illuminated back-lit, painted metal channel letter-forms.
 Letter-forms directly applied to sign face.
- Letter face to be translucent white acrylic with applied exterior grade full colour CMYK vinyl to match P1 with inset line to match P2.
- Only letter-forms to be illuminated.
- Flush mounted hex-head fasteners to be used and where possible, not visible. Fasteners to be painted/finished as surface they connect to.
- Low voltage white led illumination - 220v connection at site.
- Provide easy access at back of sign for transformer.
- Provide timer switch & dimmer for initial light tuning.

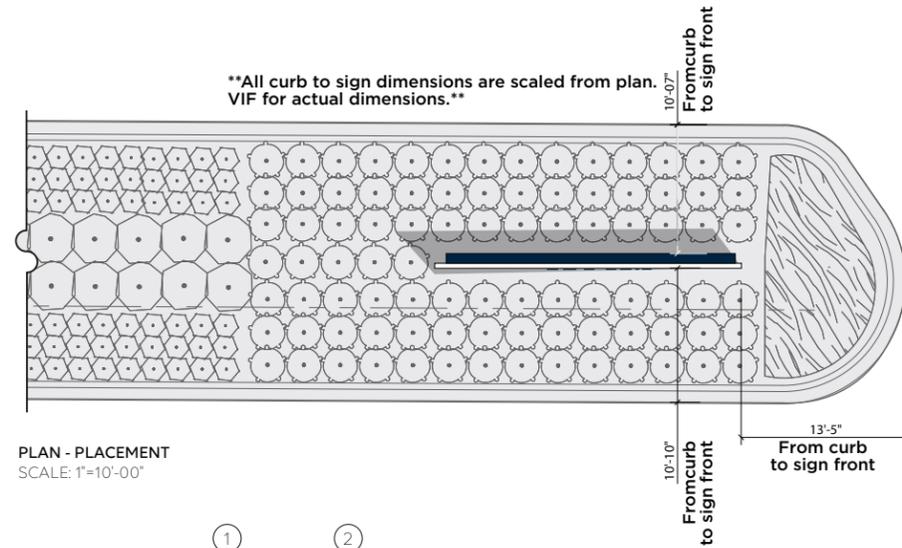
P1. Blue to match Pantone 289c,
 Matthews paint MP00906 Azulado, satin finish.
 P2. Duranar XL
 Color: onyx white silver UC126389XL

- ② Painted metal sign box & base with internal structural frame system & foundation as required by local code.

P2 - Main sign body: P2. white to match
 Matthews paint MP32071 White Wonder. Satin finish.
 P1 - Monolithic sign area: Blue to match
 Blue to match Pantone 289c,
 Matthews paint MP00906 Azulado, satin finish.

- ③ Building address to be painted aluminum letter-forms
 Directly attached to sign face to match P3.

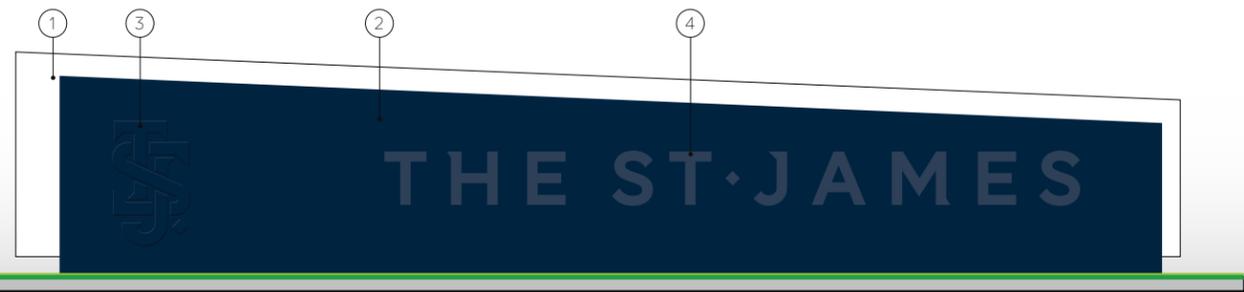
P3 - MP19970 Blue Slate Metallic. Satin finish.



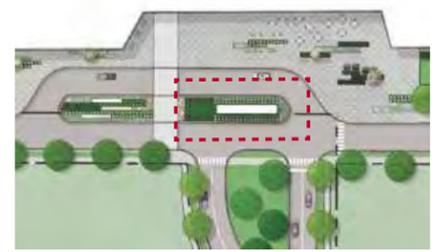
PLAN - PLACEMENT
 SCALE: 1"=10'-00"



PLAN
 SCALE: 3/8"=1'-00"



BACK ELEVATION - VIEWED FROM BUILDING ENTRANCE
 SCALE: 3/8"=1'-00"



SIGN LOCATION PLAN
 SCALE: NTS

GROUND SIGN - MAIN ENTRY SIGN
 SIGN AREA: 100SF
 SIGN WIDTH: 25'-4"
 SIGN HT: 4' -11"
 SIGN QTY: 01

- NOTES**
- Internally illuminated back-lit, painted metal channel letter-forms. Letter-forms directly applied to sign face.
 Letter face to be translucent white acrylic with applied exterior grade full colour CMYK vinyl to match P1 with inset line to match P2.
 Only letter-forms to be illuminated.
 Flush mounted hex-head fasteners to be used and where possible, not visible. Fasteners to be painted/finished as surface they connect to.
 Low voltage white led illumination - 220v connection at site.
 Provide easy access at back of sign for transformer.
 Provide timer switch & dimmer for initial light tuning.

P1. Blue to match Pantone 289c, Matthews paint MP00906 Azulada, satin finish.
 P2. Duranar XL
 Color: onyx white silver UC126389XL

- Painted metal sign box & base with internal structural frame system & foundation as required by local code.
- Main sign body: P2. white to match Matthews paint MP32071 White Wonder. Satin finish.
 Monolithic sign area: Blue to match Blue to match Pantone 289c, Matthews paint MP00906 Azulada, satin finish.
- Dimensional 1/2" thick monogram logo directly applied to sign panel painted match sign panel.
- Painted logo to match: Matthews paint MP01060 Reflex Blue, satin finish.



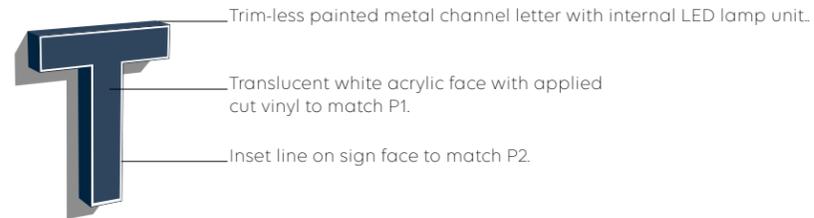
EAST ELEVATION - SIGN AREA PERCENTAGE CALCULATION
 SCALE: NTS



LOCATION PLAN
 SCALE: NTS
WALL MOUNTED IDENTITY SIGN
 SIGN AREA: 320.42SF
 SIGN WIDTH: 64'-01"
 SIGN HT: 5'
 SIGN QTY: 01



EAST ELEVATION - ENLARGED VIEW
 SCALE: NTS



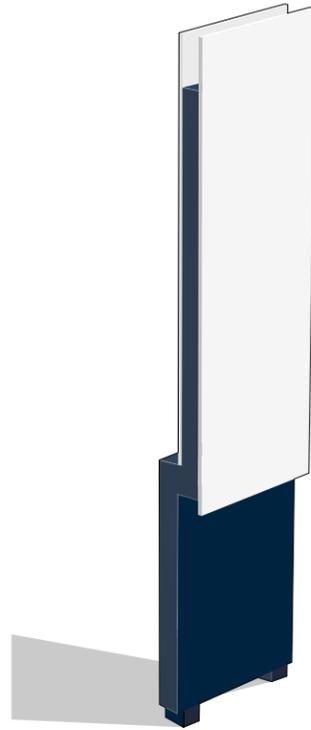
LETTER DETAIL
 SCALE: NTS

THE ST·JAMES

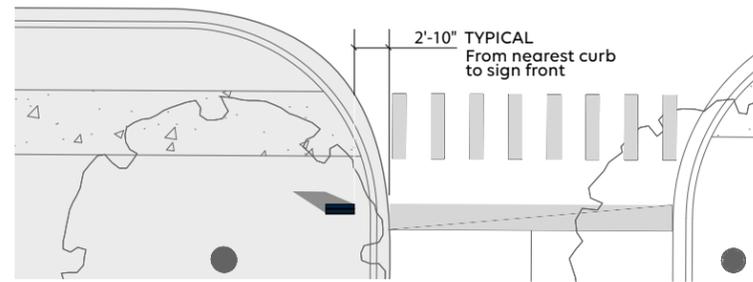
PRIMARY LOGO - BLUE
 SCALE: NTS

- Internally illuminated back-lit, painted trim-less metal channel letter-forms, applied directly to building facade.
- Letter face to be translucent white acrylic with applied exterior grade full colour CMYK vinyl to match P1 with inset line to match P2 - white.
- Flush mounted hex-head fasteners to be used and where possible, not visible. Fasteners to be painted/finished as surface they connect to.
- Low voltage white led illumination - 220v connection at site, coordinate with G.C.
- Provide easy access at ground level for transformer maintenance.
- Provide timer switch & dimmer for initial light tuning.

- P2 - Inset line: P2 white
- P1 - Channel letter returns
 Blue to match Pantone 289c,
 Matthews paint MP00906 Azulado, satin finish.



3D VIEW
 SCALE: NTS



PLAN - SIGN LOCATION & SETBACK
 SCALE: 1"=10'-00"

****All curb to sign dimensions are scaled from plan. VIF for actual dimensions.****



PLAN - SIGN LOCATION EXAMPLE
 SCALE: NTS

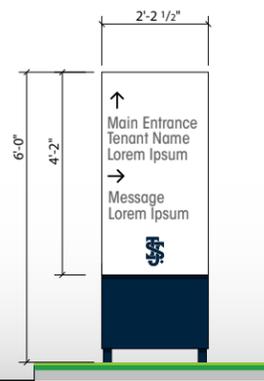
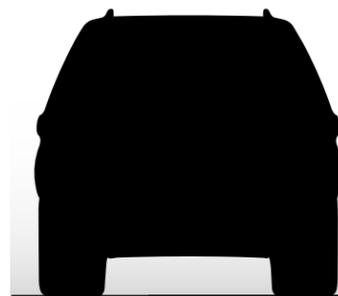
GROUND SIGN - WAYFINDING SIGN
 SIGN AREA: 13SF
 SIGN WIDTH: 2'-02"
 SIGN HT: 6'
 SIGN QTY: 05

NOTES

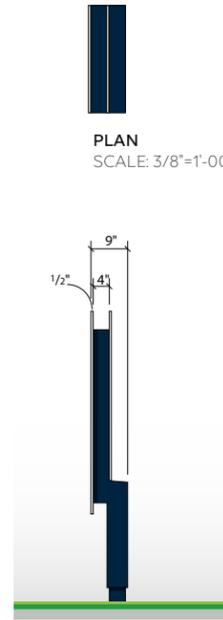
- ① • Metal sign panel with internal structural frame system as required by local code.
 • Panel is attached to main structure & finished to match P2.
 • All mechanical fasteners to match color & finish of sign panel & be hidden/placed on non-face side.

 P2 - Sign Face : P2 white. To match Matthews paint MP32071 White Wonder. Satin finish.
- ② • Directional arrow, Monogram & message.
 3M Reflective, exterior grade cut directional arrow & letter-forms.
 Arrows & Monogram to match P1 - Pantone 289c, BLUE 3M Reflective Films.680-75
 Letter-forms to match 3M Reflective, exterior grade Black 680-85.
- ③ • Main sign structure panelized around 2 structural rectangular pipe columns painted/finished to match P1.
 • Internal structural frame system & foundation as required by local code.

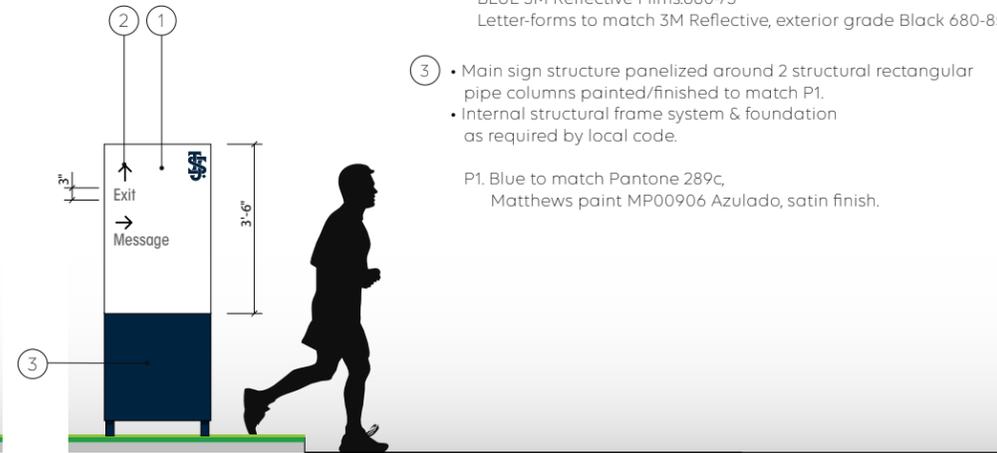
 P1. Blue to match Pantone 289c, Matthews paint MP00906 Azulado, satin finish.



FRONT ELEVATION
 SCALE: 3/8"=1'-00"



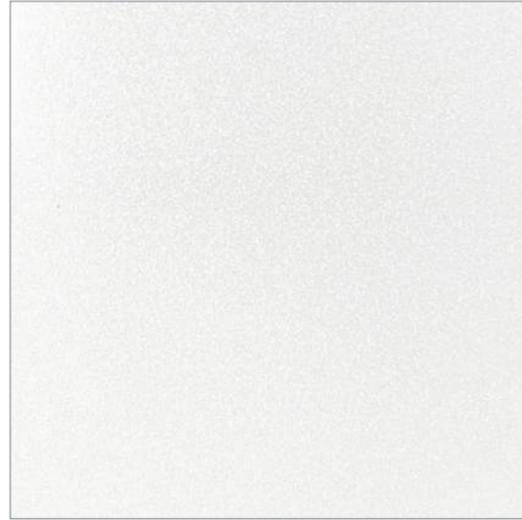
SIDE ELEVATION
 SCALE: 3/8"=1'-00"



BACK ELEVATION
 SCALE: 3/8"=1'-00"







⑦ METAL PANEL
COLOR: ONYX WHITE SILVER
UC126389XL
Duranar XL



⑨ METAL PANEL
COLOR: MATTHEWS PAINT
MP00906 AZULADO, SATIN FINISH



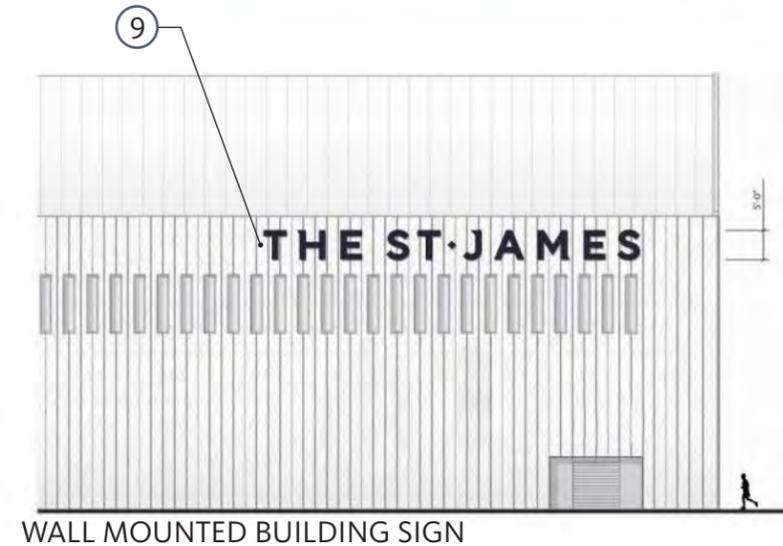
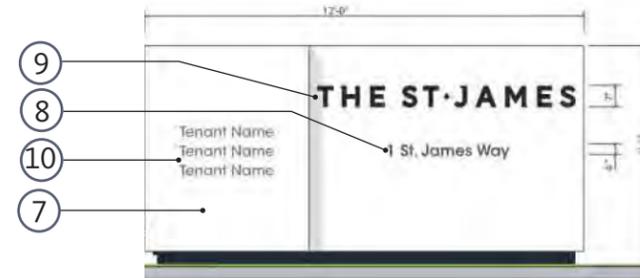
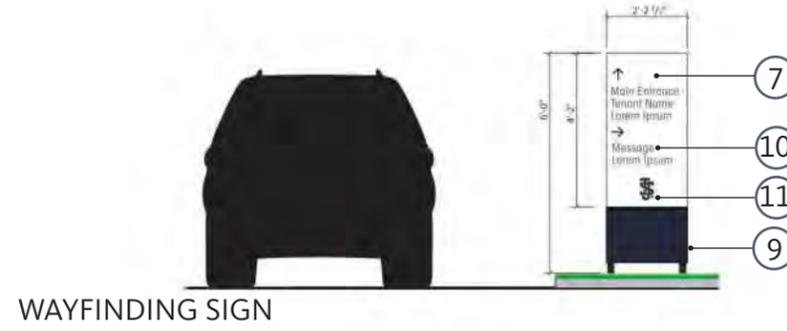
⑧ METAL PANEL
COLOR: WROUGHT IRON METALLIC
UC121996XL
Duranar XL



⑩ REFLECTIVE FILMS
COLOR: BLACK
3M Reflective Films.
680-85



⑪ REFLECTIVE FILMS
COLOR: BLUE
3M Reflective Films



VIEW AT ENTRY MONUMENT SIGN AND WAYFINDING SIGN



VIEW AT MAIN MONUMENT SIGN



VIEW AT WALL MOUNTED BUILDING SIGN

SITE LIGHTING FIXTURE SCHEDULE
REFERENCE SHEET : EL3.0



TYPE: DL5A
MFR: GOTHAM
MODEL: ICO-30/15-4AR-BLANK-LD-65D-MVOLT-EZ10-CR190
FINISH: MATTE
LAMP: 3000K, 1500LM, 65°



TYPE: SL1
MFR: LUMENPULSE
MODEL: LBIL-WO-120/277-30K-90X35-CL-DIM-BVH-SSB
FINISH: BRUSHED STAINLESS STEEL
LAMP: 3000K, 3396LM, 90°X35°



TYPE: DL1
MFR: GOTHAM
MODEL: ICO-SQADJ-35-60-6AC-T00-BLANK-LD-45D-277-EZ10-CR190
FINISH: TBD
LAMP: 3500K, 6000LM, 45°



TYPE: SL3A
MFR: SISTEMALUX
MODEL: S.7050W-UNV-24-ALUMINUM-11'-0"
FINISH: ANTHRACITE GRAY
LAMP: 3000K, 3925LM, SYMMETRIC



TYPE: SL3B
MFR: SISTEMALUX
MODEL: S.7050W-UNV-24-S.7059-24-ALUMINUM-11'-0"
FINISH: ANTHRACITE GRAY
LAMP: 3000K, 3925LM, ASYMMETRIC



TYPE: SL4A
MFR: CREE
MODEL: EDGE-ARE-EHO-2MB-12-UL-SV-700-40K-SINGLE TENON
FINISH: SILVER
LAMP: 4000K, 19311LM, TYPE II MEDIUM



TYPE: SL4B
MFR: CREE
MODEL: EDGE-ARE-EHO-3M-12-UL-SV-700-40K-DOUBLE TENON
FINISH: SILVER
LAMP: 4000K, 21309LM, TYPE III MEDIUM



TYPE: SL4C
MFR: CREE
MODEL: EDGE-ARE-EHO-3M-12-UL-SV-700-40K-SINGLE TENON
FINISH: SILVER
LAMP: 4000K, 21309LM, TYPE III MEDIUM

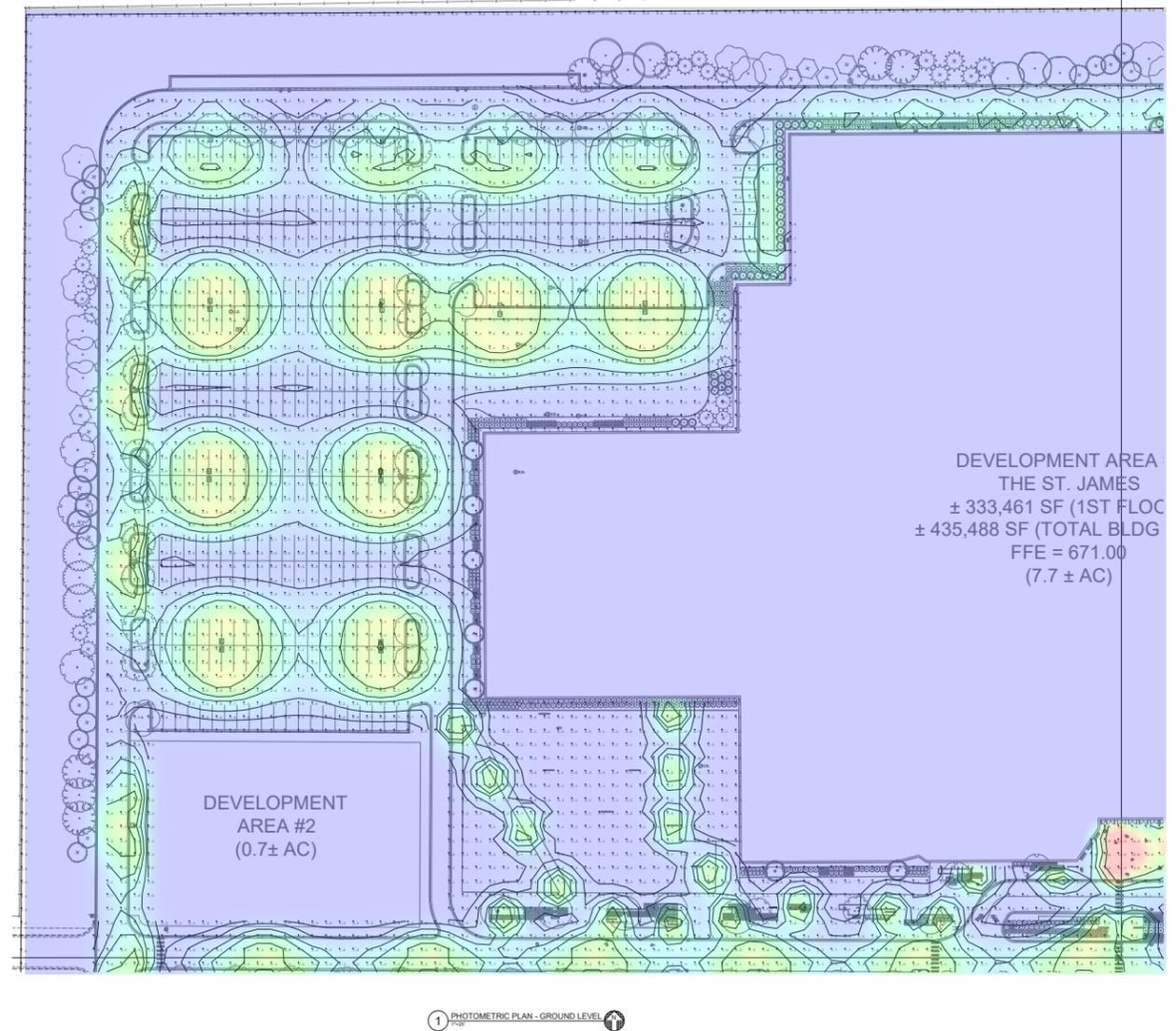
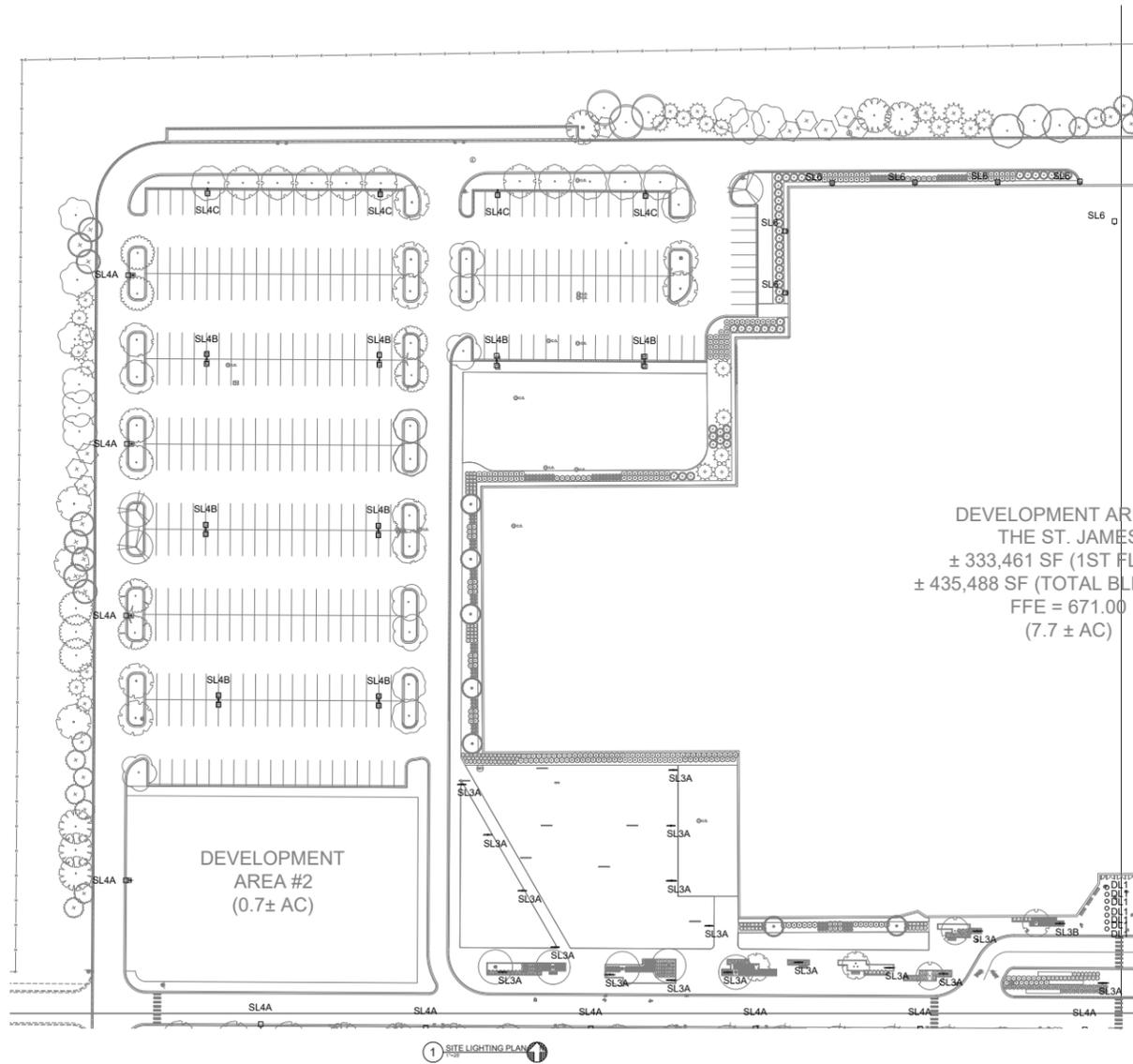


TYPE: SL5
MFR: BK LIGHTING
MODEL: ARTISTAR-AR-LED-TR-E65-WFL-WHW-12-11-B-6
FINISH: WHITE (GLOSS) WRINKLE
LAMP: 3000K, WIDE FLOOD



TYPE: SL6
MFR: CREE
MODEL: EDGE-SEC-EDG-3M-WM-06-E-UL-SV-700-DIM
FINISH: SILVER
LAMP: 4000K, 11779LM, TYPE III MEDIUM

SITE LIGHTING AND PHOTOMETRIC PLANS
 REFERENCE SHEET : EL1.1 AND EL2.1

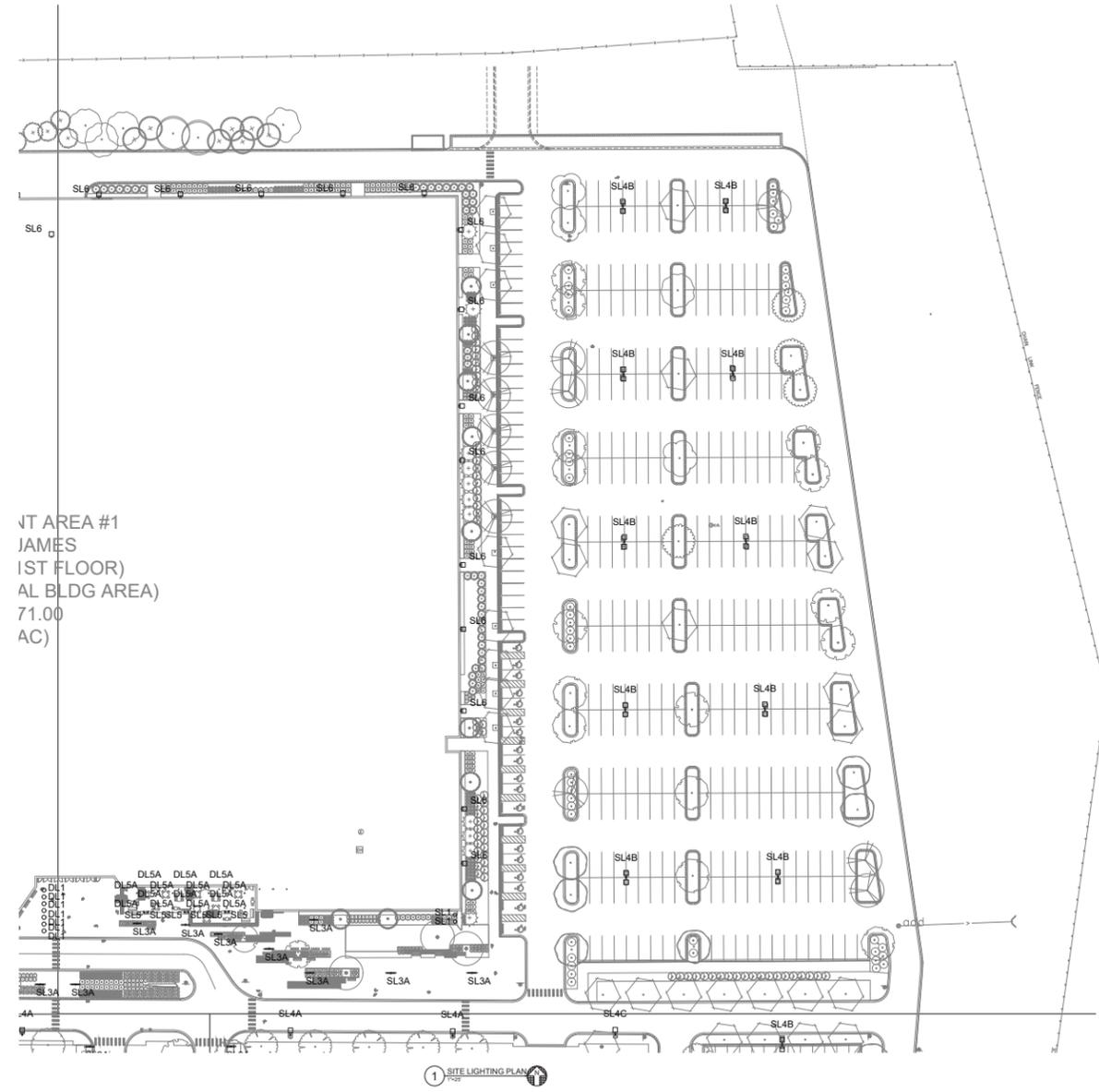


Fixture	Qty	Label	Arrangement	Total Lamp Lumens	LPF	Description
1	11	SL4A	STRONG	0.00	0.00	ALL 150-200-watt 2' x 2'-100-400' COPIED/150' FLOOR 200' 200-watt-2' x 2'-100-400'
2	14	SL4B	STRONG	0.00	0.00	COPIED/150' FLOOR 200' 200-watt-2' x 2'-100-400'
3	10	SL4B-DUAL	BACK-BACK	0.00	0.00	COPIED/150' FLOOR 200' 200-watt-2' x 2'-100-400'
4	11	SL4B	STRONG	0.00	0.00	COPIED/150' FLOOR 200' 200-watt-2' x 2'-100-400'
5	18	SL3A-DUAL	STRONG	0.00	0.00	STRONG-14
6	11	SL3A	STRONG	0.00	0.00	STRONG-14
7	11	SL3A	STRONG	0.00	0.00	STRONG-14
8	11	SL3A	STRONG	0.00	0.00	STRONG-14
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97	11	SL3A	STRONG	0.00	0.00	STRONG-14
98	11	SL3A	STRONG	0.00	0.00	STRONG-14
99	11	SL3A	STRONG	0.00	0.00	STRONG-14
100	11	SL3A	STRONG	0.00	0.00	STRONG-14

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
BLDG	Illuminance	fc	2.38	24.4	0.0	N/A

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
BLDG-PROPERTY LINE	Illuminance	fc	0.11	20.2	0.0	N/A

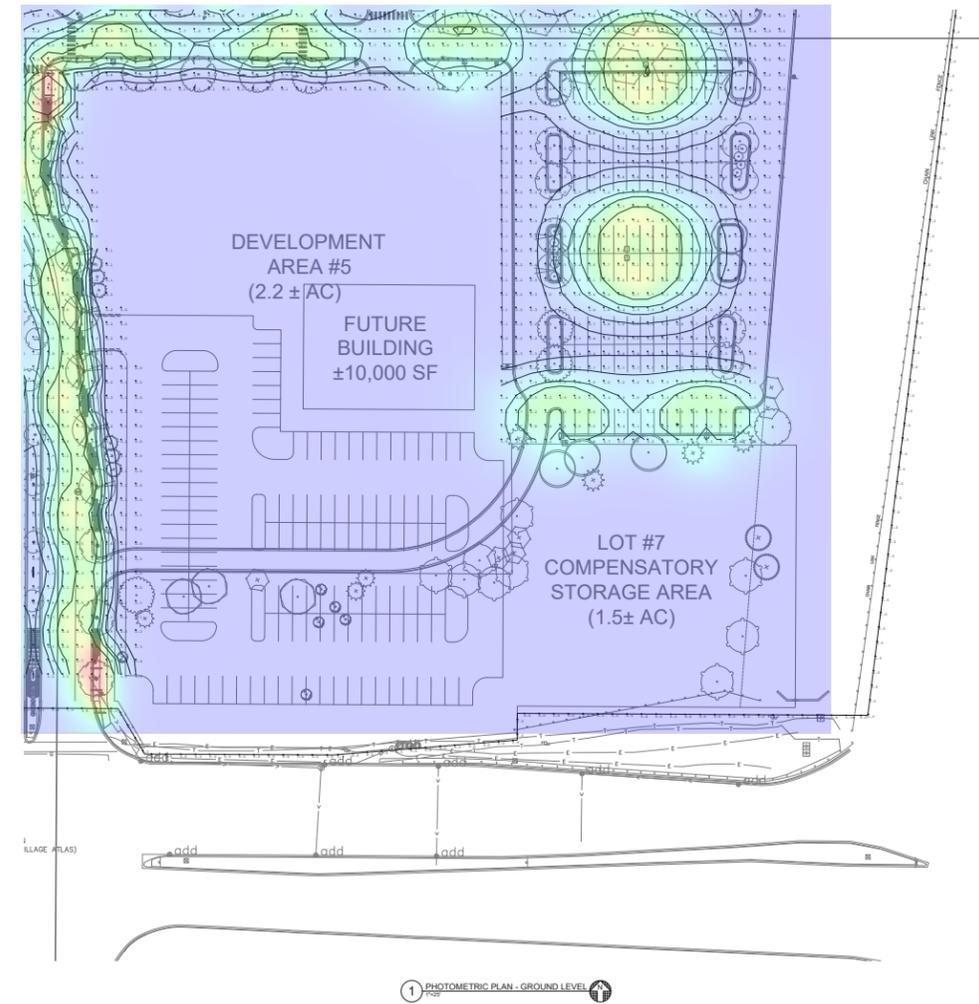
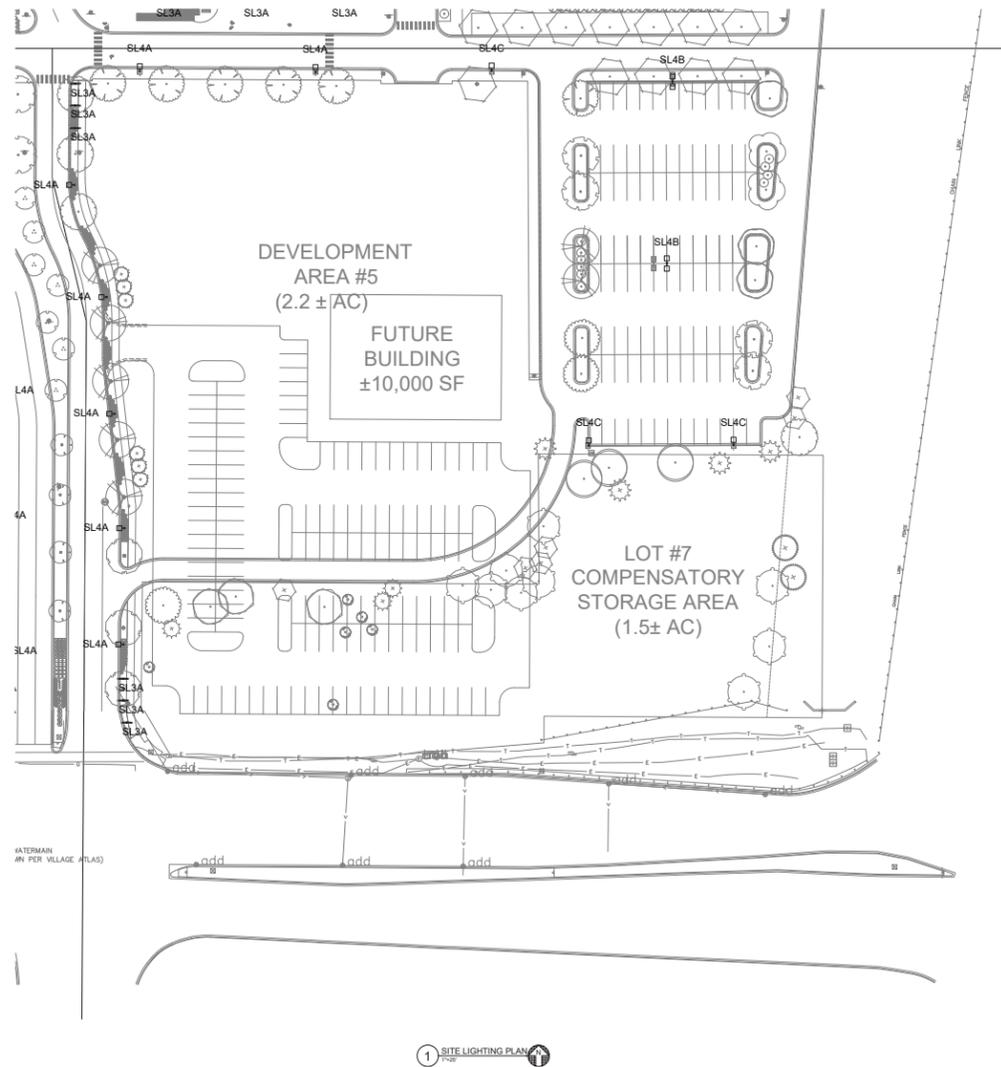
SITE LIGHTING AND PHOTOMETRIC PLANS
 REFERENCE SHEET : EL1.2 AND EL2.2



Symbol	Qty	Label	Arrangement	Total Lamp Lumens	WSP	Description
SL3A	131	SL3A	STRONG	0.00	0.00	ALL 100-200-wx-12-0-100-100 COMP/100W P/00 200-200-wx-12-0-100-100
SL3B	120	SL3B DUAL	BACK-BACK	0.00	0.00	COMP/100W P/00 100-100-wx-12-0-100-100-wx-12-0-100-100
SL3C	13	SL3 CDM	STRONG	0.00	0.00	COMP/100W P/00 100-100-wx-12-0-100-100-wx-12-0-100-100
SL3D	13	SL3 CDM	STRONG	0.00	0.00	COMP/100W P/00 100-100-wx-12-0-100-100-wx-12-0-100-100
SL3E	13	SL3 CDM	STRONG	0.00	0.00	COMP/100W P/00 100-100-wx-12-0-100-100-wx-12-0-100-100
SL3F	13	SL3 CDM	STRONG	0.00	0.00	COMP/100W P/00 100-100-wx-12-0-100-100-wx-12-0-100-100
SL3G	13	SL3 CDM	STRONG	0.00	0.00	COMP/100W P/00 100-100-wx-12-0-100-100-wx-12-0-100-100
SL3H	13	SL3 CDM	STRONG	0.00	0.00	COMP/100W P/00 100-100-wx-12-0-100-100-wx-12-0-100-100
SL3I	13	SL3 CDM	STRONG	0.00	0.00	COMP/100W P/00 100-100-wx-12-0-100-100-wx-12-0-100-100
SL3J	13	SL3 CDM	STRONG	0.00	0.00	COMP/100W P/00 100-100-wx-12-0-100-100-wx-12-0-100-100
SL3K	13	SL3 CDM	STRONG	0.00	0.00	COMP/100W P/00 100-100-wx-12-0-100-100-wx-12-0-100-100
SL3L	13	SL3 CDM	STRONG	0.00	0.00	COMP/100W P/00 100-100-wx-12-0-100-100-wx-12-0-100-100
SL3M	13	SL3 CDM	STRONG	0.00	0.00	COMP/100W P/00 100-100-wx-12-0-100-100-wx-12-0-100-100
SL3N	13	SL3 CDM	STRONG	0.00	0.00	COMP/100W P/00 100-100-wx-12-0-100-100-wx-12-0-100-100
SL3O	13	SL3 CDM	STRONG	0.00	0.00	COMP/100W P/00 100-100-wx-12-0-100-100-wx-12-0-100-100
SL3P	13	SL3 CDM	STRONG	0.00	0.00	COMP/100W P/00 100-100-wx-12-0-100-100-wx-12-0-100-100
SL3Q	13	SL3 CDM	STRONG	0.00	0.00	COMP/100W P/00 100-100-wx-12-0-100-100-wx-12-0-100-100
SL3R	13	SL3 CDM	STRONG	0.00	0.00	COMP/100W P/00 100-100-wx-12-0-100-100-wx-12-0-100-100
SL3S	13	SL3 CDM	STRONG	0.00	0.00	COMP/100W P/00 100-100-wx-12-0-100-100-wx-12-0-100-100
SL3T	13	SL3 CDM	STRONG	0.00	0.00	COMP/100W P/00 100-100-wx-12-0-100-100-wx-12-0-100-100
SL3U	13	SL3 CDM	STRONG	0.00	0.00	COMP/100W P/00 100-100-wx-12-0-100-100-wx-12-0-100-100
SL3V	13	SL3 CDM	STRONG	0.00	0.00	COMP/100W P/00 100-100-wx-12-0-100-100-wx-12-0-100-100
SL3W	13	SL3 CDM	STRONG	0.00	0.00	COMP/100W P/00 100-100-wx-12-0-100-100-wx-12-0-100-100
SL3X	13	SL3 CDM	STRONG	0.00	0.00	COMP/100W P/00 100-100-wx-12-0-100-100-wx-12-0-100-100
SL3Y	13	SL3 CDM	STRONG	0.00	0.00	COMP/100W P/00 100-100-wx-12-0-100-100-wx-12-0-100-100
SL3Z	13	SL3 CDM	STRONG	0.00	0.00	COMP/100W P/00 100-100-wx-12-0-100-100-wx-12-0-100-100

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
SL3	ILLUMINANCE	fc	2.38	24.4	0.0	N/A

SITE LIGHTING AND PHOTOMETRIC PLANS
 REFERENCE SHEET : EL1.4 AND EL2.4



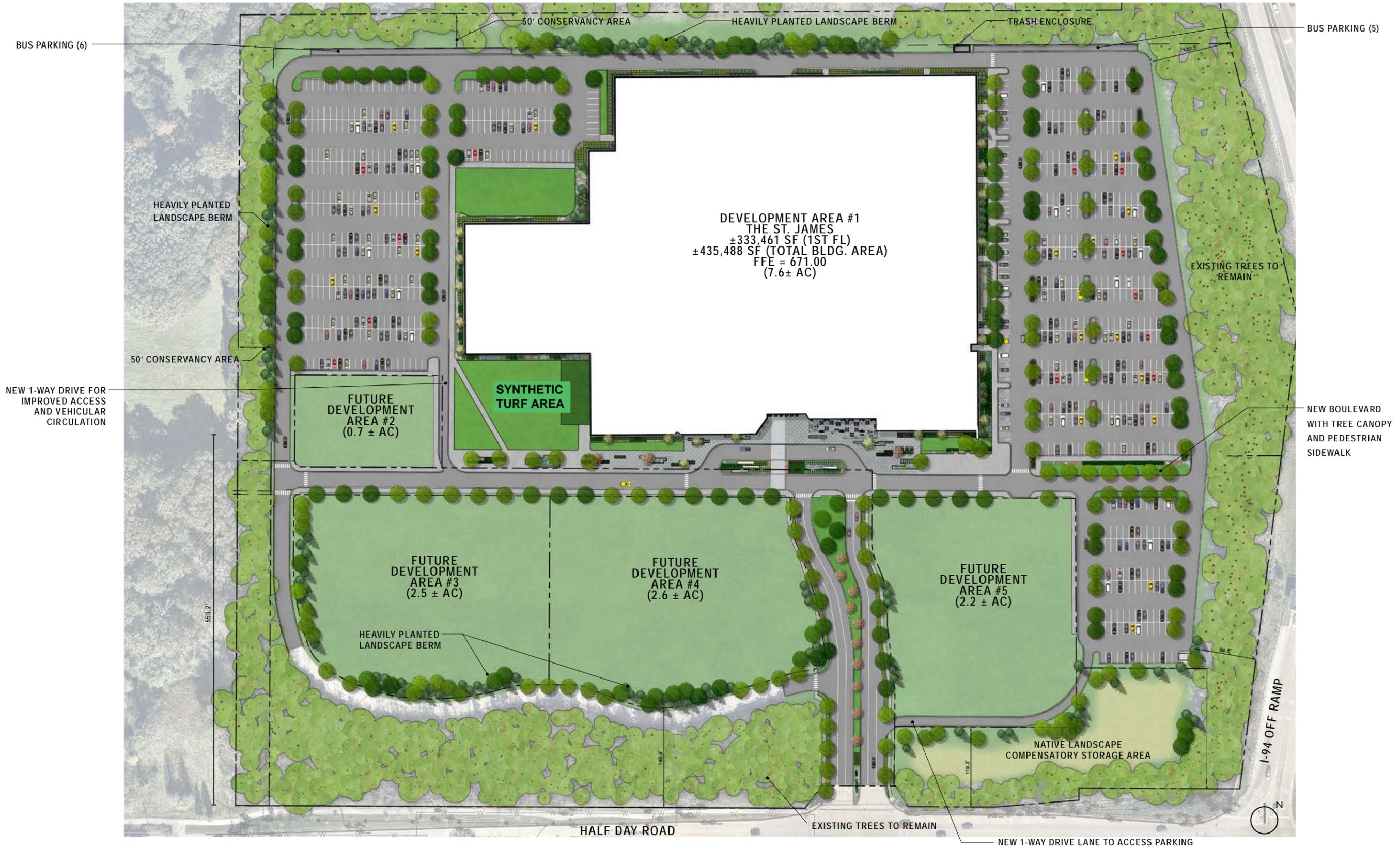
Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LF	Description
1	11	SL4A	STRONG	8,000	0.85	ARR-100-200-ss-12-0-100-400 COMP/STRONG FLOOR AND SIDE WALK-SS-12-0-100-400
2	10	SL4B	STRONG	8,000	0.85	COMP/STRONG FLOOR AND SIDE WALK-SS-12-0-100-400-SS-100-400-400
3	10	SL4B DUAL	BACK-BACK	8,000	0.85	COMP/STRONG FLOOR AND SIDE WALK-SS-12-0-100-400-SS-100-400-400
4	11	SL4C	STRONG	8,000	0.85	ARR-100-200-ss-12-0-100-400-SS-100-400-400
5	18	SL4D	STRONG-14	8,000	0.85	STRONG-14
6	1	SL4E	STRONG	8,000	0.85	STRONG-14
7	13	SL4F	STRONG	8,000	0.85	ARR-100-200-ss-12-0-100-400-SS-100-400-400
8	1	SL4G	STRONG	8,000	0.85	ARR-100-200-ss-12-0-100-400-SS-100-400-400
9	2	SL4H	STRONG	8,000	0.85	ARR-100-200-ss-12-0-100-400-SS-100-400-400

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE	Illuminance	fc	2.38	24.4	0.9	N/A	N/A

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
SITE-PROPERTY LINE	Illuminance	fc	0.71	20.2	0.9	N/A	N/A

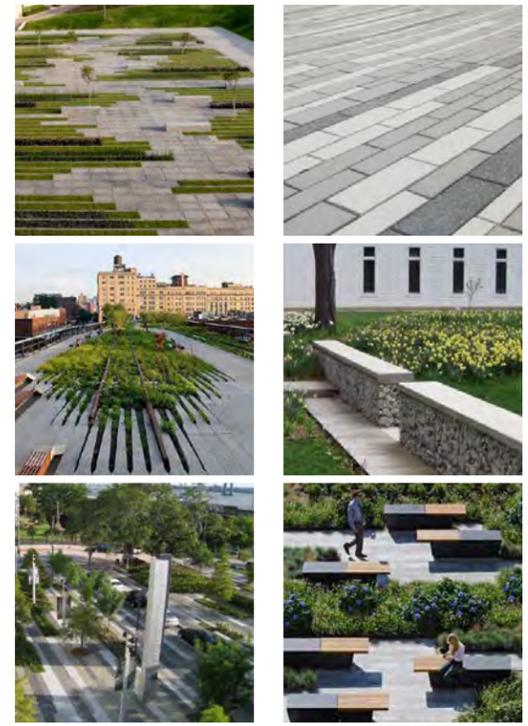
SITE PLAN RENDERING

REFERENCE SHEET : EX 1.0



SITE PLAN RENDERING ENTRY ENLARGEMENT AND PERSPECTIVES

REFERENCE SHEET : EX 1.1



CHARACTER IMAGES



CONCEPTUAL DESIGN VIEW



CONCEPTUAL DESIGN VIEW



KEY MAP



KEY MAP

SITE FURNISHING

REFERENCE SHEET : EX 1.2



REST BENCH (IPE)



STOP BOLLARD



COLLECT TRASH RECEPTACLE



REST BENCH (IPE)



REST BIKE RACKS



PAVING

PLANT PALETTE TREES

REFERENCE SHEET : EX 1.3



COMMON HORSECHESTNUT



RED MAPLE



AMERICAN HORNBEAM



COMMON HACKBERRY



MAIDENHAIR TREE



AUTUMN GLOW JAPANESE ZELKOVA



KENTUCKY COFFEE TREE



SHADEMASTER LOCUST



EMERALD CITY TULIP TREE



WHITE OAK



SWAMP WHITE OAK



AMERICAN ELM



PYRAMIDAL ENGLISH OAK



BURR OAK



RED OAK



BALD CYPRESS



SENTRY LINDEN



WHITE PINE



EASTERN RED CEDAR



NORWAY SPRUCE



DOUGLAS FIR



SERBIAN SPRUCE



NIGRA ARBORVITAE

PLANT PALETTE SHRUBS, GRASSES AND PERENNIALS

REFERENCE SHEET : EX 1.4



EASTERN REDBUD



THORNLESS COCKSPUR HAWTHORN



ROYAL RAINDROPS CRABAPPLE



IVORY SILK JAPANESE TREE LILAC



FAIRVIEW JUNIPER



TAUNTON YEW



ANNABELLE SMOOTH HYDRANGEA



OVERDAM FEATHER REED GRASS



FLAME GRASS



SWITCH GRASS



BURGUNDY BUNNY DWARF FOUNTAIN GRASS



AUTUMN MOOR GRASS



PRAIRIE DROPSEED



LITTLE LIME HYDRANGEA



BLACK CHOKEBERRY



SHAMROCK INKBERRY



VIRGINIA SWEETSPIRE



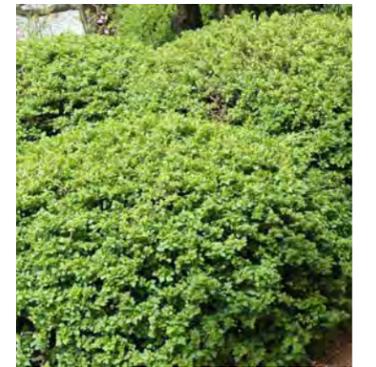
DWARF FOTHERGILLA



GRO-LOW FRAGRANT SUMAC



BLUE MUFFIN VIBURNUM



GREEN MOUND ALPINE CURRANT



DOGWOOD



KIM'S KNEE HIGH PURPLE CONEFLOWER



BLUE ICE STAR FLOWER



SUMMER BEAUTY ALLIUM



COREOPSIS



PALACE PURPLE CORAL BELLS



WALKERS LOW CATMINT

PHOTO SIMULATIONS EXISTING AND PROPOSED CONDITION

REFERENCE SHEET : EX 1.5



EXISTING CONDITIONS



PROPOSED CONDITIONS

VIEW LOOKING NORTH FROM SOUTH SIDE OF HALF DAY ROAD



EXISTING CONDITIONS



PROPOSED CONDITIONS

VIEW LOOKING NORTH FROM SOUTH SIDE OF HALF DAY ROAD WEST OF MAIN ENTRY

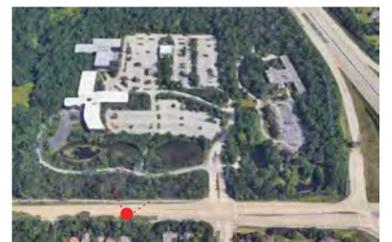


PHOTO SIMULATIONS EXISTING AND PROPOSED CONDITION

REFERENCE SHEET : EX 1.6



EXISTING CONDITIONS



PROPOSED CONDITIONS

VIEW LOOKING EAST FROM ADJACENT PROPERTY TO THE WEST



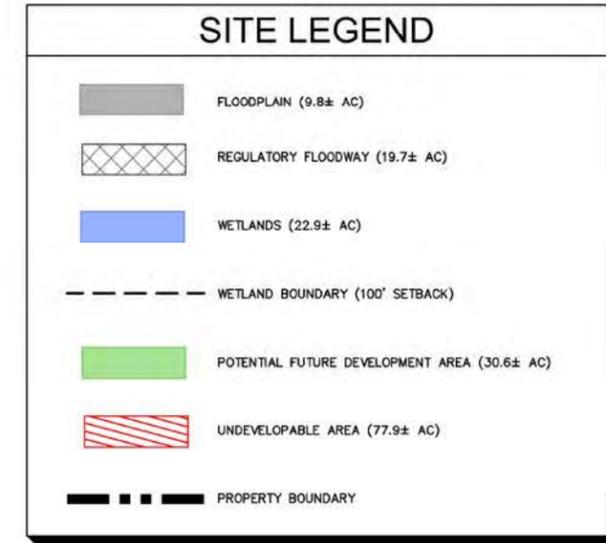
EXISTING CONDITIONS



PROPOSED CONDITIONS

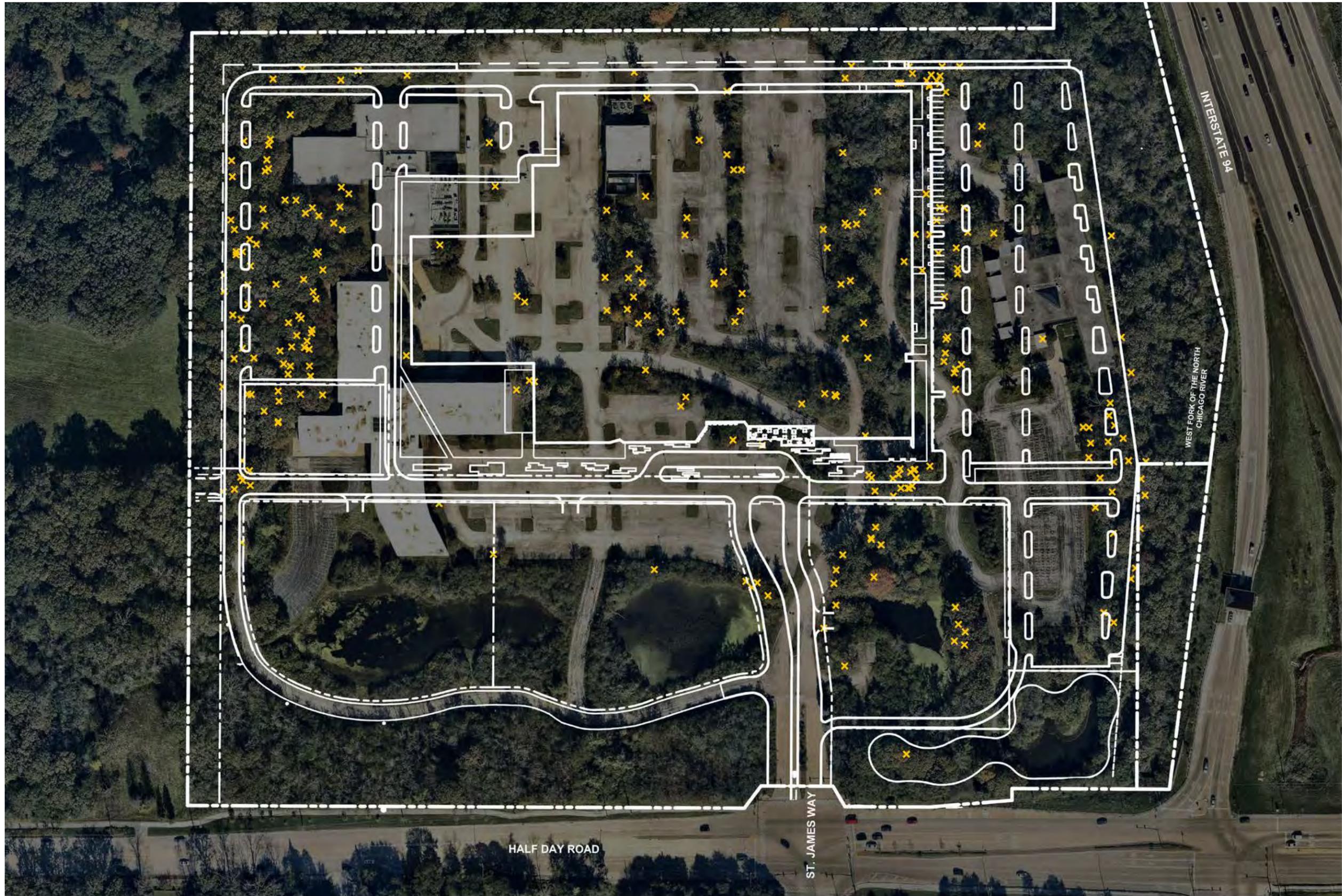
VIEW LOOKING NORTHWEST FROM SOUTH SIDE OF HALF DAY ROAD





TREE REMOVAL OVERLAY

REFERENCE SHEET : NEW DIAGRAM



TREE CANOPY COMPARISON EXISTING VS. PROPOSED CONDITION

REFERENCE SHEET : EX 1.7



EXISTING CONDITIONS



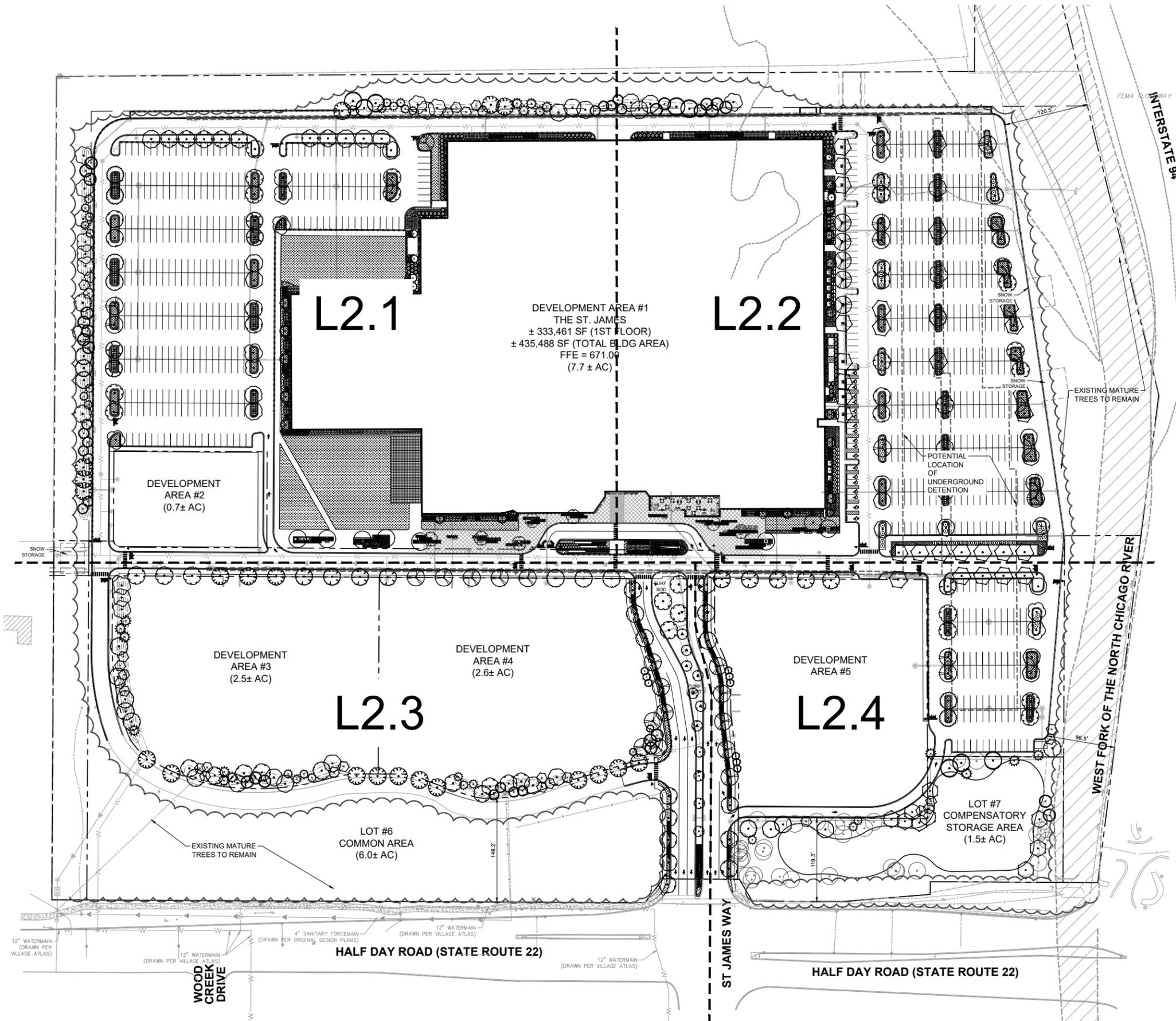
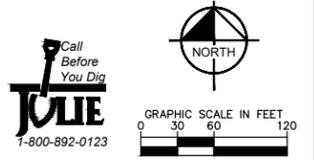
PROPOSED CONDITIONS

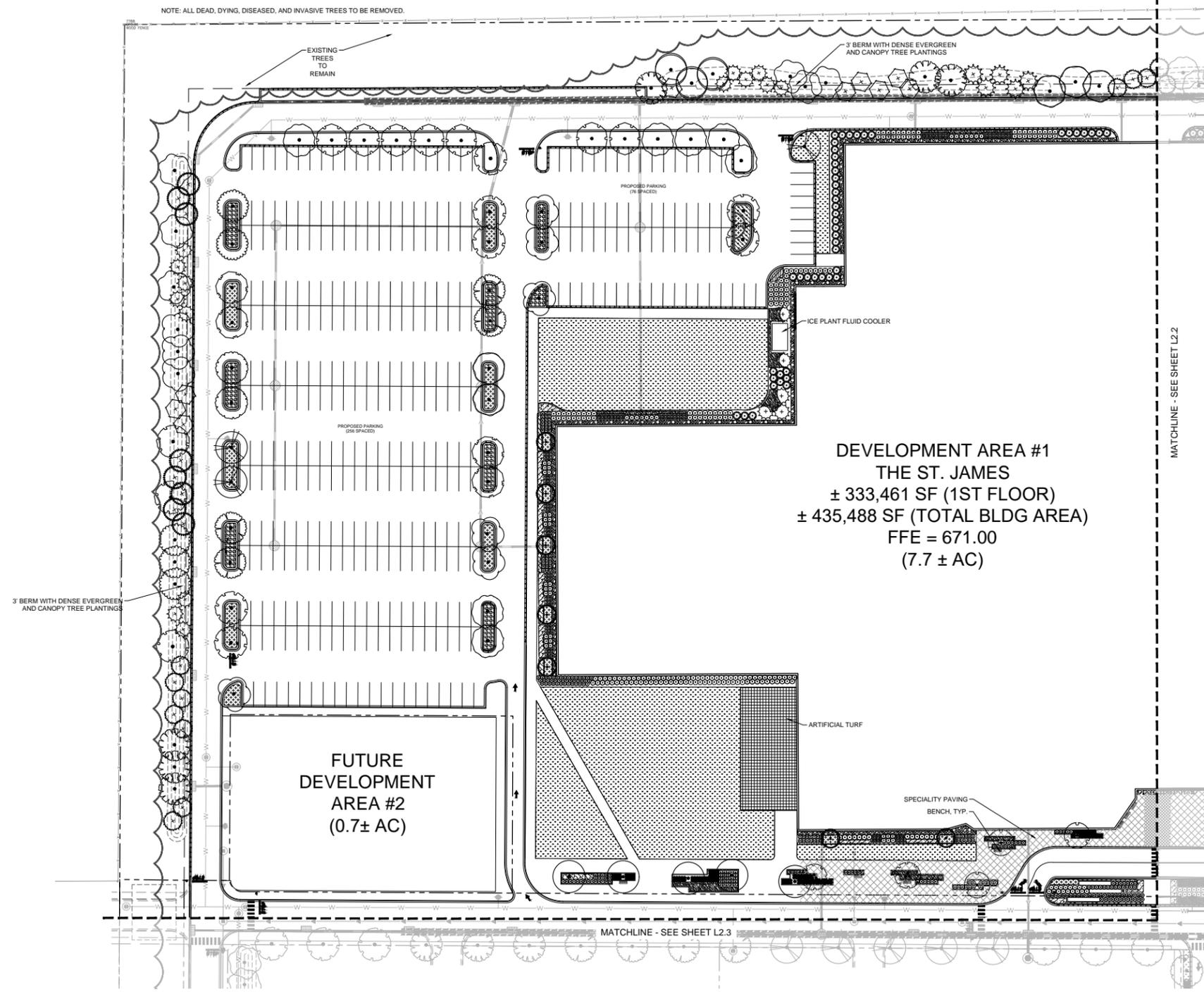
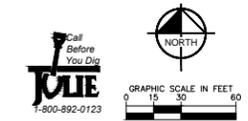
LEGEND

-  EXISTING TREE 6" CALIPER OR GREATER
-  PROPOSED CANOPY OR EVERGREEN TREE

OVERALL LANDSCAPE PLAN

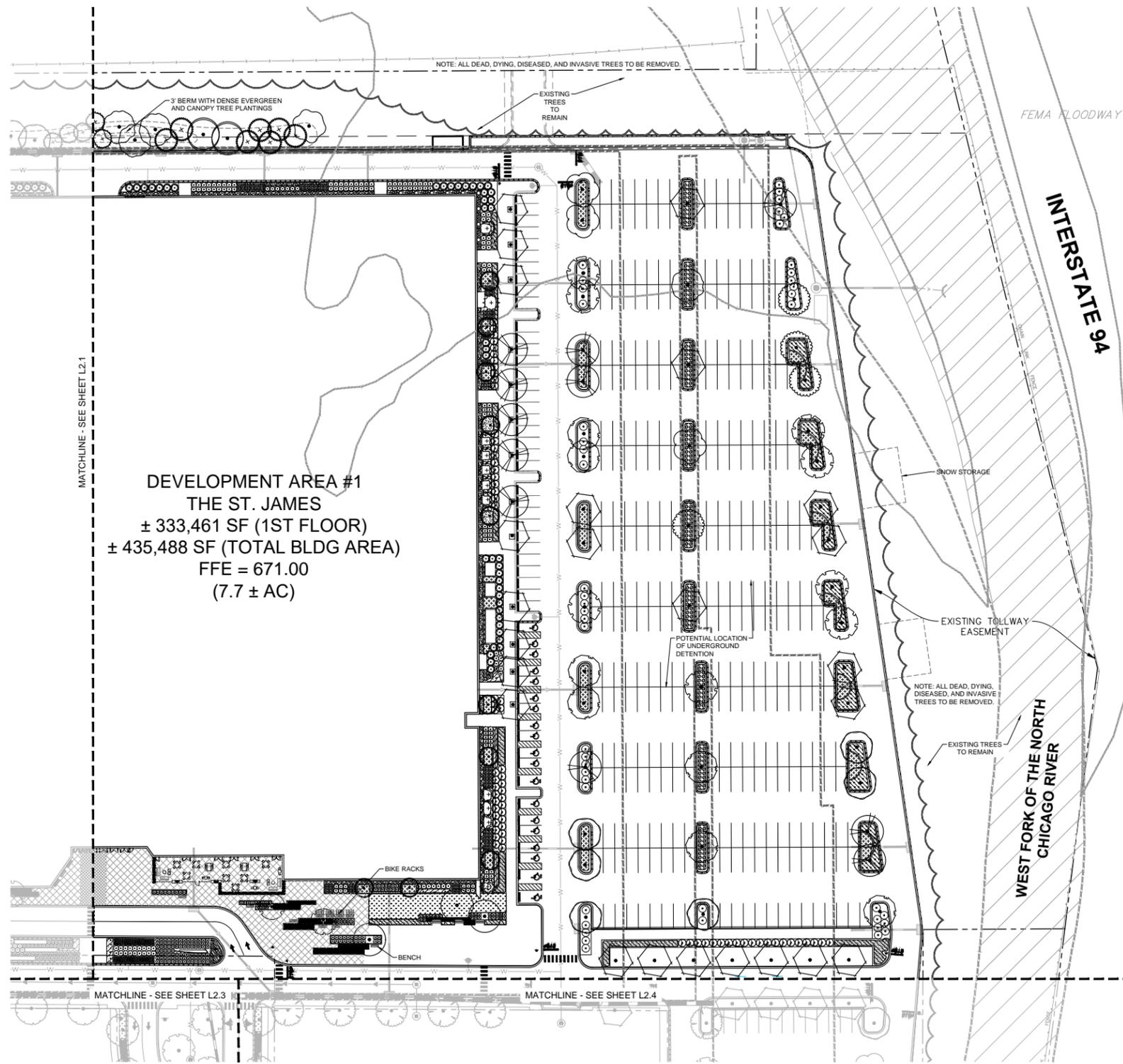
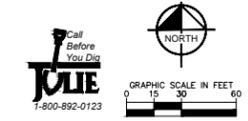
REFERENCE SHEET : L2.0





PLANT SCHEDULE

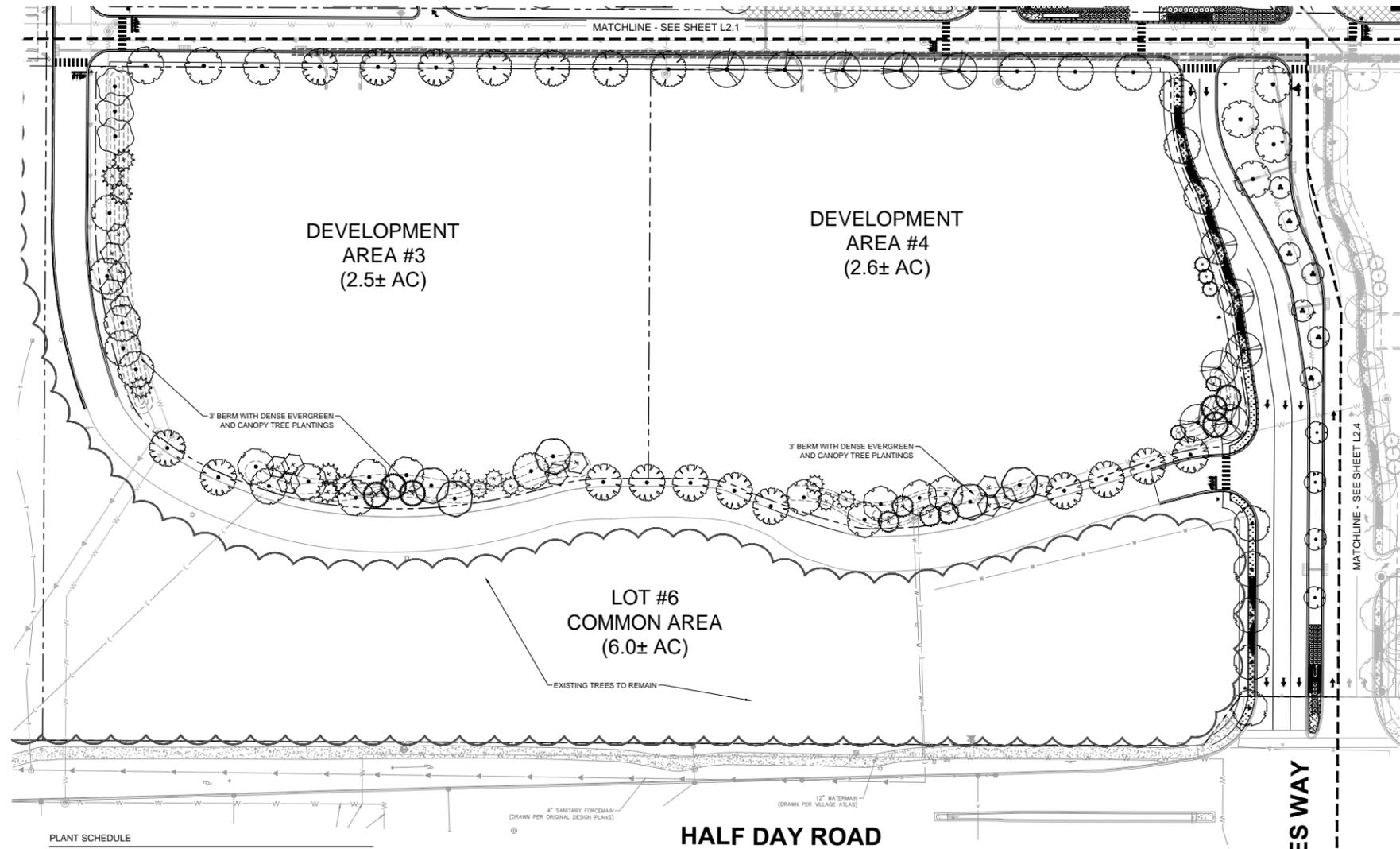
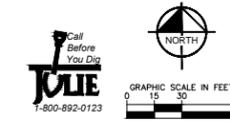
CODE	BOTANICAL / COMMON NAME
AE	ABUTILON HYBRIDUM / COMMON HOSECHESNUT
AM	ACER FREEMANI 'MARNO' / MARNO FREEMAN MAPLE
AR	ACER RUBRUM / RED MAPLE
CA3	CAMPANULA CAROLINIANA / AMERICAN HORNBEAM
CO	CELTIS OCCIDENTALIS / COMMON HICKBERRY
GG	GRINGO BELGA 'AUTUMN GOLD' TM / MANDENHAR TREE
OK	GYMNOCLADUS DIOICA / KENTUCKY COFFEE TREE
OS	QUELTERIA TRICANTHOS INERMIS 'SHADEMASTER' TM / SHADEMASTER LOCUST
LE	LIRIODENDRON TULIPIFERA 'EMERALD CITY' TM / EMERALD CITY TULIP TREE
QA	QUERCUS ALBA / WHITE OAK
QB	QUERCUS BICOLOR / SWAMP WHITE OAK
QF	QUERCUS KOBUR 'FASTIGIATA' / PYRAMIDAL ENGLISH OAK
QM	QUERCUS MACROCARPA / BURR OAK
QU	QUERCUS RUBRA / RED OAK
TD	TAXODIUM DISTICHUM / BALD CYPRESS
TM	TILIA AMERICANA 'MCKENZIE' / SWEET LINDEN
UP	ULMUS AMERICANA 'PRINCETON' / AMERICAN ELM
ZK	ZELKOYA SERRATA 'AUTUMN GLOW' / AUTUMN GLOW JAPANESE ZELKOYA
EVERGREEN TREES	
CODE	BOTANICAL / COMMON NAME
J2	JUNIPERUS VIRGINIANA / EASTERN RED CEDAR
PA	PICEA ABIES / NORWAY SPRUCE
PD	PSEUDOTSUGA MENZIESII / DOUGLAS FIR
PF	PRINUS FLEXILIS 'VANDERWOLF'S PYRAMID' / VANDERWOLF'S PYRAMID PINE
PO	PICEA OMBRIKA / SERBIAN SPRUCE
PS	PRINUS STROBUS / WHITE PINE
TN	TILIA OCCIDENTALIS 'NORSA' / NORSA ABBOTSLINE
ORNAMENTAL TREES	
CODE	BOTANICAL / COMMON NAME
CE	CERCIS CANADENSIS / EASTERN REDBUD
CV	CRATAEGUS CRUG-SALLI INERMIS TM / THORNLESS COCKSPUR HAWTHORN
MR	MALUS X 'ROYAL HARBOR' / ROYAL HARBOR CRABAPPLE
SI	SYRINGA RETICULATA 'IVORY SILK' / IVORY SILK JAPANESE TREE LILAC
BUSHES	
CODE	BOTANICAL / COMMON NAME
AI	ARONIA MELANOCARPA 'WILD BEAUTY' / BLACK CHERRYBERRY
BL	Buddleia x LO & SEHOLD 'BLUE CHIP' / BUTTERFLY BUSH
CF	CORNUS SERICEA 'FARROW' / ARCTIC FIRE RED TING DOGWOOD
FM	FOTHERGILLA GARDENI / DWARF FOTHERGILLA
HA	HYDRANGEA ARBORESCENS 'ANNABELLE' / ANNABELLE SMOOTH HYDRANGEA
HL	HYDRANGEA PANICULATA 'LITTLE LIME' / LITTLE LIME HYDRANGEA
L	ITEA VIRGINICA 'LITTLE HENRY' TM / VIRGINIA SNOWFLAKE
J2	JUNIPERUS CHINENSIS 'FAIRVIEW' / FAIRVIEW JUNIPER
JK	ILEX GLABRA 'SHARROCK' / SHARROCK HEDGE
JT	JUNIPERUS COMPERTA 'BLUE PACIFIC' / BLUE PACIFIC JUNIPER
RA	RIBES ALPIMUM 'GREEN MOUND' / GREEN MOUND ALPINE CURRANT
RG	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC
TT	TAXUS X MEDIA 'TAUNTON' / TAUNTON YEW
VA	VIBURNUM DENTATUM 'CHRISTOM' / BLUE MUFFIN VIBURNUM
GRASSES	
CODE	BOTANICAL / COMMON NAME
CA2	CALAMAGROSTIS X ACUTIFLORA 'OVERDAM' / OVERDAM FEATHER REED GRASS
MP	MISCANTHUS SINENSIS 'PURPURESCENS' / FLAME GRASS
PB	PENSETUM ALPELCOLOIDES 'BURGLANDY BUNNY' / BURGLANDY BUNNY DWARF FOUNTAIN GRASS
PS2	PANICUM VIRGATUM 'SHENANDOAH' / SWITCH GRASS
PERENNIALS AND GRASSES	
CODE	BOTANICAL / COMMON NAME
AB2	ANEMONE THURBERGHIANA 'BLUE ICE' / BLUE ICE STAR FLOWER
AS	ALLIUM SENESCENS 'SUMMER BEAUTY' / SUMMER BEAUTY ALLIUM
CT	COTONEASTER DAMMER 'NORDIC CARPET' / NORDIC CARPET COTONEASTER
GR2	GERANIUM X CANTABRIGENSE 'KAMINA' / BOKOVO CRANESBILL
HP	HELOPSYCHE NICHANTHA 'PALACE PURPLE' / PALACE PURPLE CORAL BELLS
NW	NEPETA X FASSERII 'WALKERS LOW' / WALKERS LOW CATMINT
PMA	PERENNIAL MIX A / 50% COREOPSIS & 50% ECHINACEA
SA	SESTHERIA AUTUMNALIS / AUTUMN MOOR GRASS
ST	SPOROBOLUS HETEROLEPIS 'TARA' / PRAIRIE DROPSEED
GROUND COVERS	
CODE	BOTANICAL / COMMON NAME
R	STONE MULCH / 3/4" - 1 1/4" AQUA BLUE CHIPS
SY	/ SYNTHETIC TURF
TD	/ TURF SOIL
	EXISTING TREES TO REMAIN



DEVELOPMENT AREA #1
THE ST. JAMES
± 333,461 SF (1ST FLOOR)
± 435,488 SF (TOTAL BLDG AREA)
FFE = 671.00
(7.7 ± AC)

PLANT SCHEDULE

CODE	BOTANICAL / COMMON NAME
TREES	
AE	ASCULUS HYPOCASTANUM / COMMON HORSECHESTNUT
AM	ACER FREEMANI 'MARMO' / MARMO FREEMAN MAPLE
AR	ACER RUBRUM / RED MAPLE
CA3	CARPINUS CAROLINIANA / AMERICAN HORNBEAM
CD	CELTIS OCCIDENTALIS / COMMON HACKBERRY
GG	GRINGO BLOOM 'AUTUMN GOLD' TM / MADENHAR TREE
GK	GYMNOCALADUS DIOICA / KENTUCKY COFFEE TREE
GS	GLEDTZIA TRIACANTHOS INERMIS 'SHADEMASTER' TM / SHADEMASTER LOCUST
LE	LIRIODENDRON TULIPIFERA 'EMERALD CITY' TM / EMERALD CITY TULIP TREE
QA	QUERCUS ALBA / WHITE OAK
QB	QUERCUS BICOLOR / SWAMP WHITE OAK
QF	QUERCUS ROBUR 'FASTIGIATA' / PYRAMIDAL ENGLISH OAK
QM	QUERCUS MACROCARPA / BURR OAK
QU	QUERCUS RUBRA / RED OAK
TD	TAXODIUM DISTICHUM / BALD CYPRESS
TL	THALIA AMERICANA 'MCKENRY' / SENTRY LINDEN
UP	ULMUS AMERICANA 'PRINCETON' / AMERICAN ELM
ZK	ZELKOVA SERBATA 'AUTUMN GLOW' / AUTUMN GLOW JAPANESE ZELKOVA
EVERGREEN TREES	
J2	JUNIPERUS VIRGINIANA / EASTERN RED CEDAR
PA	PICEA ABIES / NORWAY SPRUCE
PD	PISEUDOTSUGA MENDESII / DOUGLAS FIR
PF	PINUS FLEXILIS 'VANDERHOLF'S PYRAMID' / VANDERHOLF'S PYRAMID PINE
PO	PICEA OMORICA / SERBIAN SPRUCE
PS	PINUS STROBUS / WHITE PINE
TN	THALIA OCCIDENTALIS 'NIGRA' / NIGRA ARBORVITAE
ORNAMENTAL TREES	
CE	CERCIS CANADENSIS / EASTERN REDBUD
CV	CRATAEGUS CRUS-GALLI INERMIS TM / THORNLESS COCKSPUR HAWTHORN
MR	MALLUS X ROYAL RANDIOPS / ROYAL RANDIOPS CRABAPPLE
SI	SYRINGA RETICULATA 'IVORY SILK' / IVORY SILK JAPANESE TREE LILAC
SHRUBS	
AI	ARONIA MELANOCARPA 'WIGGLES BEAUTY' / BLACK CHOKERBERRY
BL	Buddleia X LO & BEHOLD 'BLUE CHIP' / BUTTERFLY BUSH
CF	CORNUS SERICEA 'FARROW' / ARCTIC FIRE RED TWIG DOGWOOD
FM	FOTHERGILLIA GARDENII 'DWARF' / FOTHERGILLA
HA	HYDRANGEA ARBORESCENS 'ANNABELLE' / ANNABELLE SMOOTH HYDRANGEA
HL	HYDRANGEA PANDICULATA 'LITTLE LIME' / LITTLE LIME HYDRANGEA
IL	ITEA VIRGINICA 'LITTLE NENNY' TM / VIRGINIA SWEETSPICE
J2	JUNIPERUS CHINENSIS 'FAIRVIEW' / FAIRVIEW JUNIPER
JK	ILEX GLABRA 'SHAMROCK' / SHAMROCK HEBERRY
JT	JUNIPERUS CONFERTA 'BLUE PACIFIC' / BLUE PACIFIC JUNIPER
RA	RIBES ALPINUM 'GREEN MOUND' / GREEN MOUND ALPINE CURRIANT
RG	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC
TT	TALUS X MEDIA 'TAUNTON' / TAUNTON YEW
VA	VIORURNAM DENTATUM 'CHRISTOM' / BLUE MUFFIN VIBURNUM
GRASSES	
CA	CALAMAGROSTIS X ACUTIFLORA 'OVERDAM' / OVERDAM FEATHER REED GRASS
MP	MISCANTHUS SINENSIS 'PURPURESCENS' / FLAME GRASS
PB	PENNISETUM ALOPECUROIDES 'BURGUNDY BUNNY' / BURGUNDY BUNNY DWARF FOUNTAIN GRASS
PD	PANICUM VIRGATUM 'BENARDONAH' / SWITCH GRASS
PERENNIALS AND GRASSES	
AB	AMSONIA TABERNAMONTANA 'BLUE ICE' / BLUE ICE STAR FLOWER
AS	ALLIUM SENESCENS 'SUMMER BEAUTY' / SUMMER BEAUTY ALLIUM
CT	COTONASTER DAMMERI 'NORDIC CARPET' / NORDIC CARPET COTONASTER
GR	GERANIUM X CANTABRIGENSE 'KARMINA' / BIKOVO CRANEBILL
HP	HEUCHERA MCRANTHA 'PALACE PURPLE' / PALACE PURPLE CORAL BELLS
NP	NEPETA X FRAZERI 'WALKERS LOW' / WALKERS LOW CATMINT
PA	PERENNIAL MIX A / 50% COREOPSIS & 50% ECHINACEA
SA	SEELERIA AUTUMNALIS / AUTUMN MOOR GRASS
ST	SPOROBIOLUS HETEROLEPIS 'TARA' / PRAIRIE DROPSEED
GROUND COVERS	
R	STONE MULCH 3/4" - 1 1/4" AQUA BLUE CHIPS
SY	/ SYNTHETIC TURF
TD	/ TURF SOG
EXISTING TREES TO REMAIN	

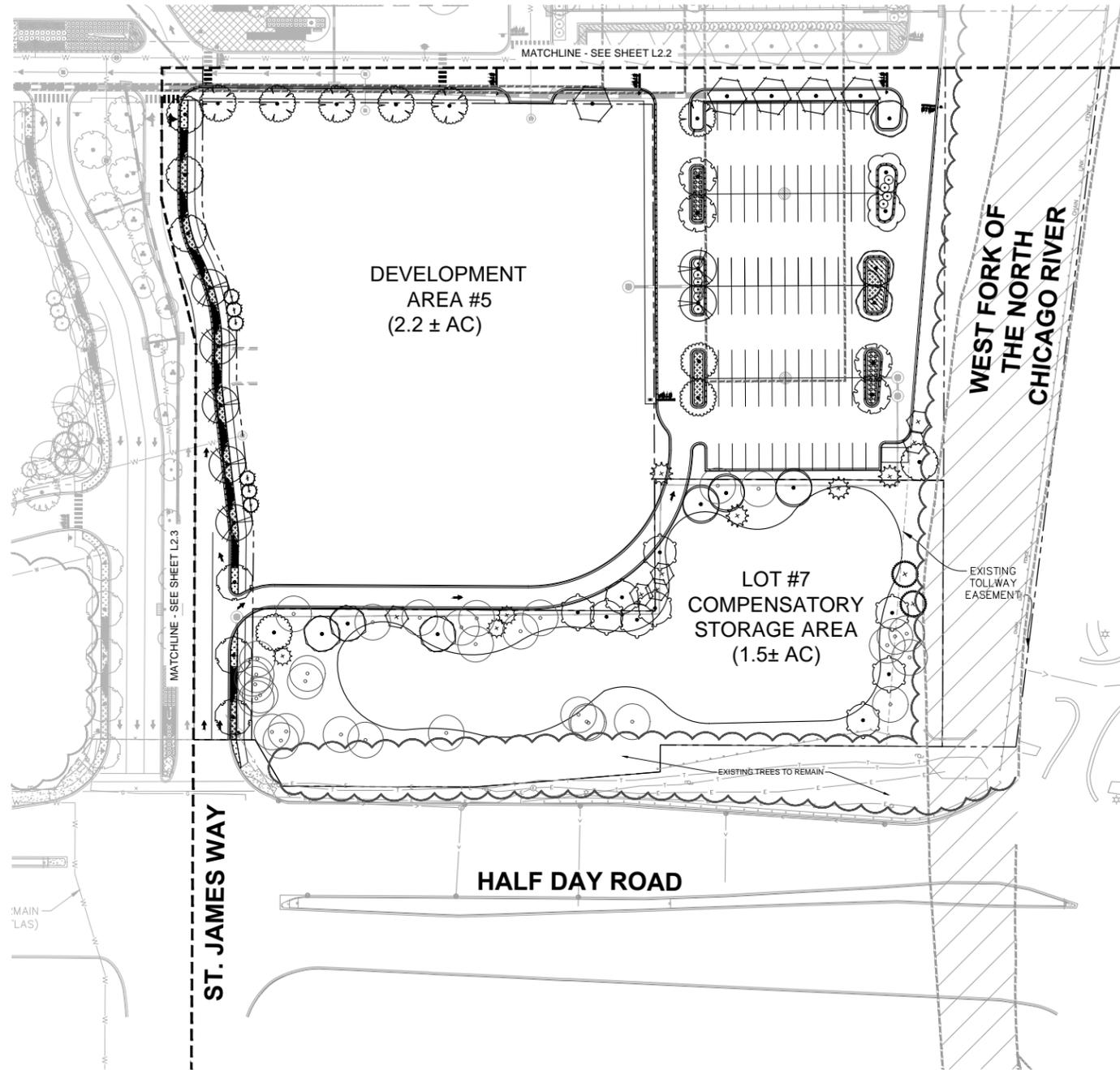
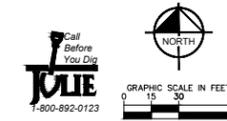


PLANT SCHEDULE

CODE	BOTANICAL / COMMON NAME
AE	AESCALUS HIPPOCASTANUM / COMMON HORSECHESTNUT
AM	ACER FREEMANI 'MARMO' / MARMO FREEMAN MAPLE
AR	ACER RUBRUM / RED MAPLE
CA3	CARPINUS CAROLINIANA / AMERICAN HORNBEAM
CD	CELTIS OCCIDENTALIS / COMMON HACKBERRY
GG	GINKGO BILOBA 'AUTUMN GOLD' TM / MADEIRA TREE
OK	GYMNOCALAUSS DOCKA / KENTUCKY COPPEE TREE
OS	GLEDTIS TRIACANTHOS INERMIS 'SHADEMASTER' TM / SHADEMASTER LOCUST
LE	LIRIODENDRON TULIPIFERA 'EMERALD CITY' TM / EMERALD CITY TULIP TREE
QA	QUERCUS ALBA / WHITE OAK
QB	QUERCUS BICOLOR / SWAMP WHITE OAK
QF	QUERCUS ROBUR 'FASTIGIATA' / PYRAMIDAL ENGLISH OAK
QM	QUERCUS MACROCARPA / BURR OAK
QU	QUERCUS RUBRA / RED OAK
T22	TAXODIUM DISTICHUM / BALD CYPRESS
TM	TILIA AMERICANA 'MCKENZIE' / SWEET LINDEN
UP	ULMUS AMERICANA 'PRINCETON' / AMERICAN ELM
ZK	ZELKOVA SERRATA 'AUTUMN GLOW' / AUTUMN GLOW JAPANESE ZELKOVA
JE3	JANIPERUS VIRGINIANA / EASTERN RED CEDAR
PA	PICEA ABIES / NORWAY SPRUCE
PD	PIEDICOTSUGA MENZIESII / DOUGLAS FIR
PF	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID' / VANDERWOLF'S PYRAMID PINE
PD	PICEA OMORICA / BERGMAN SPRUCE
PS	PINUS STROBUS / WHITE PINE
TN	THUJA OCCIDENTALIS 'NIGRA' / NIGRA ARBORVITAE

CODE	BOTANICAL / COMMON NAME
CE	CERCIS CANADENSIS / EASTERN REDBUD
CV	CRATAEGUS CRUGI-GALLI INERMIS TM / THORNLESS COCKSPUR HAWTHORN
MR	MALUS X 'ROYAL RANDROPS' / ROYAL RANDROPS CRABAPPLE
SI	SYRINGA RETICULATA 'NOVY SILK' / NOVIY SILK JAPANESE TREE LILAC
CO	CORNUS SERICEA 'FARROW' / ARCTIC FIRE RED TWIG DOGWOOD
FO	FOTHERGILLA GARDENI / DWARF FOTHERGILLA
HA	HYDRANGEA ARBORESCENS 'ANNABELLE' / ANNABELLE SMOOTH HYDRANGEA
HL	HYDRANGEA PANICOLATA 'LITTLE LIME' / LITTLE LIME HYDRANGEA
L	LISA VIRGINICA 'LITTLE HENRY' TM / VIRGINIA SWEETSPINE
JF2	JANIPERUS CHENSIS 'FAIRVIEW' / FAIRVIEW JUNIPER
JK	SEX GLABRA 'SHAMROCK' / SHAMROCK INBERRY
JT	JANIPERUS CONFERTA 'BLUE PACIFIC' / BLUE PACIFIC JUNIPER
RA	RIBES ALPINA 'GREEN MOUND' / GREEN MOUND ALPINE CURRANT
RG	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC
TT	TAXUS X MEDIA 'TAUNTON' / TAUNTON YEW
VA	VIBURNUM DENTATUM 'CHRISTOM' / BLUE MUFFIN VIBURNUM
CO	CORONILLA VARIEGATA 'SHERWOOD' / SWITCH GRASS
MP	MISCANTHUS SINENSIS 'PURPURESCENS' / FLAME GRASS
PB	PENNESETUM ALPECOLOIDES 'BURGUNDY SUNNY' / BURGUNDY SUNNY DWARF FOUNTAIN GRASS
PE2	PANICUM VIRGATUM 'SHERWOOD' / SWITCH GRASS

CODE	BOTANICAL / COMMON NAME
AB2	ANEMONA TABERNEMONTANA 'BLUE ICE' / BLUE ICE STAR FLOWER
AS	ALLIUM SENESCENS 'SUMMER BEAUTY' / SUMMER BEAUTY ALLIUM
CT	COTONEASTER DAMBENI 'NORDIC CARPET' / NORDIC CARPET COTONEASTER
DC2	GERANIUM X CANTABRIGENSE 'KARMINA' / BOKHOV CRANESBILL
HP	HEUCHERA MICRANTHA 'PALACE PURPLE' / PALACE PURPLE CORAL BELLS
HW	HEPETA X FAISSINI 'WALKERS LOW' / WALKERS LOW CATMINT
PA4	PERNANETHA X '50% CONCEPTS & 50% ECHINACEA
SA	SELERIA AUTUMNALIS / AUTUMN MOON GRASS
ST	SPOKOBOLUS HETEROLEPIS 'TARA' / PRAIRIE DROPSIDE
ST	STONE MOUND / 3/4" 1 1/4" AQUA BLUE CHRIS
SY	SYNTHETIC TURF
TD	TURF SOO

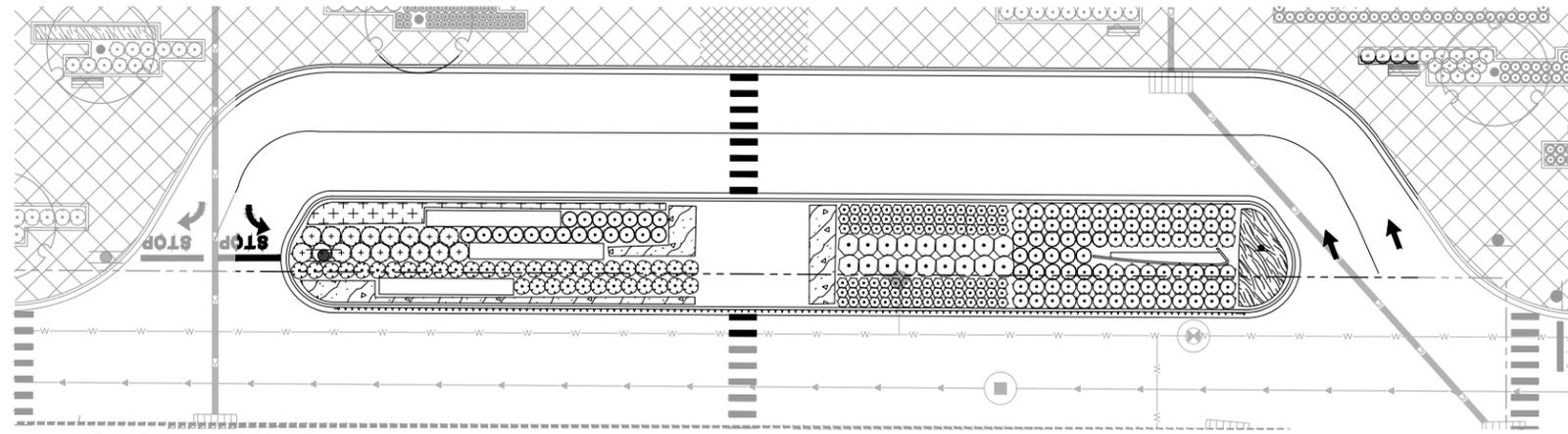


PLANT SCHEDULE

CODE	BOTANICAL / COMMON NAME
TREES	
AE	AESCULUS HIPPOCASTANUM / COMMON HORSECHESTNUT
AM	ACER FREEMANI 'NARMO' / NARMO FREEMAN MAPLE
AR	ACER RUBRUM / RED MAPLE
CA3	CARPINUS CAROLINIANA / AMERICAN HORNBEAM
CO	CELTIS OCCIDENTALIS / COMMON HACKBERRY
GS	QUERCUS BLANDA 'AUTUMN GOLD' TM / MADDENHUR TREE
GK	GYMNOCALADUS DIOICA / KENTUCKY COFFEE TREE
GS	QUERCUS TRIACANTHOS 'SHADEMASTER' TM / SHADEMASTER LOCUST
LE	LIRIODENDRON TULIPIFERA 'EMERALD CITY' TM / EMERALD CITY TULIP TREE
QA	QUERCUS ALBA / WHITE OAK
GB	QUERCUS BICOLOR / SWAMP WHITE OAK
GF	QUERCUS ROBUR 'FASTIGIATA' / PYRAMIDAL ENGLISH OAK
GM	QUERCUS MACROCARPA / BURR OAK
GJ	QUERCUS RUBRA / RED OAK
TO3	TAXODIUM DISTICHUM / BALD CYPRESS
TL	THALIA AMERICANA 'NOBILITY' / SENTRY LINDEN
UP	ULMUS AMERICANA 'PRINCETON' / AMERICAN ELM
ZK	ZELKOVA SERRATA 'AUTUMN GLOW' / AUTUMN GLOW JAPANESE ZELKOVA
SUBGREEN TREES	
JV3	JANIPERUS VIRGINIANA / EASTERN RED CEDAR
PA	PICEA ABIES / NORWAY SPRUCE
PD	PSUEDOTSUGA MENZIESI / DOUGLAS FIR
PF	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID' / VANDERWOLF'S PYRAMID PINE
PO	PICEA OMORICA / SERBIAN SPRUCE
PS	PINUS STROBUS / WHITE PINE
TR	THUJA OCCIDENTALIS 'NORSA' / NORSA ARBORVITAE
ORNAMENTAL TREES	
CE	CERCIS CANADENSIS / EASTERN REDBUD
CV	CRATAEGUS CRUS-GALLI 'NERMAS' TM / THORNLESS COCKSPUR HAWTHORN
MR	MALUS X ROYAL RANDOLPHS / ROYAL RANDOLPHS CRABAPPLE
SI	SYRINGA RETICULATA 'IVORY SILK' / IVORY SILK JAPANESE TREE LILAC
SHRUBS	
AI	ARONIA MELANOCARPA 'ROGOSUS BEAUTY' / BLACK CHOKEBERRY
BL	BUDDEIA X LO & BEHOLD 'BLUE CHIP' / BUTTERFLY BUSH
CF	CORNUS SERICEA 'FARROW' / ARCTIC FIRE RED TWIG DOGWOOD
FM	FOTHERGILLA GARDENI / DWARF FOTHERGILLA
HA	HYDRANGEA ARBORESCENS 'ANNABELLE' / ANNABELLE SMOOTH HYDRANGEA
HL	HYDRANGEA PANICULATA 'LITTLE LIME' / LITTLE LIME HYDRANGEA
IL	ITEA VIRGINICA 'LITTLE HENRY' TM / VIRGINIA SWEETSPINE
JF2	JANIPERUS CHINENSIS 'FAIRVIEW' / FAIRVIEW JUNIPER
JK	JEX CLABRA 'SHARROCK' / SHARROCK RASPBERRY
JT	JANIPERUS CONFERTA 'BLUE PACIFIC' / BLUE PACIFIC JUNIPER
RA	RIBES ALPIMUM 'GREEN MOUND' / GREEN MOUND ALPINE CURRIANT
RG	RHUS ARNICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC
TT	TAUIS X MEDIA 'TAUNTON' / TAUNTON YEW
VA	VIBURNUM DENTATUM 'CHRISTOM' / BLUE MUFFIN VIBURNUM
GRASSES	
CA2	CALAMAGROSTIS X ACUTIFLORA 'OVERDAM' / OVERDAM FEATHER REED GRASS
MP	MISCANTHUS SINENSIS 'PURPURESCENS' / FLAME GRASS
PS	PENNISETUM ALPECUROIDES 'BURGLINDY BUNNY' / BURGLINDY BUNNY DWARF FOUNTAIN GRASS
PS2	PANICUM VIRGATUM 'SHENANDOAH' / SWITCH GRASS
PERENNIALS AND GRASSES	
AB2	ARISONA TABERNEMONTANA 'BLUE ICE' / BLUE ICE STAR FLOWER
AS	ALLIUM SENESCENS 'SUMMER BEAUTY' / SUMMER BEAUTY ALLIUM
CT	COTONEASTER DAMMERI 'NORDIC CARPET' / NORDIC CARPET COTONEASTER
GR2	GERANIUM X CANTABRIGIENSE 'KAMMIA' / BOKOVO CRANEBILL
HP	HELIOPHILA MICRANTHA 'PALACE PURPLE' / PALACE PURPLE CORAL BELLS
NW	NEPETA X FAASSENI 'WALKERS LOW' / WALKERS LOW CATMINT
PAA	PERENNIAL MIX A / 50% COREOPSIS & 50% ECHINACEA
SA	SESELINA AUTUMNALIS / AUTUMN MOOR GRASS
ST	SPOROBOLUS HETEROLEPSIS 'TARA' / PRAIRIE DROPSEED
PERENNIAL COVERS	
R	STONE MULCH / 3/4" 1/4" AQUA BLUE CHIPS
SY	/ SYNTHETIC TURF
TD	/ TURF SOIL
EXISTING TREES TO REMAIN	

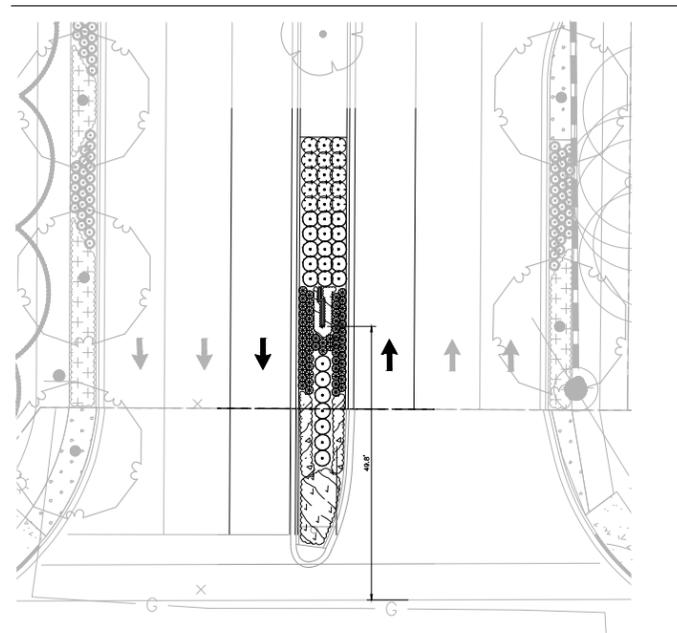
LANDSCAPE ENLARGEMENT PLAN

REFERENCE SHEET : L2.5



MONUMENT SIGN LANDSCAPE MAIN SIGN

AREA OF SIGN = 102 SF
AREA OF LANDSCAPING = 1732 SF



MONUMENT SIGN LANDSCAPE ENTRANCE SIGN

AREA OF SIGN = 72 SF
AREA OF LANDSCAPING = 611.4 SF

PLANT SCHEDULE MAIN SIGN

SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	SIZE
	AI	18	ARONIA MELANOCARPA 'IROQUOIS BEAUTY'	BLACK CHOKEBERRY	-	SEE PLAN	36" HT MIN
	BL	96	BUDDLEIA X LO & BEHOLD 'BLUE CHIP'	BUTTERFLY BUSH	-	SEE PLAN	12" HT MIN
	CF	17	CORNUS SERICEA 'FARROW'	ARCTIC FIRE RED TWIG DOGWOOD	-	SEE PLAN	24" HT MIN
	RA	72	RIBES ALPINUM 'GREEN MOUND'	GREEN MOUND ALPINE CURRANT	-	SEE PLAN	18" HT MIN
PERENNIALS AND GRASSES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	SIZE
	AS	42	ALLIUM SENESCENS 'SUMMER BEAUTY'	SUMMER BEAUTY ALLIUM	1 GAL	18" OC	
	SA	131	SESLERIA AUTUMNALIS	AUTUMN MOOR GRASS	1 GAL	12" OC	

PLANT SCHEDULE ENTRANCE SIGN LS

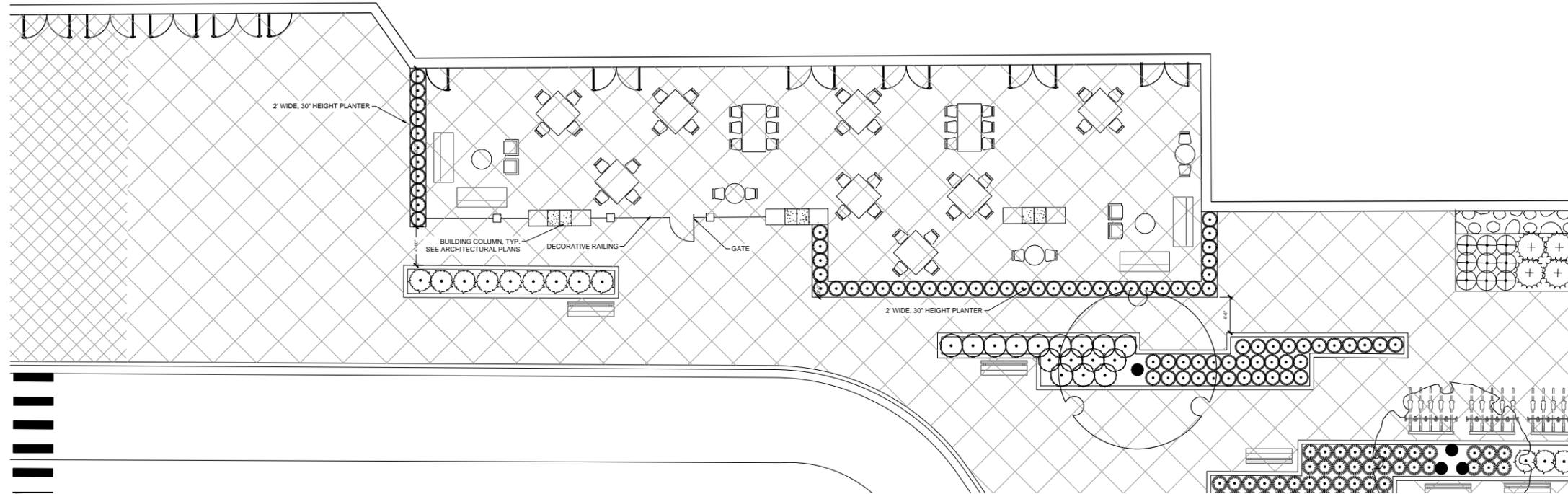
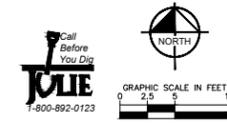
SHRUBS	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	SIZE
	CF	22	CORNUS SERICEA 'FARROW'	ARCTIC FIRE RED TWIG DOGWOOD	-	SEE PLAN	24" HT MIN
	HL	15	HYDRANGEA PANICULATA 'LITTLE LIME'	LITTLE LIME HYDRANGEA	-	SEE PLAN	18" HT MIN
GRASSES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	SIZE
	PB	58	PENNISETUM ALOPECUROIDES 'BURGUNDY BUNNY'	BURGUNDY BUNNY DWARF FOUNTAIN GRASS	1 GAL	18" OC	
PERENNIALS AND GRASSES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	SPACING	SIZE
	AB2	43	AMSONIA TABERNAEMONTANA 'BLUE ICE'	BLUE ICE STAR FLOWER	1 GAL	18" OC	
	AS	28	ALLIUM SENESCENS 'SUMMER BEAUTY'	SUMMER BEAUTY ALLIUM	1 GAL	18" OC	

PLANT IMAGES



DINING ENLARGEMENT PLAN

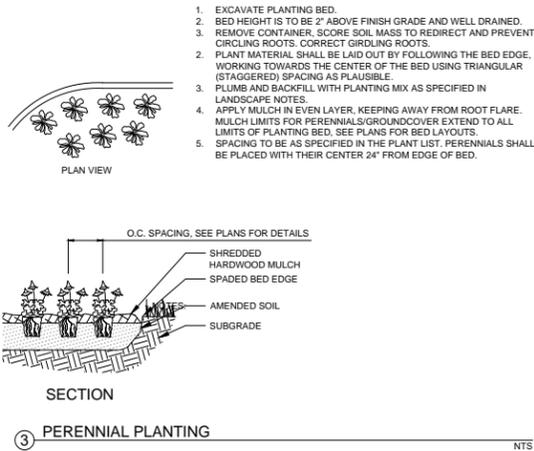
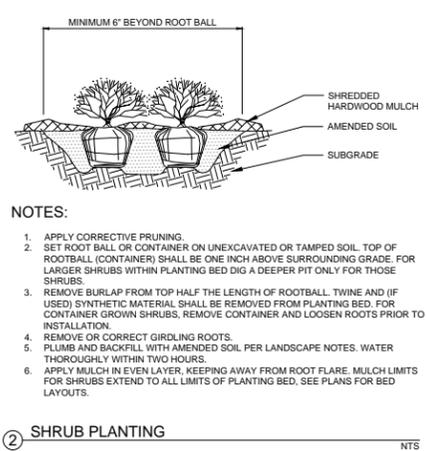
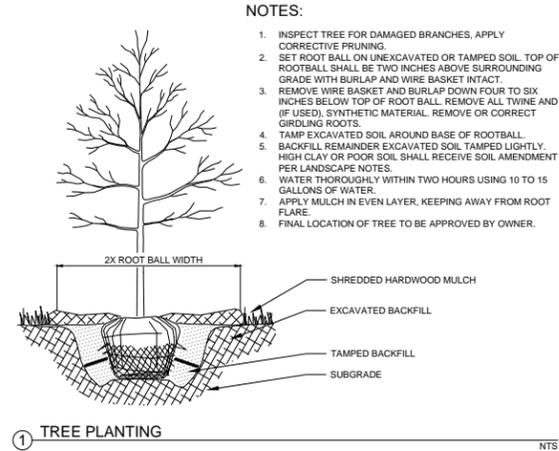
REFERENCE SHEET : L2.6



DINING PLAZA LAYOUT

LANDSCAPE NOTES AND DETAILS

REFERENCE SHEET : L3.0



LANDSCAPE NOTES

- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING MATERIALS AND PLANTS SHOWN ON THE LANDSCAPE PLAN. THE CONTRACTOR IS RESPONSIBLE FOR THE COST TO REPAIR UTILITIES, ADJACENT LANDSCAPE, PUBLIC AND PRIVATE PROPERTY THAT IS DAMAGED BY THE CONTRACTOR OR THEIR SUBCONTRACTOR'S OPERATIONS DURING INSTALLATION OR DURING THE SPECIFIED MAINTENANCE PERIOD. CALL FOR UTILITY LOCATIONS PRIOR TO ANY EXCAVATION.
- THE CONTRACTOR SHALL REPORT ANY DISCREPANCY IN PLAN VS. FIELD CONDITIONS IMMEDIATELY TO THE LANDSCAPE ARCHITECT, PRIOR TO CONTINUING WITH THAT PORTION OF WORK.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY OF THEIR TRENCHES OR EXCAVATIONS THAT SETTLE.
- ALL NURSERY STOCK SHALL BE WELL BRANCHED, HEALTHY, FULL, PRE-INOCULATED AND FERTILIZED. DECIDUOUS TREES SHALL BE FREE OF FRESH SCARS. TRUNKS WILL BE WRAPPED IF NECESSARY TO PREVENT SUN SCALD AND INSECT DAMAGE. THE LANDSCAPE CONTRACTOR SHALL REMOVE THE WRAP AT THE PROPER TIME AS A PART OF THIS CONTRACT.
- ALL NURSERY STOCK SHALL BE GUARANTEED, BY THE CONTRACTOR, FOR ONE YEAR FROM DATE OF FINAL INSPECTION.
- AMENDED SOIL SHALL BE PROVIDED AND GRADED BY THE GENERAL CONTRACTOR UP TO 6 INCHES BELOW FINISHED GRADE IN TURF AREAS AND 18 INCHES IN PLANTING AREAS.
- PLANTING AREA SOIL SHALL BE AMENDED WITH 25% SPHAGNUM PEATMOSS, 5% HUMUS AND 65% PULVERIZED SOIL FOR ALL SHRUB, ORNAMENTAL GRASS, PERENNIAL AND ANNUAL BEDS. AMENDED TURF AREA SOIL SHALL BE STANDARD TOPSOIL.
- SEED/SOD LIMIT LINES ARE APPROXIMATE. CONTRACTOR SHALL SEED/SOD ALL AREAS WHICH ARE DISTURBED BY GRADING WITH THE SPECIFIED SEED/SOD MIXES.
- CONTRACTOR SHALL INSTALL SHREDDED HARDWOOD MULCH AT A 3" DEPTH TO ALL TREES, SHRUB, PERENNIAL AND GROUND COVER AREAS. TREES PLACED IN AREA COVERED BY TURF SHALL RECEIVE A 4 FT WIDE MAXIMUM TREE RING WITH 3" DEPTH SHREDDED HARDWOOD MULCH. A SPADED BED EDGE SHALL SEPARATE MULCH BEDS FROM TURF OR SEED/SOD AREAS. A SPADED EDGE IS NOT REQUIRED ALONG CURBED EDGES.
- WEED FABRIC SHALL ONLY BE APPLIED UNDER DECORATIVE STONE APPLICATIONS.
- INSTALLATION OF TREES WITHIN PARKWAYS SHALL BE COORDINATED IN THE FIELD WITH LOCATIONS OF UNDERGROUND UTILITIES. TREES SHALL NOT BE LOCATED CLOSER THAN 5' FROM UNDERGROUND UTILITY LINES AND NO CLOSER THAN 10' FROM UTILITY STRUCTURES.
- DO NOT DISTURB THE EXISTING PAVING, LIGHTING, OR LANDSCAPING THAT EXISTS ADJACENT TO THE SITE UNLESS OTHERWISE NOTED ON PLAN.
- PLANT QUANTITIES SHOWN ARE FOR THE CONVENIENCE OF THE OWNER AND JURISDICTIONAL REVIEW AGENCIES. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES AS DRAWN.
- THE OWNER'S REPRESENTATIVE MAY REJECT ANY PLANT MATERIALS THAT ARE DISEASED, DEFORMED, OR OTHERWISE NOT EXHIBITING SUPERIOR QUALITY.
- THE CONTINUED MAINTENANCE OF ALL REQUIRED LANDSCAPING SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY ON WHICH SAID MATERIALS ARE REQUIRED. ALL PLANT MATERIALS REQUIRED BY THIS SECTION SHALL BE MAINTAINED AS LIVING VEGETATION AND SHALL BE PROMPTLY REPLACED IF THE PLANT MATERIAL HAS DIED PRIOR TO FINAL ACCEPTANCE. PLANTING AREAS SHALL BE KEPT FREE OF TRASH, LITTER, AND WEEDS AT ALL TIMES.



PLANT SCHEDULE OVERALL

TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE
AE	8	AESCLUS HIPPOCASTANUM	COMMON HORSECHESTNUT	B & B	4"	MIN	
AM	29	ACER FREEMANI 'MARMO'	MARMO FREEMAN MAPLE	B & B	4"	MIN	
AR	32	ACER RUBRUM	RED MAPLE	B & B	4"	MIN	
CA3	8	CARPINUS CAROLINIANA	AMERICAN HORNBEAM	B & B	4"	MIN	
CO	11	CELTIS OCCIDENTALIS	COMMON HACKBERRY	B & B	4"	MIN	
GG	14	GINKGO BILOBA 'AUTUMN GOLD' TM	MADENHAR TREE	B & B	4"	MIN	
GK	19	GYMNOCADUS DIDICA	KENTUCKY COFFEE TREE	B & B	4"	MIN	
GS	14	GLEDITSIA TRIACANTHOS INERMIS 'SHADEMASTER' TM	SHADEMASTER LOCUST	B & B	4"	MIN	
LE	29	LIRIODENDRON TULPIFERA 'EMERALD CITY' TM	EMERALD CITY TULIP TREE	B & B	4"	MIN	
QA	20	QUERCUS ALBA	WHITE OAK	B & B	4"	MIN	
QB	3	QUERCUS BICOLOR	SWAMP WHITE OAK	B & B	4"	MIN	
QF	17	QUERCUS ROBUR 'FASTIGIATA'	PYRAMIDAL ENGLISH OAK	B & B	2.5'	CAL MIN	
QM	10	QUERCUS MACROCARPA	BURR OAK	B & B	4"	MIN	
QU	12	QUERCUS RUBRA	RED OAK	B & B	4"	MIN	
TD2	9	TAXODIUM DISTICHUM	BALD CYPRESS	B & B	4"	MIN	
TM	19	TILIA AMERICANA 'MCKSENTRY'	SENTRY LINDEN	B & B	4"	MIN	
ULP	12	ULMUS AMERICANA 'PRINCETON'	AMERICAN ELM	B & B	4"	MIN	
ZK	24	ZELKOVA SERRATA 'AUTUMN GLOW'	AUTUMN GLOW JAPANESE ZELKOVA	B & B	4"	MIN	
EVERGREEN TREES							
JE2	16	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	B & B	6'	HT MIN	
PA	23	PICEA ABIES	NORWAY SPRUCE	B & B	8'	HT MIN	
PD	16	PSEUDOTSUGA MENZIESII	DOUGLAS FIR	B & B	6'	HT MIN	
PF	40	PINUS FLEXILIS 'VANDERWOLF'S PYRAMID'	VANDERWOLF'S PYRAMID PINE	B & B	6'	HT MIN	
PO	11	PICEA OMORICA	SERBIAN SPRUCE	B & B	8'	HT MIN	
PS	29	PINUS STROBUS	WHITE PINE	B & B	6'	HT MIN	
TN	91	THUJA OCCIDENTALIS 'NIGRA'	NIGRA ARBORVITAE	B & B	6'	HT MIN	
ORNAMENTAL TREES							
CE	7	CERCIS CANADENSIS	EASTERN REDBUD	B & B	MULTI-TRUNK	8'	HT MIN
CV	4	CRATAEGUS CRUS-GALLI INERMIS TM	THORNLESS COCKSPUR HAWTHORN	B & B	MULTISTEM	8'	HT MIN
MR	4	MALUS X 'ROYAL RAINDROPS'	ROYAL RAINDROPS CRABAPPLE	B & B	MULTISTEM	8'	HT MIN
SI	3	SYRINGA RETICULATA 'IVORY SILK'	IVORY SILK JAPANESE TREE LILAC	B & B	MULTISTEM	8'	HT MIN
SHRUBS							
AI	24	ARONIA MELANOCARPA 'IROQUOIS BEAUTY'	BLACK CHOKEBERRY	-	SEE PLAN	36'	HT MIN
CF	206	CORNUS SERICEA 'FARROW'	ARCTIC FIRE RED TWIG DOGWOOD	-	SEE PLAN	24'	HT MIN
FM	33	FOTHERGILLA GARDENII	DWARF FOTHERGILLA	-	SEE PLAN	36'	HT MIN
HA	178	HYDRANGEA ARBORESCENS 'ANNABELLE'	ANNABELLE SMOOTH HYDRANGEA	-	SEE PLAN	24'	HT MIN

LOW-PROFILE PRAIRIE SEED MIX

BOTANICAL NAME	COMMON NAME	LBS / ACRE	% OF TOTAL
GRASSES, SEDGES, & RUSHES			
Agrostis alba palustris	Bent grass	2.0	6.7%
Bouteloua curtipendula	Side-Oats Grama	6.0	20.0%
Calamagrostis canadensis	Bluejoint	2.0	6.7%
Carex vulpinoidea	Prairie Sedge	2.0	6.7%
Elymus canadensis	Canada Wild Rye	3.0	10.0%
Panicum virgatum	Switch Grass	4.0	13.3%
Schizachyrium scoparium	Little Bluestem	4.0	13.3%
Sporobolus heterolepis	Prairie Dropseed	3.0	10.0%
TOTAL LBS PER ACRE:		26	86.7%

FORBS & BROADLEAVES

Asclepias tuberosa	Butterfly Weed	0.25	0.8%
Cassia fasciculata	Partridge Pea	0.50	1.7%
Coreopsis palmata	Prairie Coreopsis	0.25	0.8%
Echinacea purpurea	Purple Coneflower	0.75	2.5%
Liatris aspera	Rough Blazing Star	0.25	0.8%
Monarda fistulosa	Wild Bergamot	0.50	1.7%
Potentilla arguta	Prairie Cinquefoil	0.25	0.8%
Pycnanthemum virginianum	Virginia Mountain Mint	0.25	0.8%
Rudbeckia hirta	Black-Eyed Susan	0.75	2.5%
Solidago juncea	Early Goldenrod	0.25	0.8%
FORBS & BROADLEAVES LBS PER ACRE:		4	13.3%

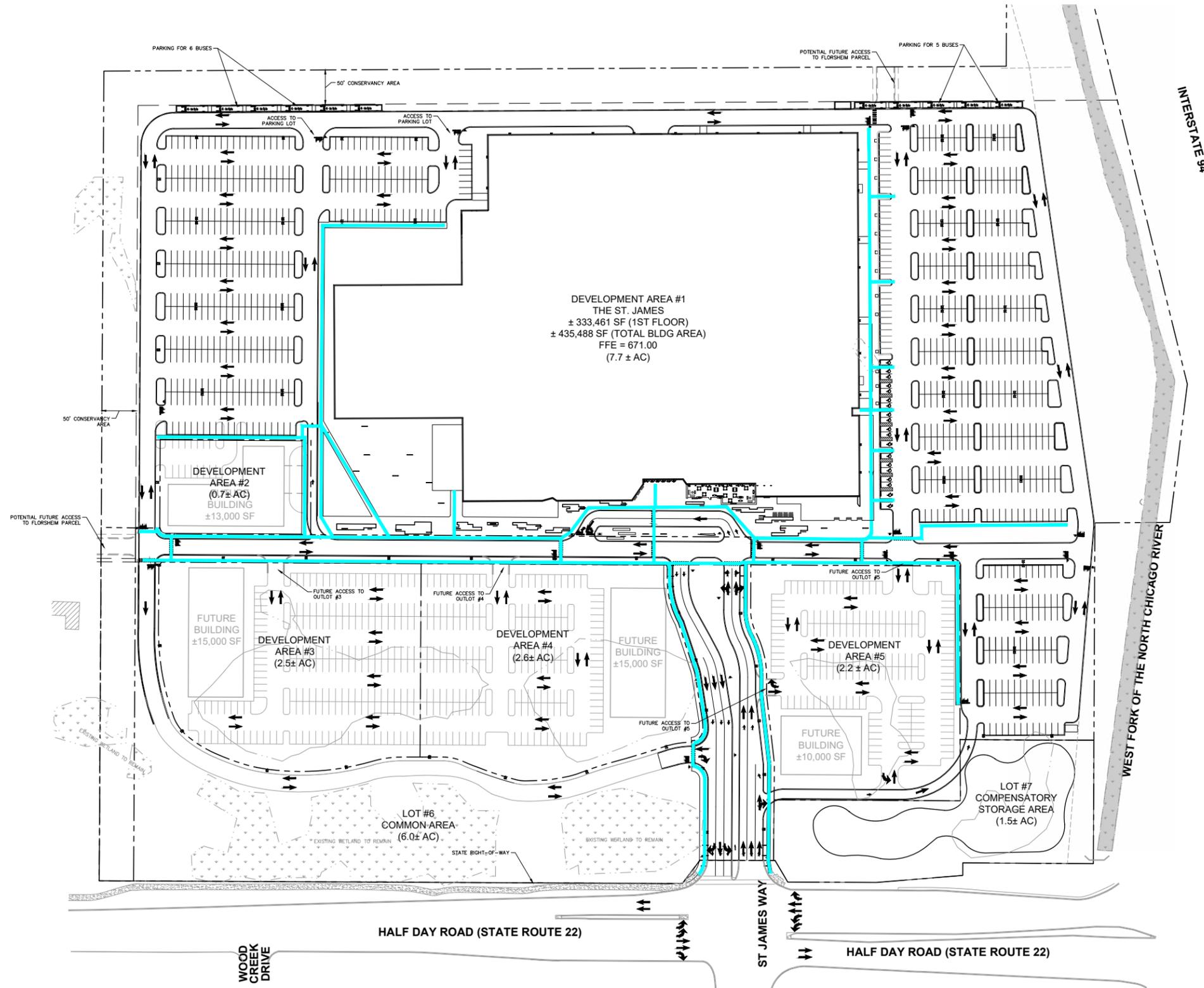
SEED MIX TOTAL LBS PER ACRE: 30

TEMPORARY COVER

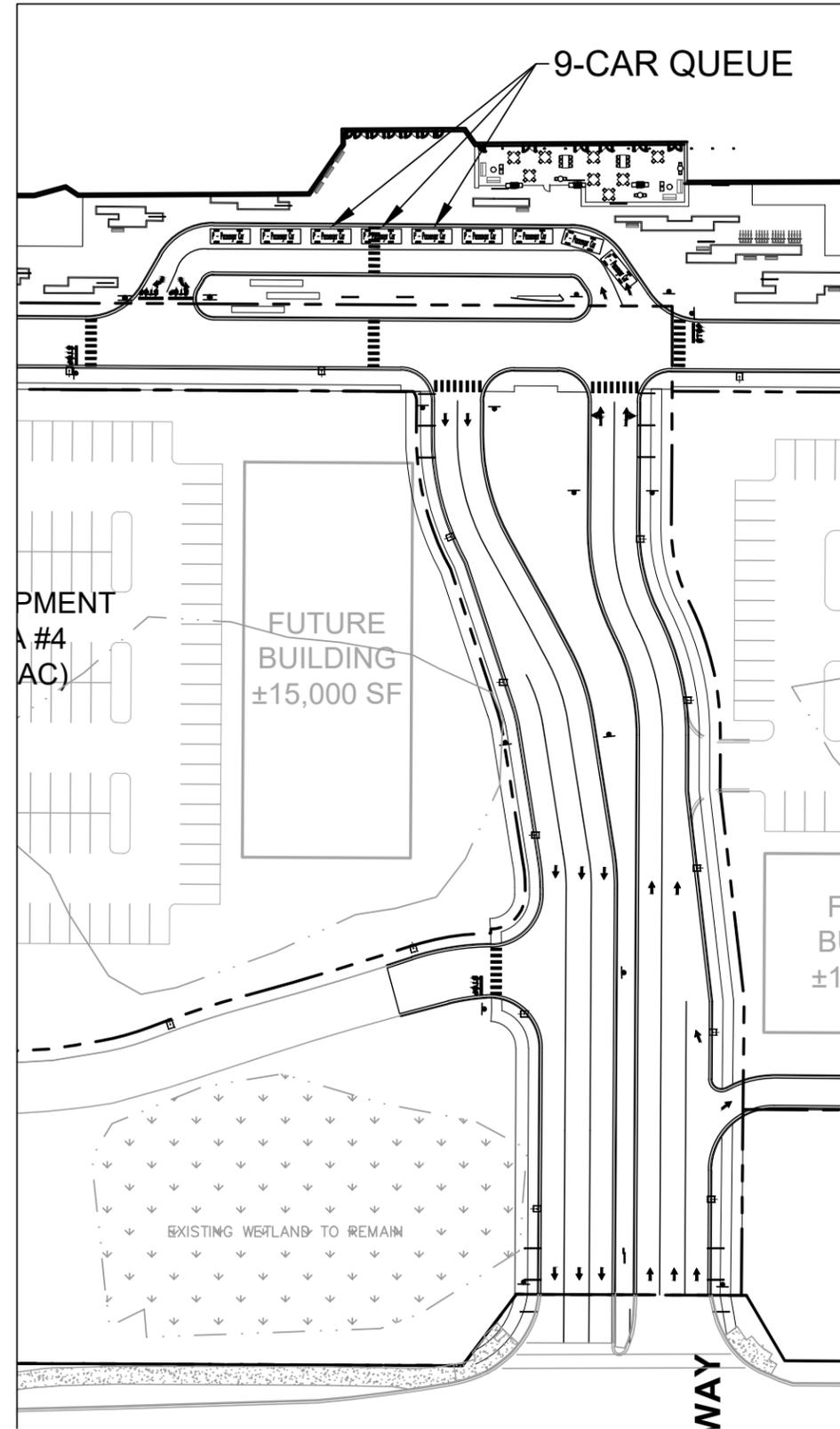
Avena sativa	Common Oat	150	60%
Lolium multiflorum	Annual Rye	100	40%
TEMPORARY COVER LBS PER ACRE:		250	







PASSENGER CAR QUEUEING



TRUCK DELIVERY EXHIBIT

REFERENCE SHEET : NEW DIAGRAM

Vendors	Delivery Times - Weekly				
	1	2	3	4	5
Chef's Warehouse			Truck		
US Food			Truck		
Coastal Produce					Truck
Metropolitan			Truck		
Profish Seafood				Truck	
Dolcezza	Truck				
Lyon Bakery		Van			
Exotic Acai	Once a month				
Trimark Equipment	Once a month				
Freeman	Truck				
Pepsi	Truck				
Happy Tart	Van				
Unifirst		Truck			

In addition, the following information are typical deliveries received at the Springfield VA facility and will be expected at the Lincolnshire location:

FEDEX; twice per day, 6 days per week, delivery van.

UPS; twice per day, 6 days per week, delivery van.

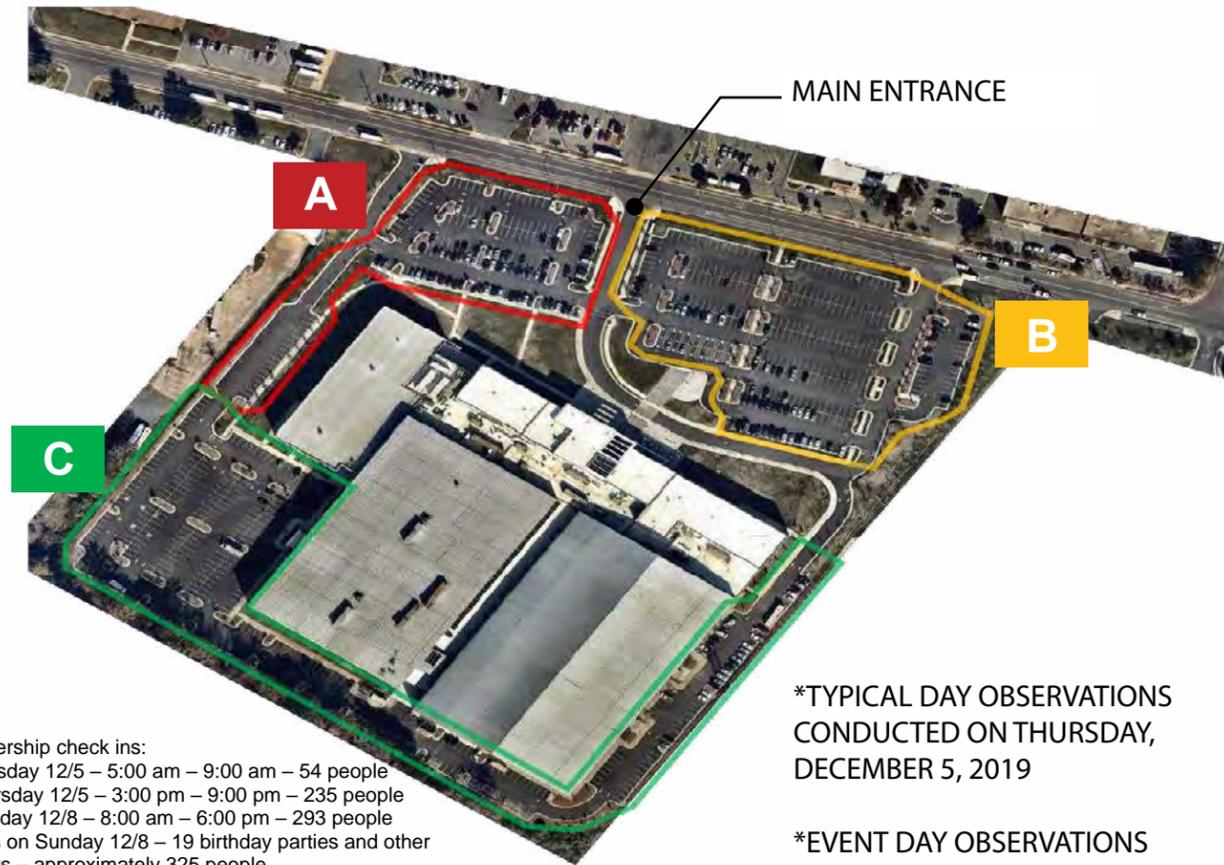
Amazon; every day, delivery van.

Bulk freight; twice per month on average; semi-truck.

Janitor's supplies; two to four times a month; box truck.

PARKING STUDY EXHIBIT (EXISTING THE ST. JAMES FACILITY - SPRINGFIELD, VA)

REFERENCE SHEET : NEW DIAGRAM



MAIN ENTRANCE

A

B

C

*TYPICAL DAY OBSERVATIONS CONDUCTED ON THURSDAY, DECEMBER 5, 2019

*EVENT DAY OBSERVATIONS CONDUCTED ON SUNDAY, DECEMBER 8, 2019

NOTES

- a. Membership check ins:
 - i. Thursday 12/5 – 5:00 am – 9:00 am – 54 people
 - ii. Thursday 12/5 – 3:00 pm – 9:00 pm – 235 people
 - iii. Sunday 12/8 – 8:00 am – 6:00 pm – 293 people
- b. Events on Sunday 12/8 – 19 birthday parties and other gatherings – approximately 325 people
- c. Winter Lacrosse and Indoor Soccer Leagues on Sunday 12/8 – 2400 participants plus estimated 1200 family members

Typical Day Parked Cars

	5:00 AM	6:00 AM	7:00 AM	8:00 AM	3:00 PM	4:00 PM	5:00 PM	6:00 PM	7:00 PM	8:00 PM
Zone A Parked Vehicles	7	9	8	15	49	69	80	88	82	65
Zone B Parked Vehicles	10	31	47	43	76	86	139	181	221	176
Zone C Parked Vehicles	15	17	16	18	50	54	57	53	51	32
Total Parked Vehicles	<u>32</u>	<u>57</u>	<u>71</u>	<u>76</u>	<u>175</u>	<u>209</u>	<u>276</u>	<u>322</u>	<u>354</u>	<u>273</u>

Event Day Parked Cars

	8:00 AM	9:00 AM	10:00 AM	11:00 AM	12:00 PM	1:00 PM	2:00 PM	3:00 PM	4:00 PM	5:00 PM
Zone A Parked Vehicles	54	67	141	157	143	159	162	158	115	80
Zone B Parked Vehicles	211	216	289	302	300	292	297	292	255	195
Zone C Parked Vehicles	12	24	27	55	110	119	112	136	87	61
Total Parked Vehicles	<u>277</u>	<u>307</u>	<u>457</u>	<u>514</u>	<u>553</u>	<u>570</u>	<u>571</u>	<u>586</u>	<u>457</u>	<u>336</u>

Typical Day Parking Occupancy

	5:00 AM	6:00 AM	7:00 AM	8:00 AM	3:00 PM	4:00 PM	5:00 PM	6:00 PM	7:00 PM	8:00 PM
Zone A Occupancy	4%	5%	5%	9%	30%	42%	48%	53%	50%	39%
Zone B Occupancy	3%	10%	15%	14%	25%	28%	46%	59%	72%	58%
Zone C Occupancy	4%	5%	5%	5%	15%	16%	17%	16%	15%	10%
Total Occupancy	<u>4%</u>	<u>7%</u>	<u>9%</u>	<u>10%</u>	<u>22%</u>	<u>27%</u>	<u>35%</u>	<u>41%</u>	<u>45%</u>	<u>35%</u>

Event Day Parking Occupancy

	8:00 AM	9:00 AM	10:00 AM	11:00 AM	12:00 PM	1:00 PM	2:00 PM	3:00 PM	4:00 PM	5:00 PM
Zone A Parked Vehicles	33%	41%	85%	95%	87%	96%	98%	96%	70%	48%
Zone B Parked Vehicles	69%	71%	95%	99%	98%	96%	97%	96%	84%	64%
Zone C Parked Vehicles	4%	7%	8%	16%	33%	36%	33%	41%	26%	18%
Total Parked Vehicles	<u>35%</u>	<u>39%</u>	<u>59%</u>	<u>66%</u>	<u>71%</u>	<u>73%</u>	<u>73%</u>	<u>75%</u>	<u>59%</u>	<u>43%</u>

Typical Day Pick-Up/Drop-Off Activity

	5:00 AM	6:00 AM	7:00 AM	8:00 AM	3:00 PM	4:00 PM	5:00 PM	6:00 PM	7:00 PM	8:00 PM
Total Vehicles	0	0	1	2	13	53	49	56	35	27
Maximum Waiting Vehicles	0	0	0	1	3	6	7	6	5	6

Event Day Pick-Up/Drop-Off Activity

	8:00 AM	9:00 AM	10:00 AM	11:00 AM	12:00 PM	1:00 PM	2:00 PM	3:00 PM	4:00 PM	5:00 PM
Total Vehicles	27	41	66	69	88	68	133	65	68	26
Maximum Waiting Vehicles	3	4	4	7	7	5	7	8	6	5



THE ST. JAMES - LINCOLNSHIRE, ILLINOIS
1,125 FT
~5 MIN ESTIMATED WALK TIME



THE ST. JAMES - SPRINGFIELD, VIRGINIA
1,161 FT
~5 MIN ESTIMATED WALK TIME



CHELSEA PIERS - STAMFORD, CONNECTICUT
(EXISTING FACILITY - COMPARABLE USE AND SIZE)
860 FT
~4 MIN ESTIMATED WALK TIME

APPENDIX



THE ST·JAMES

SITE FURNISHING PACKAGE

PREPARED BY:

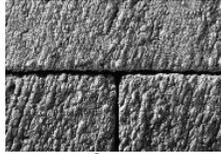
Kimley»»Horn

ECO-LINE® - AVAILABLE IN CHICAGO, ILLINOIS

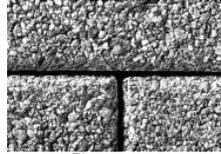
Permeable, heavy duty unit pavers have been so 'on-trend'. Eco-Line can be mechanically installed at a rate of 6,000-7,000 sq.ft. per machine, per day, with minimal labor. As a very competitive permeable pavement that can be installed even in adverse weather conditions, Eco-Line is not only beautiful, but cost effective.



STANDARD FINISH
CUSTOM COLORS
AVAILABLE



IL CAMPO® FINISH
CUSTOM COLORS
AVAILABLE



SERIES™ FINISH
CUSTOM COLORS
AVAILABLE



UMBRIANO® FINISH
CUSTOM COLORS
AVAILABLE



PREMIER FINISH
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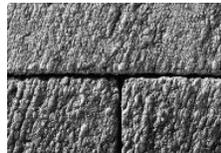
Special Order Colors



ENDURACOLOR™ FINISH
CUSTOM COLORS
AVAILABLE



WASHED FINISH
CUSTOM COLORS
AVAILABLE



BRUSHED FINISH
CUSTOM COLORS
AVAILABLE



STANDARD FINISH
NEW FOR 2019
SPECIAL ORDER ONLY
MULTIPLE COLOR & FINISH
OPTIONS AVAILABLE

Minimum quantities and special pricing may apply. Contact us for more details.



With so many different options for customization we ask that you contact your local Unilock Representative for more information about customizing this product.

Minimum quantities will apply.

Random Bundle



UNIT A
35.7 CM X 8.40 CM X
10 CM
14" X 3.25" X 3.875"
SPECIAL ORDER



UNIT B
31.7 CM X 8.4 CM X 10
CM
12.5" X 3.25" X 3.875"
SPECIAL ORDER



UNIT C
27.7 CM X 8.4 CM X 10
CM
10.875" X 3.25" X
3.875"
SPECIAL ORDER



UNIT D
23.7 CM X 8.4 CM X 10
CM
9.375" X 3.25" X 3.875"
SPECIAL ORDER



UNIT E
35.7 CM X 11.4 CM X
10 CM
14" X 4.5" X 3.875"
SPECIAL ORDER



UNIT F
31.7 CM X 11.4 CM X
10 CM
12.5" X 4.5" X 3.875"



UNIT G
27.7 CM X 11.4 CM X
10 CM



UNIT H
23.7 CM X 11.4 CM X
10 CM

10.875" X 4.5" X 3.875" 9.375" X 4.5" X 3.875"
SPECIAL ORDER

Special Order Shapes & Sizes

Random Bundle



XL 8.4
35.7 CM X 8.40 CM X
10 CM
14" X 3.25" X 3.875"
SPECIAL ORDER



LARGE 8.4
31.7 CM X 8.4 CM X 10
CM
12.5" X 3.25" X 3.875"
SPECIAL ORDER



MEDIUM 8.4
27.7 CM X 8.4 CM X 10
CM
10.875" X 3.25" X
3.875"
SPECIAL ORDER



SMALL 8.4
23.7 CM X 8.4 CM X 10
CM
9.375" X 3.25" X 3.875"



XL 11.4
35.7 CM X 11.4 CM X
10 CM
14" X 4.5" X 3.875"
SPECIAL ORDER



LARGE 11.4
31.7 CM X 11.4 CM X
10 CM
12.5" X 4.5" X 3.875"
SPECIAL ORDER



MEDIUM 11.4
27.7 CM X 11.4 CM X
10 CM
10.875" X 4.5" X 3.875"
SPECIAL ORDER



SMALL 11.4
23.7 CM X 11.4 CM X
10 CM
9.375" X 4.5" X 3.875"
SPECIAL ORDER



11 X 3.3125
27.7 CM X 8.4 CM X 10
CM
10.875" X 3.25" X
3.875"
SPECIAL ORDER



11 X 4.5
27.7 CM X 11.4 CM X
10 CM
10.875" X 4.5" X 3.875"
SPECIAL ORDER



12.5 X 3.3125
31.7 CM X 8.4 CM X 10
CM
12.5" X 3.25" X 3.875"
SPECIAL ORDER



12.5 X 4.5
31.7 CM X 11.4 CM X
10 CM
12.5" X 4.5" X 3.875"
SPECIAL ORDER



14 X 3.3125
35.7 CM X 8.4 CM X 10
CM
14" X 3.25" X 3.875"
SPECIAL ORDER



14 X 4.5
35.7 CM X 11.4 CM X
10 CM
14" X 4.5" X 3.875"
SPECIAL ORDER



9.375 X 3.3125
23.7 CM X 8.4 CM X 10
CM
9.375" X 3.25" X 3.875"
SPECIAL ORDER

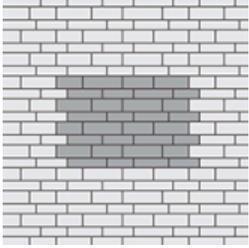


9.375 X 4.5
23.7 CM X 11.4 CM X
10 CM
9.375" X 4.5" X 3.875"
SPECIAL ORDER

Minimum quantities and special pricing may apply. Contact us for more details.

Stones & Bundling	Unit	SqFt Per			Per Bundle	Units Per		Lbs Per	
	Thickness	Bundle	Layer	Stone	Layers	SqFt	Bundle	Layers	Bundle
Random Bundle		55.17	11.03		5		160	513	2564
Unit A	3-7/8" (10cm)			0.32		3.1	20		
Unit B	3-7/8" (10cm)	5.73		0.29		3.49	20		
Unit C	3-7/8" (10cm)			0.25		3.99	20		
Unit D	3-7/8" (10cm)			0.21		4.67	20		
Unit E	3-7/8" (10cm)			0.44		2.28	20		
Unit F	3-7/8" (10cm)			0.39		2.57	20		
Unit G	3-7/8" (10cm)			0.34		2.94	20		
Unit H	3-7/8" (10cm)			0.29		3.44	20		

Notes: **Special Order only - lead time required, minimum quantities apply. Sold in full bundles only and is shipped on a refundable skid.** Custom finish and color options are available. Weights and square feet may vary depending on plant of manufacture and finish. **Important:** Textured surfaces require a buffer between the plate compactor and the paver surface to prevent scuffing. The product is optimized for mechanical installation. All measurements are nominal. Contact Unilock for information.



Eco-Line A
Standard (100%)

Lunch n' Learn Seminars

Sample Request

Info Request

METRO40 COLLECTION

Product Data Sheet



When Landscape Forms set out to develop the first comprehensive and integrated collection of site elements for the streetscape and transit core, it partnered with a world-leading expert. BMW Group Designworks brought to the challenge a deep understanding of the role of public transit in the life of the city, and unsurpassed mastery in form making and innovative use of materials. The Metro40 Collection, from benches and bollards to bus shelters and LED lighting, is a pioneering line of urban streetscape and transit elements with sophistication and global appeal for a world on the move. Used with Connect shelter or alone where space is at a premium, sitting and leaning rails provide a 'waiting room' amenity with minimal footprint.

Rest™ Bench

- Rest length is 80", longer than typical three-person benches.
- Rest seat height is 18" and seat depth is 16".
- Optional arms (available only on backed version)
- End frames are joined using concealed mortise and tenon connections.
- Available with one or two optional intermediate cast aluminum seat dividers/skateboard deterrents.
- Equipped with "anti-glides:" cushioned plastic pads on the underside of the frame that keep the bench from moving under seated loads and protect the powdercoat finish from becoming scratched by concrete or floor.

Materials

- End frame is cast aluminum.
- Seat and back slats are aluminum extrusions or wood.
- Cast aluminum frame and aluminum extrusion slats are powder-coated.
- Aluminum version can be two-toned: one color on the continuous ribbon end frame and another color on the slats.
- The wood for exterior applications is jarrah.
- The wood option for interior application is jarrah with LF 80 finish.

Installation

- Shipped fully assembled.
- Freestanding, surface mount or embedded.
- Surface mount and embedded versions are shipped with a mounting kit.

	STYLE	DEPTH	LENGTH	HEIGHT	PRODUCT WEIGHT
	backed w/ arm	26 1/2"	80"	33 1/4"	Jarrah: 289 lb Alum: 317 lb
	backed w/o armless	26 1/2"	80"	33 1/4"	Jarrah: 274 lb Alum: 302 lb
	backless	20 3/4"	80"	18"	Jarrah: 208 lb Alum: 223 lb
<p>Note: The backless version is always armless. Seat dividers cannot be used at ends as a substitute for arms.</p>					
			<p>Rest Surface Mount Locking System</p>		

METRO40

Product Data Sheet



Collect™ Litter

- All Collect receptacles have a cast aluminum frame and rotationally-molded polyethylene bin.

Top-opening

- 30-gallon capacity.
- Freestanding or surface mount.
- Freestanding version has a cast iron base.
- Bin pivots open for emptying; bag is pulled out at a 35° angle.
- Bag is attached by clips to inside of molded bin.
- No diverter rim.
- Molded bin color comes standard in matte black; optional polyethylenecolors available.
- Side latch with optional keyed lock.

Side-opening

- 23-gallon capacity.
- Open on two sides for easy trash toss.
- Freestanding or surface mount.
- Freestanding version has a cast iron base.
- Bin pivots open for emptying; bag is pulled out at a 35° angle.
- Bag is attached by clips to inside of molded bin.
- Spun-steel diverter around top opening directs trash; diverter is connected to the ribbon frame and diverter is powdercoated matte black color to coordinate with the standard black bin. If an optional bin color is selected than the diverter is powdercoated to match the frame.
- Optional ash pan.

STYLE	DEPTH	WIDTH	HEIGHT	PRODUCT WEIGHT
<p>30-gallon top-opening freestanding litter</p>	15.9"	23.5"	37.9"	140 lb
<p>23-gallon side-opening freestanding Litter</p>	15.9"	23.5"	37.9"	145 lb

Collect Recycling Receptacles

- 30-gallon capacity.
- Freestanding or surface mount.
- Freestanding version has a cast iron base.
- Bin pivots open for emptying; bags are pulled out at a 35° angle.
- Bags attached by clips to inside of molded bin.
- Side latch with optional keyed lock.
- Visit landscapeforms.com for signage options.

COLLECT RECYCLING HOLE AND SLOT TOPS			
		30-Gallon Recycle Receptacle with Hole	30-Gallon Recycle Receptacle with Slot

METRO40

Product Data Sheet



Latch/Lock Location and Operation

- Latch is located on the side of the receptacle, within the ribbon.
- When lockless, the latch is simply pushed to release the bin; bin is pushed back into place to automatically catch.
- When locked, a key is used to free the latch before operation.
- The lock is self-contained and can be retrofitted.

Ash Pan

- The Collect ash pan is available on the Collect Side-opening Litter.
- The ash pan consists of: a steel pan that sets in the top of the ribbon frame to hold cigarette butts.
- Pan is painted the same color as the receptacle frame.
- A magnet secures the ash pan while a finger-sized hole in the frame enables the pan to be pushed up for easy removal and emptying.
- Sand may or may not be used in the pan; sand is used, cigarette butts can be sifted off and emptied.
- If no sand is used, the entire pan can be removed and dumped.

COLLECT LATCH/LOCK MECHANISM



COLLECT SIDE OPENING LITTER W/ ASH PAN TOP



METRO40

Product Data Sheet



Ride™ Bike Rack

- Capacity: 2 bikes
- Surface mount or embedded to concrete surface.
- Requires only two bolts to mount, with extra surface mount anchor hole provided.
- 4 stainless steel leveling glides within the base are provided for fine adjustment from top side of base.
- Cover plate over bike rack base provides seamless appearance.
- Must be spaced 30" apart and 24" from a wall to meet APBP guidelines.

	STYLE	DEPTH	WIDTH	HEIGHT	PRODUCT WEIGHT
	bike rack	3.3"	28"	26"	50 lb

Hi-Glo™ Pedestrian Light and Lo-Glo™ Path Light

- Please refer to product data sheets for technical information and specifications.

Connect™ Shelter

- Please refer to the Metro40 Workbook.

To Specify

Visit landscapeforms.com.

Designed by BMW Group Designworks

Rest Bench is protected by U.S. Patent No. D600,460; D601,361; D601,820
 Connect Rail is protected by U.S. Patent No. D644,446; D602,271
 Collect is protected by U.S. Patent No. D607,171; D610,322, D608,968
 Stop is protected by U.S. Patent No. D608,913
 Ride is protected by U.S. Patent No. D613,646

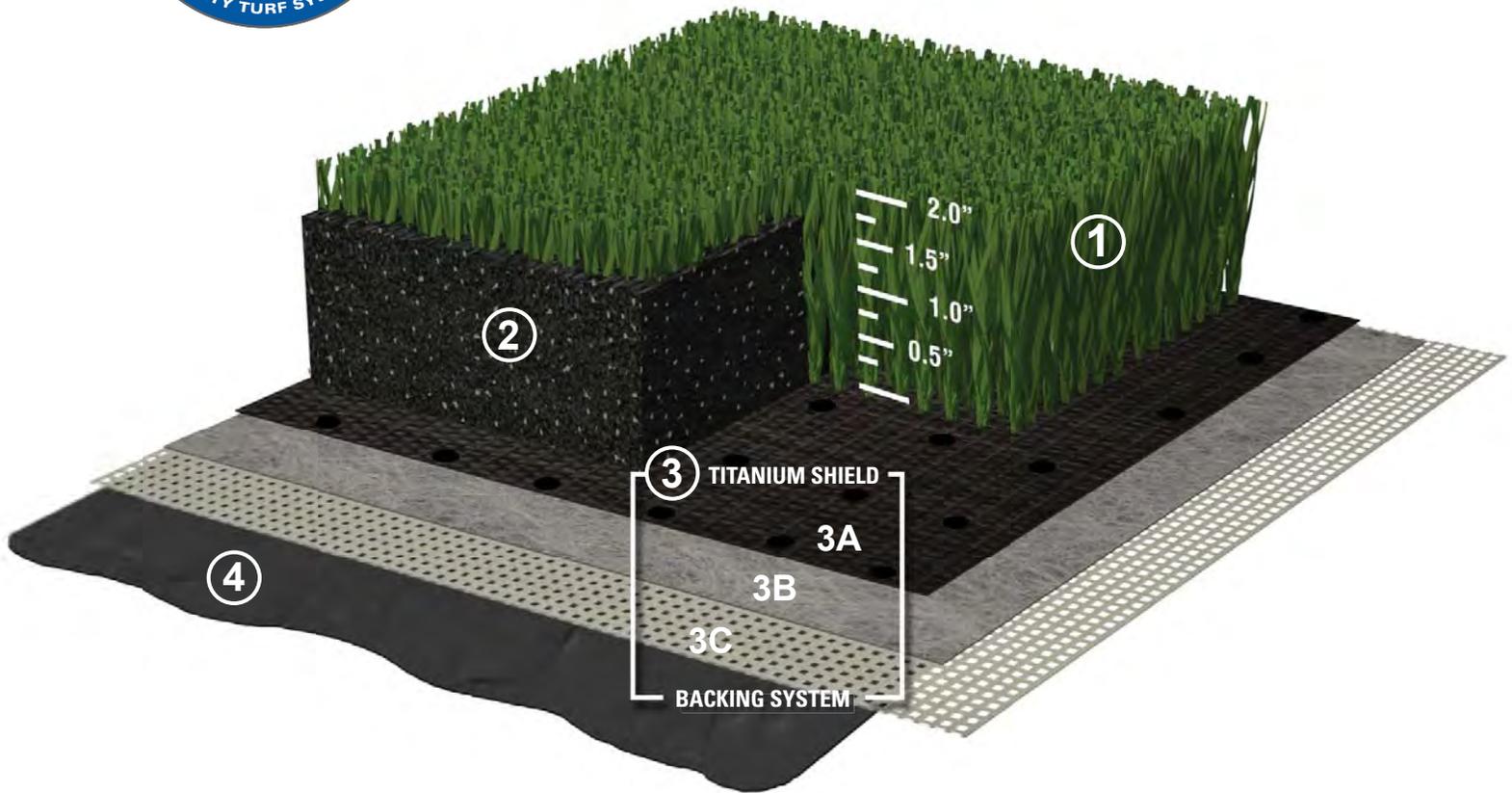
Visit landscapeforms.com for more information. Specifications are subject to change without notice.
 Landscape Forms supports the Landscape Architecture Foundation at the Second Century level.
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TURF NATION™



S4

PDS-S4 PRODUCT DATA SHEET



S4 SYNTHETIC TURF SYSTEM

- ① S4 Parallel Slit Film turf fiber made with TRUE Fiber for unsurpassed durability and performance.
- ② Specialized infill mixture designed to optimize performance and player safety.
- ③ **TITANIUM SHIELD BACKING SYSTEM**
Our premier backing system includes multiple layers for long lasting play and performance.
 - 3A.** Woven 18-Pic Polybac to secure fiber retention.
 - 3B.** Non-Woven 80-Gram Colbond affords maximum dimensional stability.
 - 3C.** Woven 5-Pic synthetic layer to enhance seaming properties.
- ④ Premium grade urethane coating to ensure a superior tuft bind.



The Turf Nation S4 is engineered to be the perfect balance of firm and fast. Available in various fiber profiles, S4 products are designed to enhance player safety. Turf Nation S4 affords your athletes the self-confidence they need to perform to their maximum potential.



The S4 surface is also available in 2.25" and 2.50" Pile Height.

S4 FEATURES

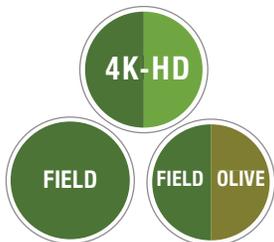


SPECIFICATION	GRASS ZONE	PRODUCT SPECIFICATIONS: TA4151APAM
FIBER	TRUE-C8	GRASS ZONE: 41 oz.
FIBER TYPE	AMS SLIT FILM	TRUE FIBER
FIBER HEIGHT	2.0 INCHES / 51 MM	BACKING: 8 oz.
FIBER DENIER	9,000 DENIER / 10,000 DTEX	SECONDARY BACKING: 26 oz.
FIBER MICRONS	115	TOTAL SYSTEM WEIGHT: 75 oz.
FILAMENT STRUCTURE	7 FIBRILS	GRASS ZONE: TRUE, STANDARD COLOR: 4K-HD
FIBRIL WIDTH	0.0472 INCHES / 1.2 MM	SPACING: BALANCED MATRIX

* These specifications are standard and may vary slightly due to manufacturing tolerances or consumer specifications.

STANDARD COLORS

DESIGNER COLOR PALLETTE



Printed colors only approximate the actual fiber colors. Physical fiber samples are available upon request. Custom colors may also be available, additional charges and minimum quantities may apply to non-standard colors.



PRODUCT DATA SHEET



	TEST CODE	TEST RESULTS	TEST DESCRIPTION	TEST NAME	
PERFORMANCE TESTING	ASTM F355-01	G _{max} 107 HIC 315	G _{max} RATING	Standard test method for shock-absorbing properties of playing surface systems and materials	
	ASTM F1015-03	17 ± 2	RELATIVE ABRASIVE INDEX	Standard test method for relative abrasiveness of synthetic turf playing surfaces	
	ASTM F2117-01	29.8 INCHES / 75.7 CM	AVERAGE BALL REBOUND HEIGHT	Standard test method for vertical rebound characteristics of sports surface/ball systems; acoustical measurement	
	ASTM F2117-01	0.40 (CR)	COEFFICIENT OF RESTITUTION (CR)	Standard test method for vertical rebound characteristics of sports surface/ball systems; acoustical measurement	
	ASTM F1551-03	34.3 INCHES / 87.1 CM	AVERAGE BALL BOUNCE	Standard test methods for comprehensive characterization of synthetic turf playing surfaces and materials	
	ASTM F1551-03	STATIC COF: 1.40 DYNAMIC COF: 0.90	SOCCER SHOE TRACTION – DRY	Standard test methods for comprehensive characterization of synthetic turf playing surfaces and materials	
	ASTM F1551-03	STATIC COF: 1.30 DYNAMIC COF: 0.80	SOCCER SHOE TRACTION – WET	Standard test methods for comprehensive characterization of synthetic turf playing surfaces and materials	
	ASTM F1551-03	STATIC COF: 1.50 DYNAMIC COF: 1.00	FOOTBALL SHOE TRACTION – DRY	Standard test methods for comprehensive characterization of synthetic turf playing surfaces and materials	
	ASTM F1551-03	STATIC COF: 1.40 DYNAMIC COF: 0.90	FOOTBALL SHOE TRACTION – WET	Standard test methods for comprehensive characterization of synthetic turf playing surfaces and materials	
SYSTEM TESTING	ASTM D5848-07	75 OZ Y ² / 2.54 KG M ²	TOTAL WEIGHT	Standard test method for mass per unit area of pile yarn floor coverin	
	ASTM D5848-07	41 OZ Y ² / 1.39 KG M ²	PILE WEIGHT	Standard test method for mass per unit area of pile yarn floor coverings	
	ASTM D5848-07	8 OZ Y ² / 0.27 KG M ²	PRIMARY BACKING WEIGHT	Standard test method for mass per unit area of pile yarn floor coverings	
	ASTM D5848-07	26 OZ Y ² / 0.88 KG M ²	SECONDARY BACKING WEIGHT	Standard test method for mass per unit area of pile yarn floor coverings	
	ASTM D5823-05A	2.0 INCHES / 51 MM	PILE HEIGHT	Standard test method for tuft height of pile floor coverings	
	ASTM D1335-05	EXCEEDS STC STANDARDS	TUFT BIND STRENGTH	Standard test method for tuft bind of pile yarn floor coverings	
	ASTM D5034-09	(MD) 243.0 LBS FORCE / 1,081 N	GRAB TEAR STRENGTH	Standard test method for breaking strength and elongation of textile fabrics (grab test)	
	ASTM D5034-09	(CMD) 227.0 LBS FORCE / 1,014 N	GRAB TEAR STRENGTH	Standard test method for breaking strength and elongation of textile fabrics (grab test)	
	ASTM D5793-05	9 PER 3 INCHES / 9 PER 7.6 CM	STITCHES PER 3 INCHES	Standard test method for binding sites per unit length or width of pile yarn floor coverings	
	ASTM D5793-05	3/8 INCH / 9.5 MM	MACHINE GAUGE	Standard test method for binding sites per unit length or width of pile yarn floor coverings	
	ASTM D2859-06	PASS	FLAMMABILITY - PILL BURN	Standard test method for ignition characteristics of finished textile floor covering materials	
	ASTM E648-08B	N/A	FLAMMABILITY - RADIANT PANEL	Standard test method for critical radiant flux of floor-covering systems using a radiant heat energy source	
	ASTM F1951-09	PASS	WHEEL CHAIR ACCESSIBILITY	Standard specification for determination of accessibility of surface systems under and around playground equipment	
	BS7044 - METHOD 4	EXCEEDS 40 INCHES (1016 MM) PER HR	INFILTRATION RATE	Determination of infiltration rate-buffered ponding-type infiltrometer	
	FIBER TESTING	ASTM D1907-07	9,000 DENIER / 10,000 DTEX	FIBER DENIER	Standard test methods for linear density of textile fibers by the Skein Method
		ASTM D3218-07	0.00450 INCHES / 0.11 MM	FIBER THICKNESS	Standard specification for polyolefin monofilaments
		ASTM D3218-07	0.47 INCHES / 1.2 MM	FIBER WIDTH	Standard specification for polyolefin monofilaments
ASTM D789-07		248°F / 120°C	FIBER MELTING POINT	Standard test methods for determination of solution viscosities of polyamide (pa)	
ASTM D792-08		0.951	FIBER SPECIFIC GRAVITY	Standard test methods for density and specific gravity (relative density) of plastics by displacement	
ASTM D2256-02(2008)		24.07 LBS / 107.1 N	FIBER BREAKING STRENGTH	Standard test method for tensile properties of yarns by the single-strand method	
ASTM D2256-02(2008)		47.5 %	FIBER ELONGATION	Standard test method for tensile properties of yarns by the single-strand method	

MEMORANDUM TO: James Robinson, LEED AP
GlenStar

FROM: Luay R. Aboona, PE, PTOE
Principal

DATE: November 5, 2019

SUBJECT: Parking Evaluation
The St James Development
Lincolnshire, Illinois

Introduction

Kenig, Lindgren, O'Hara, Aboona, Inc. (KLOA, Inc.) has prepared this parking evaluation memorandum for the proposed The St James (TSJ) development to be located in the northwest quadrant of the Interstate 94 and IL 22 full access interchange in Lincolnshire, Illinois.

The approximate 435,488 square-foot The St. James is a destination sports, health, and fitness center that includes a recreational facility, a competitive-grade swimming pool, indoor playing fields and hockey rinks, spectator seating for hosted events, a meeting and events center, and a sports medicine office. The facility will operate 24 hours a day, seven days a week and is estimated to accommodate up to 1,350 visitors at any given time, with additional attendance for hosted events and meetings. The development proposes an approximate 934-space surface parking lot (see exhibit in the Appendix).

The purpose of this parking evaluation is to determine if the proposed parking supply is adequate based on existing Village Code parking requirements.

Parking Evaluation Based on Village Code

The Village of Lincolnshire does not have off-street parking requirements for a unique facility such as the proposed TSJ facility. As such, the parking requirements, as defined by Code, are based on the primary uses that are offered within the indoor facility which includes the recreational facility, the swimming pool, the meeting and events center space, the physician's office, and spectator seating. The TSJ will only host one event at a time. Therefore, parking was estimated for the largest venue with a capacity of 900 seats.

Table 1 shows the off-street parking spaces required based on Village Code and is compared to the proposed parking supply of 934 parking spaces. In addition to the uses outlined above, the TSJ will include complementary uses that include a day spa, daycare center, a sundry/exercise gear shop, and a restaurant. All these uses are considered ancillary uses to the overall development, where a patron will participate in the recreation center facility while also using one of these services in the same visit (e.g. a patron drops their child at the provided daycare and then uses the facility) and therefore no additional parking demand is expected to be generated by these ancillary uses. However, these ancillary uses were included as separate land uses in Table 1 to provide for a conservative analysis. As shown in Table 1, the proposed parking supply will exceed the Village Code requirements.

Conclusion

Based on the preceding parking evaluation, the proposed 934 parking spaces for the The St James development will exceed the parking requirements based on the Village of Lincolnshire Code.

Table 1
 PARKING SUMMARY BASED ON VILLAGE CODE¹

Use	Parking Requirement	Area of Use	Occupancy Load	Number of Employees	Parking Required
Private or Public Recreational Facility and Community Buildings	1 space per 3 persons (1/3) based on occupancy load plus one (1) space per employee	--	875 persons	160	452
Swimming Pool	1 space per 100 square feet of water surface area	8,625 s.f.	--	--	87
Meeting & Events Center	1 space per 4 persons at max occupancy	--	160 persons	--	40
Physician's Office	1 space per employee and 2 spaces per exam room	2 exam rooms	--	5	9
Spectator Seating ²	0.25 spaces per seat	--	900 seats	--	225
Daycare Center	1 space per 500 square feet	1,800 s.f.			4
Restaurant	12 spaces per 1,000 square feet	5,867 s.f.			71
Retail	1 space per 200 square feet	1,962 s.f.			10
Day Spa	1 space per 150 square feet	4,935 s.f.			33
Total Spaces Required:					931
Total Spaces Provided:					<u>934</u>
Parking Surplus (Deficit):					3
¹ Based on site plan and Program Summary dated May 2, 2019. ² Based on Meeting and Events Code requirements dated October 15, 2019.					

Document 3

Building Height Comparison

Building	Height
Proposed The St. James*	2 stories, 45' (75' - fieldhouse)
B2 Zoning District Limit	3.5' stories, 42'
Current buildings on subject site	3 stories, 45'
CDW Office Center	4 stories, 65'
Sysmex, 557 Aptakasic Rd	4 stories, 68'
Zebra Technologies, 3 Overlook Pt	6 stories, 83'
Aon Alight, 4 Overlook Pt	6 stories, 85'

*Note: The St. James was granted PUD exception for a building height of up to 75'

by Ordinance #18-3780-208